



# BOARD REPORT

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**TO:** VILLAGE PRESIDENT & BOARD OF TRUSTEES

**FROM:** DANIELLE MARION, COMMUNITY DEVELOPMENT DIRECTOR

**SUBJECT:** DISCUSSION: FINAL PUD391 CAPITOL DRIVE

**AGENDA:** May 19, 2026

**DATE:** April 22, 2026

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## ISSUE

Shall the Village Board discuss an application from Phil Kuhn for approval of a Final Planned Unit Development (PUD) for a duplex to be constructed in Waterford Place?

## DISCUSSION

The Village has received a petition from Phil Kuhn for a Final PUD to build a duplex at 391 Capitol Drive. The property is currently vacant land and is part of the Waterford Place PUD that was approved in 2000. The original PUD designated this lot to be a medical office building. In 2024 the applicant submitted a petition to amend the original PUD to allow for an attached single-family duplex to be built on this lot in place of the medical office building. This amendment was approved by Ordinance 2024-0507CD2, this also approved a Preliminary PUD for the property. The next steps in this development is approval of a Final PUD.

There have been no significant changes made to the site plan for the project since the Preliminary PUD plans. The driveway entrance will utilize the existing curb width, which is 21.17 feet, which is 1.17 feet wider than the maximum allowed driveway width at the front lot line per Village Code. This is an existing condition, so a deviation is not required. The driveway will be constructed with permeable pavers, which the Village Engineers have reviewed and deemed acceptable as long as long-term maintenance plan is provide and approved by the Village. The architectural elevations are consistent with the approved elevations from the Preliminary PUD.

The applicant is requesting one deviation:

1. Deviation to reduce the required rear yard setback from 30 feet to 15 feet.

The Plan Commission reviewed and discussed the proposed Final PUD at the April 15, 2026 Plan Commission meeting. Commissioner discussion included how if the property will drain

towards the existing town homes and if the property will be a rental. Overall the Plan Commission did not express any concerns over the proposed Final PUD. The Plan Commission recommended that the Village Board approve the Final PUD subject to the following conditions and incorporate the Findings of Fact:

1. The Village Engineers shall approve the final engineering plans prior to the Village Board voting on the case.
2. Brick used on the structure columns on each side of the garage and the base must be 4" real brick.
3. A long-term maintenance plan for the permeable paver driveways must be submitted and approved by the Village Engineers prior to the Village Board voting on the case.

AYES: Airhart, Bieritz, Guddendorf, Dubina

NAYES: None

ABSENT: Coia, Sabo, Rockwell

### **COST**

All outside Village Costs are the responsibility of the applicant.

### **ATTACHMENTS**

- PC Recommendation 26-03
- Cover Letter
- Final PUD Plans
- Ordinance 2024-0507CD2 PUD Amendment & Approving a Preliminary PUD

### **RECOMMENDATION**

That the Village Board discuss the proposed Final PUD, including the requested deviation and provide staff with direction on preparing the necessary ordinance.

VILLAGE PRESIDENT  
Sue Stillwell

VILLAGE ADMINISTRATOR  
Scott Koepfel

VILLAGE CLERK  
Tracey R. Conti



VILLAGE TRUSTEES  
Heidi Lendi  
Matthew Bonnie  
Sean Michels  
Anthony Speciale  
Nora London  
Michael Roskopf

# R E C O M M E N D A T I O N

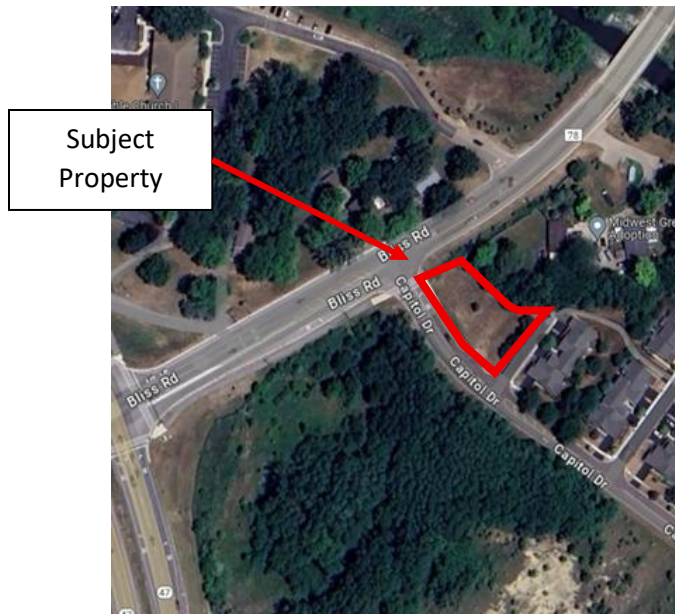
## **PC26-04**

TO: Village President and Board of Trustees  
FROM: Planning Commission  
DATE: Meeting of May 5, 2026  
PETITION: 26-003 391 Capitol Dr – Final Planned Unit Development

### PROPOSAL

The applicant is requesting approval of a Final Planned Unit Development (PUD) for an attached single-family duplex at 391 Capitol Dr.

### LOCATION MAP



## BACKGROUND & HISTORY

The subject property is 391 Capitol Drive. It is currently a vacant lot located on the northeast corner of Bliss Road and Capitol Drive. The property is zoned R3 Medium Density Residential and is part of the Waterford Place Planned Unit Development (PUD), which was approved in 2000. The PUD originally designated the use of the property as a medical office building. Ordinance 2024-0507CD2 amended the original PUD to change the designated use of the property from a medical office building to an attached single-family duplex. That Ordinance also approved the Preliminary PUD plan for the duplex. The applicant is now requesting Final PUD approval for the duplex. The applicant has not made any significant changes to the site plan for the project. The driveway entrance will utilize the existing curb width, which is 21.17 feet, which is 1.17 feet wider than the maximum allowed driveway width at the front lot line per Village Code. This is an existing condition, so a deviation is not required. The driveway will be constructed with permeable pavers, which the Village Engineers have reviewed and deem acceptable, so long as a long-term maintenance plan is provided and approved by the Village. The architectural elevations are consistent with the architectural elevations that were approved with the Preliminary PUD.

The applicant is requesting one deviation:

1. Deviation to reduce the required rear yard setback from 30 feet to 15 feet.

## DISCUSSION

Commissioners discussed the Final PUD at the April 15, 2026 Plan Commission meeting. The Commissioners inquired about the purpose of the deviation request, existing telecommunication poles, and if the sidewalk would be extended on the west side of the property. The applicant informed the Commissioners that the purpose for the request is so that the driveway can properly fit on the site, and that no changes are being proposed to the telecommunication poles or the sidewalk.

## FINDINGS OF FACT

When considering special use requests, the Zoning Ordinance provides certain standards to be considered. The Planning Commission hereby finds that the proposed Special Use:

- a) Will be harmonious with and in accordance with the general objectives of the Comprehensive Land Use Plan and/or this zoning ordinance.

*The project complies with the objectives of the Comprehensive Land Use Plan.*

- b) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not alter the essential character of the same area.

*The site will be designed, constructed, operated, and maintained as required by the Village Code.*

- c) Will not be hazardous or disturbing to existing or future neighborhood uses.

*No issues will affect existing or future neighborhood uses.*

- d) Will be adequately served by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water sewers and schools, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.

*The site will be adequately served and will comply with Village Standards.*

- e) Will not create excessive additional requirements at public cost for public facilities and services, and will not be detrimental to the economic welfare of the Village.

*No additional requirements are expected from the Village.*

- f) Will not involve uses, activities, processes, materials, equipment and/or conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

*There will not be excessive production of the aforementioned.*

- g) Will have vehicular approaches to the property which shall be so designed as to not create an undue interference with traffic on surrounding public streets or highways.

*The site will have appropriate vehicular approaches.*

- h) Will not increase the potential for flood damage to adjacent property, or require additional public expense for flood protection, rescue or relief.

*No.*

- i) Will not result in the destruction, loss or damage of natural, scenic or historic features of major importance to the Village.

*No.*

## **EVALUATION**

The applicant has not made any significant changes to the plans that were approved with the Preliminary PUD. Staff has reviewed the plans and can confirm that the Final PUD is consistent with the approved Preliminary PUD. Since the proposal is for a single-family duplex on a single residential lot, a landscape

plan is not applicable for this project. Staff deems the zoning deviation request to reduce the required rear yard setback from 30 feet to 15 feet acceptable.

Generally, this use is required to conform to the Village of Sugar Grove Special Use Standards. The following evaluation is based on the Special Use Standards.

1. Land Use/General – The use remains consistent with the Comprehensive Plan and the Zoning on the property.

2. Existing Conditions – The subject property is currently vacant; the proposed duplex is consistent with the approved Preliminary PUD.

3. Lots & Buildings – The proposed duplex is consistent with the approved Preliminary PUD.

4. Parking – Each unit will have a two-car garage.

#### **RECOMMENDATION**

After carefully considering the facts, the Planning Commission recommends the Village Board **approve** the Final PUD for 391 Capitol Dr, and to incorporate the findings of fact, subject to the following conditions;

1. The Village Engineers shall approve the final engineering plans prior to the Village Board voting on the case.
2. Brick used on the structure columns on each side of the garages and the base must be 4" real brick.
3. A long-term maintenance plan for the permeable paver driveways must be submitted and approved by the Village Engineers prior to the Village Board voting on the case.

AYES: Airhart, Bieritz, Guddendorf, Dubina

NAYES: None

ABSENT: Sabo, Rockwell

**Motion Passed**

## Cover letter

To: Bravo Berisha, Planning & Zoning Administrator

From: Phil Kuhn

Subject: 391 Capitol Dr. final PUD

Date: December 1, 2025

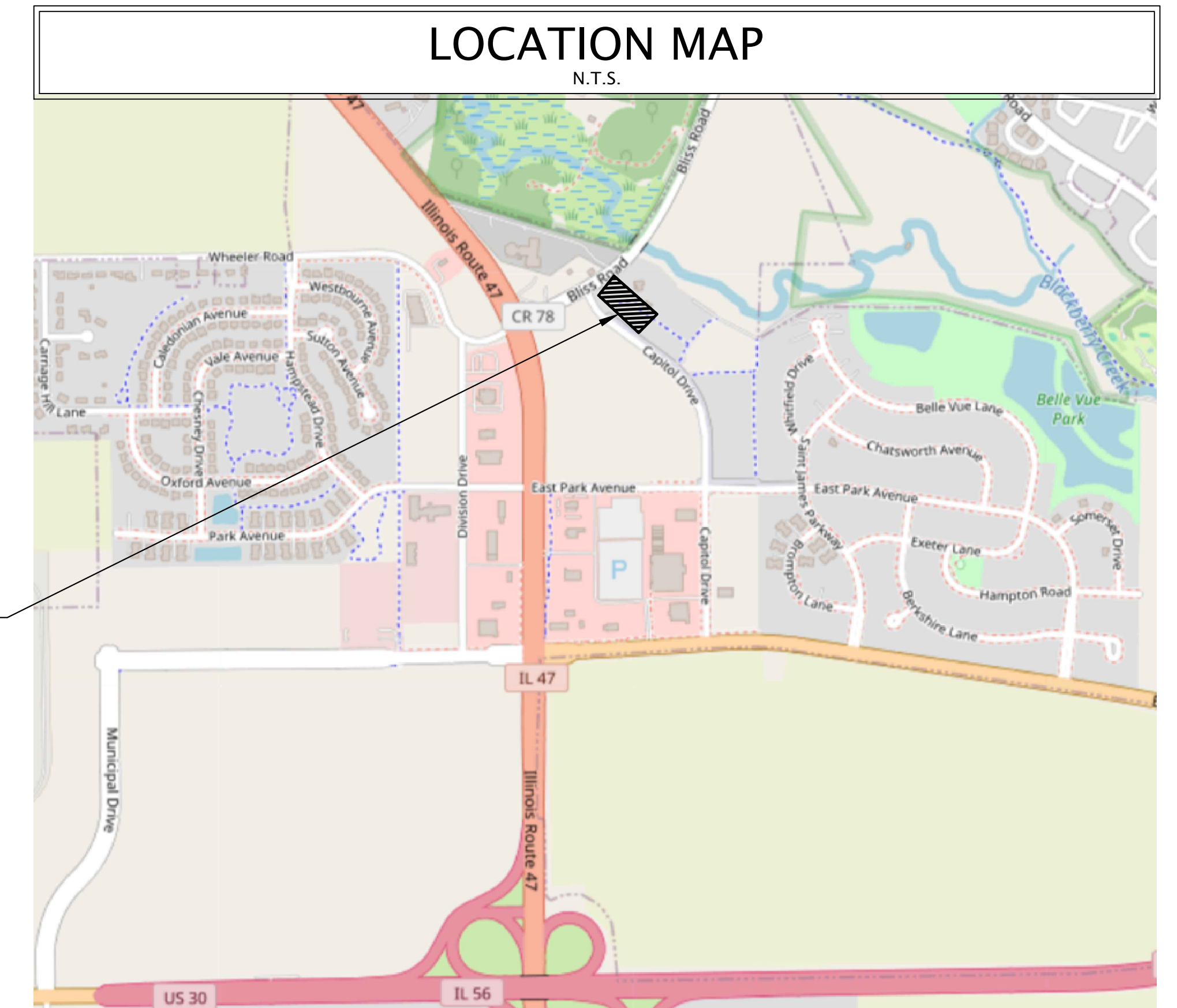
I, Phil Kuhn, am seeking final PUD approval of 391 Capitol Dr. to allow an attached single family (duplex) building on the property. I am using the same engineering plans and the same building/elevation plans that were submitted last year. Nothing has been changed on the plans since the preliminary approval. I am requesting the approval of this property as the final step in the zoning process. This will make the lot ready for construction or marketing to potential buyers.

Feel free to contact me with any questions or concerns.

# ENGINEERING PLANS FOR 391 CAPITOL DRIVE SITE PLAN

SECTION 16, TOWNSHIP 38 NORTH, RANGE 7 EAST

391 CAPITOL DRIVE  
SUGAR GROVE, IL 60554  
KANE COUNTY  
APRIL, 2026



PROJECT LOCATION

## LEGEND

---	PROPERTY BOUNDARY
---600---	EXISTING CONTOUR LINE
---STM---	EXISTING STORM SEWER
---SAN---	EXISTING SANITARY SEWER LINE
---W---	EXISTING WATERMAIN
---UE---	EXISTING UNDERGROUND ELECTRIC
---OHE---	EXISTING OVERHEAD ELECTRIC
---GAS---	EXISTING GAS SERVICE
---T---	EXISTING TELEPHONE
---673---	PROPOSED CONTOUR LINE
---W---	PROPOSED WATERMAIN
---STM---	PROPOSED STORM SEWER
---SAN---	PROPOSED SANITARY SEWER LINE
---GREASE---	PROPOSED GREASE SERVICE LINE
---VENT---	PROPOSED VENT LINE
---F---	EXISTING FENCELINE
---SF---	PROPOSED SILT FENCE
x 686.00	EXISTING SPOT SHOT
x 686.00	PROPOSED SPOT GRADE
EXIST WATER: ---	PROP B-BOX
---	HYDRANT
---	VALVE
---	VALVE VAULT
STORM: ---	INLET-CURB
---	INLET OR MANHOLE
---	FLARED END SECTION
SANITARY: ---	CLEANOUT
---	MANHOLE
PAVEMENT: ---	GRAVEL
---	ASPHALT
x	CONCRETE
⊗	R.O.W. MONUMENT
⊕	PROPERTY PIN
▲	P.K. NAIL
▣	CHISELED MARK
■	BENCHMARK
■	HUB & TACK
⊙	SOIL BORING
→	OVERLAND RELIEF
→	FLOW DIRECTION
---	UTILITY POLE
---	GUY WIRE LOC.
---	UTIL CABINET
---	UTIL PEDESTAL
---	LIGHT POLE
---	TRAFFIC SIGNAL
---	ELECTRIC VAULT
---	GAS VALVE

SURVEY COMPLETED BY:  
**TODD SURVEYING**  
PROFESSIONAL LAND SURVEYING SERVICES  
CORNERSTONE SURVEYING PC  
759 JOHN STREET, SUITE D, YORKVILLE, IL 60560  
PHONE: 630-892-1309 FAX: 630-892-5544



Know what's below.  
Call before you dig.

Contractor and/or sub-contractors shall verify locations of all underground utilities prior to digging. Contact J.U.L.I.E. (Joint Utility Locating for Excavators) at 1-800-892-0123 or dial 811.

### UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

### TOPOGRAPHY STATEMENT

EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY TEBRUGGE ENGINEERING. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

### UTILITY CONTACTS

**ELECTRIC**  
COMED (800) 334-7661

**NATURAL GAS**  
NICOR (888) 642-6748

**PHONE**  
AT&T (800) 288-2020

**CABLE/TELEVISION**  
COMCAST (866) 594-1234

### AGENCY CONTACTS:

VILLAGE OF SUGAR GROVE PUBLIC WORKS (630) 391-7230  
VILLAGE OF SUGAR GROVE POLICE DEPARTMENT (630) 391-7250  
VILLAGE OF SUGAR GROVE FIRE DEPARTMENT (630) 466-4513

FOX METRO WATER RECLAMATION DISTRICT (630) 301-6811  
WWW.FOXMETRO.ORG

### LEGAL DESCRIPTION

LOT 27 OF WATERFORD PLACE, IN THE VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS.  
COMMONLY KNOWN AS 391 CAPITOL DRIVE, SUGAR GROVE, ILLINOIS  
PIN 14-16-226-003

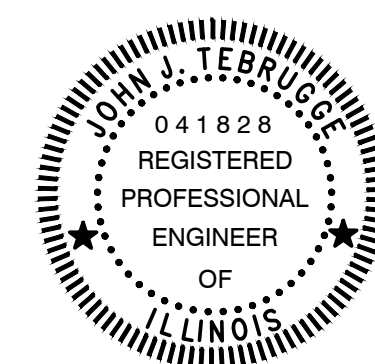
### INDEX TO SHEETS

1. COVER SHEET
2. EXISTING CONDITIONS & DEMOLITION PLAN
3. CIVIL SITE PLANS
4. SANITARY PLAN & PROFILE
5. VILLAGE OF SUGAR GROVE NOTES
6. DETAILS
7. FOX METRO NOTES & DETAILS

PROFESSIONAL ENGINEER'S CERTIFICATION  
STATE OF ILLINOIS, COUNTY OF KENDALL

I JOHN J. TEBRUGGE, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY PERSONAL DIRECTION BASED ON AVAILABLE DOCUMENTS AND FIELD MEASUREMENTS FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.

GIVEN UNDER MY HAND & SEAL THIS 20<sup>TH</sup> DAY OF APRIL, 2026.



*John J. Tebrugge*  
ILLINOIS REGISTERED PROFESSIONAL ENGINEER  
NO. 0062-041828 EXPIRES NOV. 30, 2027

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ALL RIGHTS RESERVED. NO PART OF THESE CIVIL ENGINEERING PLANS MAY BE REPRODUCED, DISTRIBUTED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING PHOTOCOPYING, RECORDING, OR OTHER ELECTRONIC OR MECHANICAL METHODS, WITHOUT THE PRIOR WRITTEN PERMISSION OF TEBRUGGE ENGINEERING.

### BENCHMARKS:

BECHMARKS:

SOURCE BENCHMARK:  
CITY OF AURORA MONUMENT #55  
ELEVATION= 690.81

SITE BENCHMARK (SITE TBM):  
CUT "X" AT TOP OF CURB ADJACENT TO FIRE HYDRANT ON CAPITOL DRIVE.  
(AS NOTED)  
ELEVATION= 703.52

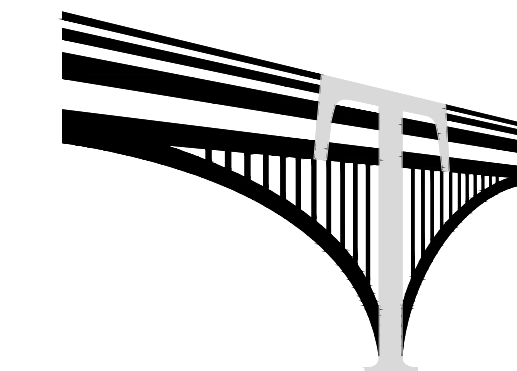
### PLANS PREPARED FOR:

PHIL KUHN  
133 VALE AVE  
SUGAR GROVE, IL 60554  
PHONE: (630) 330-1419  
EMAIL: PHILKUHN@SBCGLOBAL.NET

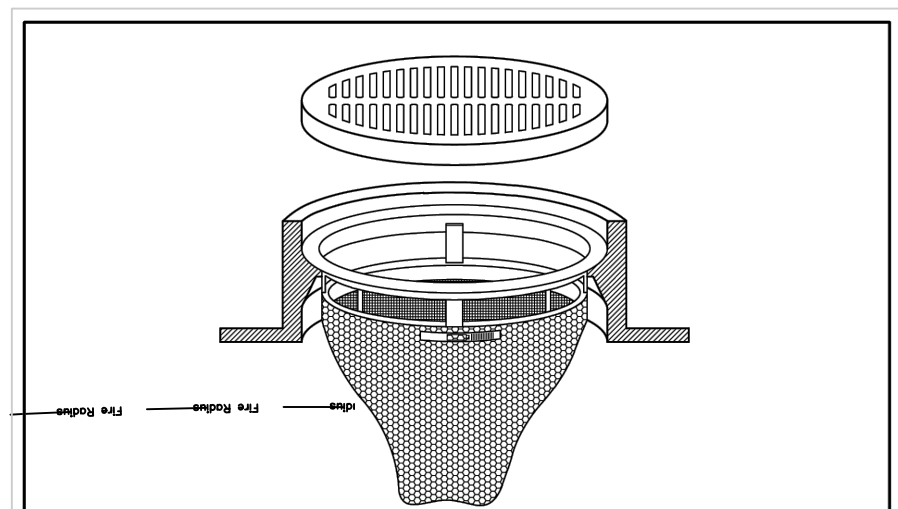
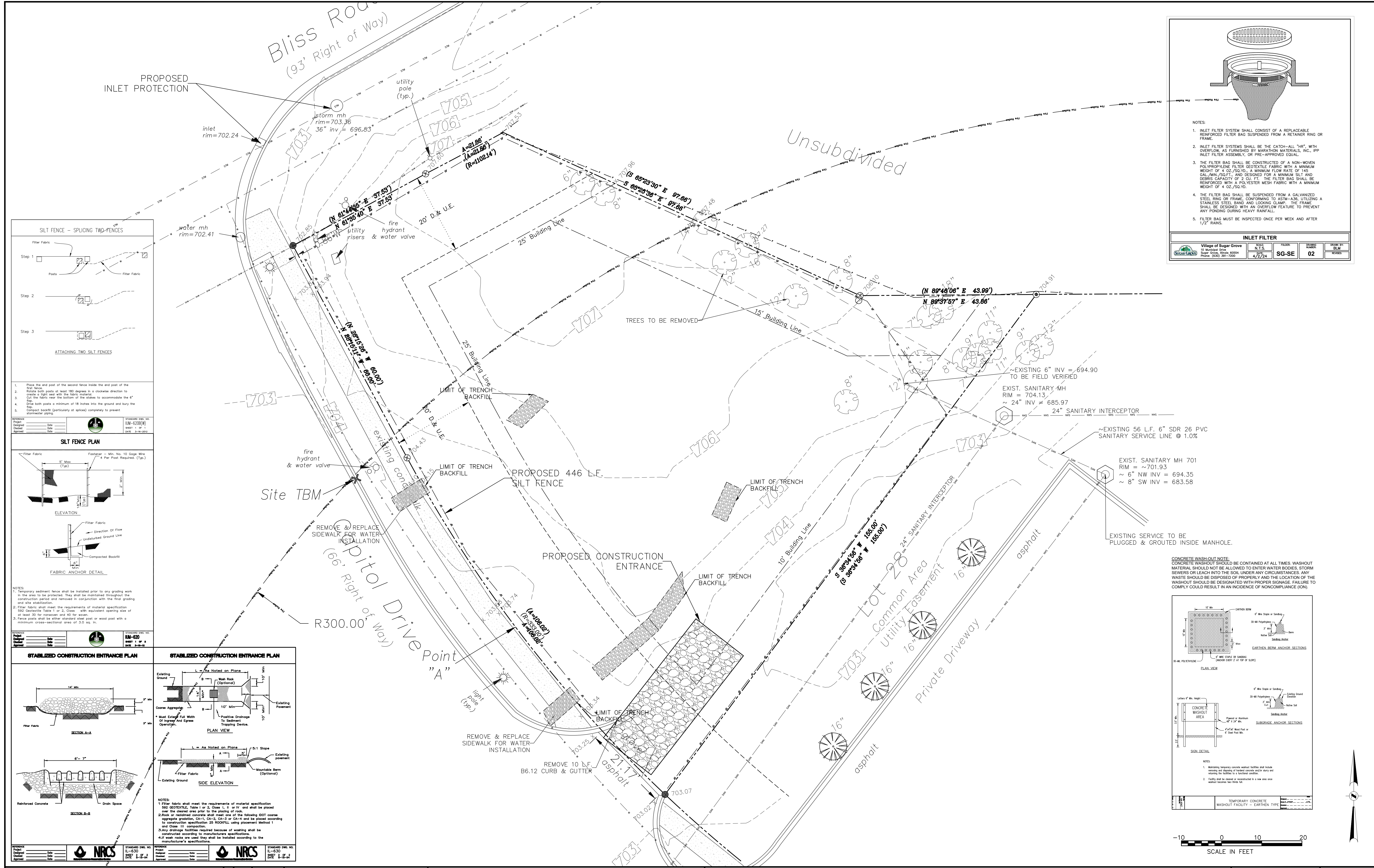
### CIVIL ENGINEER:

TEBRUGGE ENGINEERING  
410 E CHURCH ST - SUITE A  
SANDWICH, ILLINOIS 60548  
(815) 786-0195

INFO@TEBRUGGEENGINEERING.COM  
WWW.TEBRUGGEENGINEERING.COM

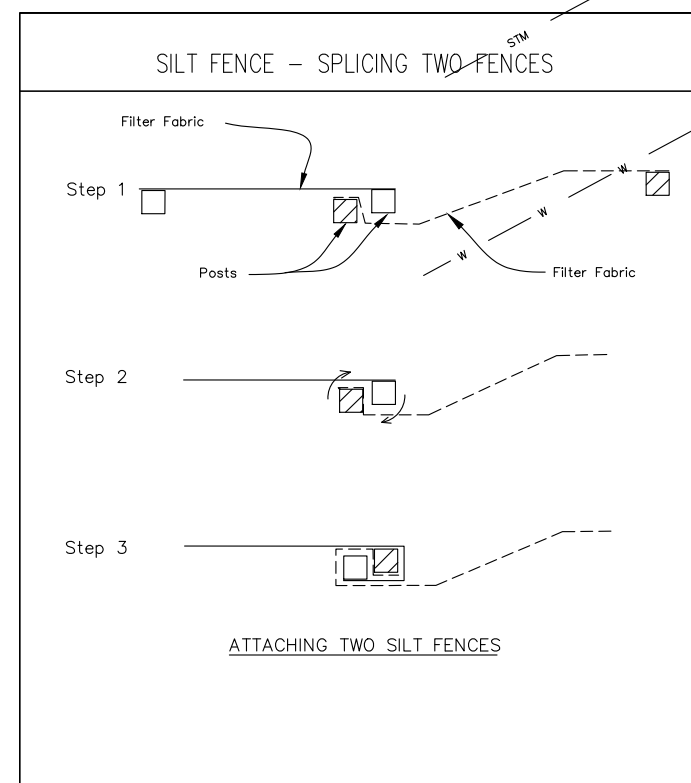


NO.	DATE	NOTES
1	2.2.26	SUGAR GROVE REVIEW LETTER 1.5.26
2	3.25.26	SUGAR GROVE REVIEW LETTER 3.24.26
3	4.20.26	SUGAR GROVE REVIEW LETTER 4.17.26

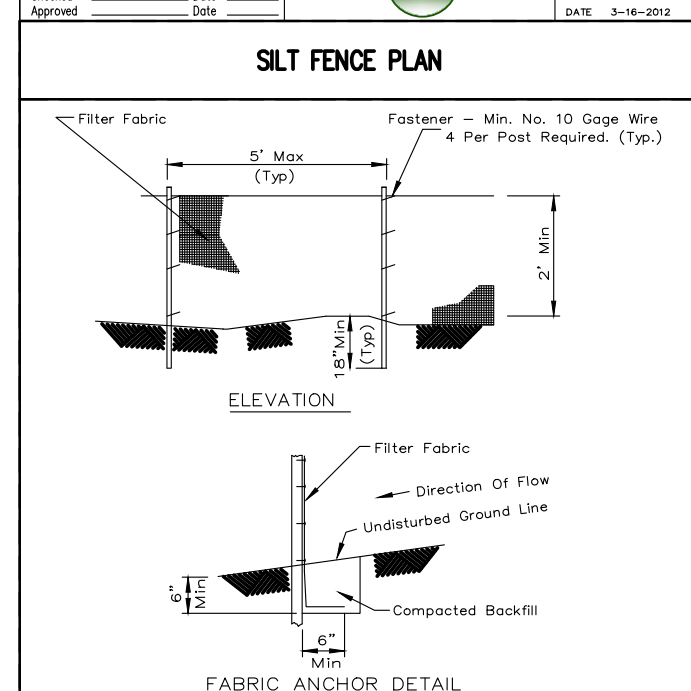


- NOTES:
1. INLET FILTER SYSTEM SHALL CONSIST OF A REPLACEABLE REINFORCED FILTER BAG SUSPENDED FROM A RETAINER RING OR FRAME.
  2. INLET FILTER SYSTEMS SHALL BE THE CATCH-ALL "HP", WITH OVERFLOW, AS FURNISHED BY MARATHON MATERIALS, INC. IPP INLET FILTER ASSEMBLY, OR PRE-APPROVED EQUAL.
  3. THE FILTER BAG SHALL BE CONSTRUCTED OF A NON-WOVEN POLYPROPYLENE FILTER GEOTEXTILE FABRIC WITH A MINIMUM WEIGHT OF 4 OZ./SQ.YD., A MINIMUM FLOW RATE OF 145 GAL./MIN./SQ.FT., AND DESIGNED FOR A MINIMUM SILT AND DEBRIS CAPACITY OF 2 CU. FT. THE FILTER BAG SHALL BE REINFORCED WITH A POLYESTER MESH FABRIC WITH A MINIMUM WEIGHT OF 4 OZ./SQ.YD.
  4. THE FILTER BAG SHALL BE SUSPENDED FROM A GALVANIZED STEEL RING OR FRAME, CONFORMING TO ASTM-A36, UTILIZING A STAINLESS STEEL BAND AND LOCKING CLAMP. THE FRAME SHALL BE DESIGNED WITH AN OVERFLOW FEATURE TO PREVENT ANY PONDING DURING HEAVY RAINFALL.
  5. FILTER BAG MUST BE INSPECTED ONCE PER WEEK AND AFTER 1/2" RAINS.

INLET FILTER			
Project: Village of Sugar Grove	Scale: N.T.S.	Revision: SG-SE	Drawn by: BLM
Design: 10 Washout Drive	Date: 4/2/24	Sheet: 02	Checked: [Signature]
Client: [Signature]	Phone: (830) 381-7200		

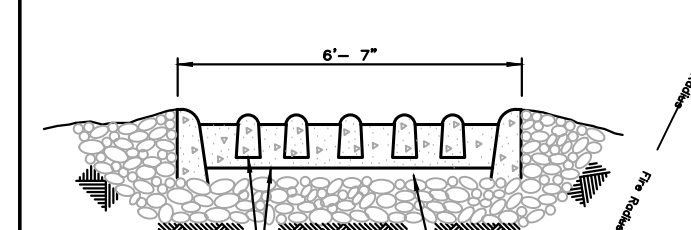
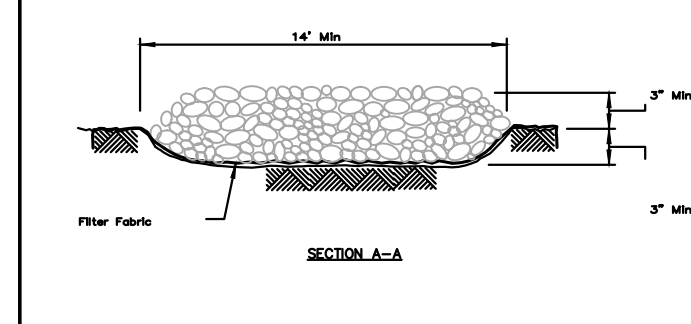


- ATTACHING TWO SILT FENCES
1. Place the end post of the second fence inside the end post of the first fence.
  2. Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
  3. Cut the fabric near the bottom of the stakes to accommodate the 6" gap.
  4. Drive both posts a minimum of 18 inches into the ground and bury the top.
  5. Compact backfill (particularly at spikes) completely to prevent stormwater piping.



- NOTES:
1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
  2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class 1 or 2, with equivalent opening size of at least 50 for retention and 40 for flow.
  3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

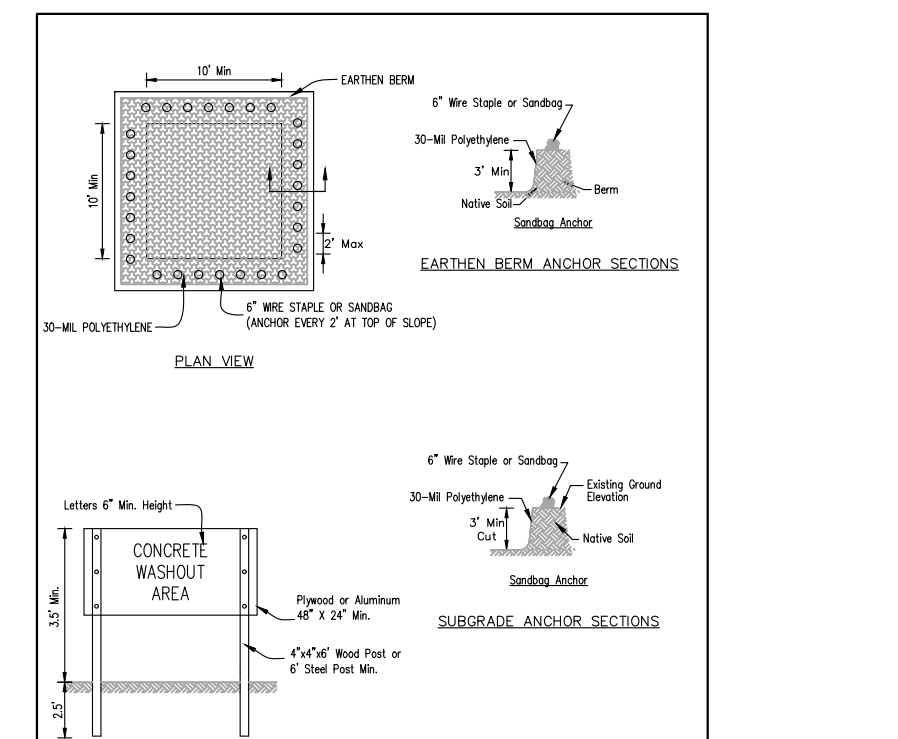
Project:	Date:	Scale:	Revision:
IM-620	4/2/24	1" = 10'	02



- NOTES:
1. Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table 1 or 2, Class 1, 2, 3, or 4 and shall be placed over the cleared area prior to the placing of rock.
  2. Block or reinforced concrete shall meet one of the following DOT course aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 RECONSTRUCTION, using placement Method 1 and Class III compaction.
  3. Any drainage facilities required because of washing shall be constructed according to manufacturer's specifications.
  4. If wash racks are used they shall be installed according to the manufacturer's specifications.

Project:	Date:	Scale:	Revision:
IM-630	4/2/24	1" = 10'	02

CONCRETE WASH-OUT NOTE:  
CONCRETE WASH-OUT SHOULD BE CONTAINED AT ALL TIMES. WASH-OUT MATERIAL SHOULD NOT BE ALLOWED TO ENTER WATER BODIES, STORM SEWERS OR LEACH INTO THE SOIL UNDER ANY CIRCUMSTANCES. ANY WASTE SHOULD BE DISPOSED OF PROPERLY AND THE LOCATION OF THE WASH-OUT SHOULD BE DESIGNATED WITH PROPER SIGNAGE. FAILURE TO COMPLY COULD RESULT IN AN INCIDENT OF NONCOMPLIANCE (ION).



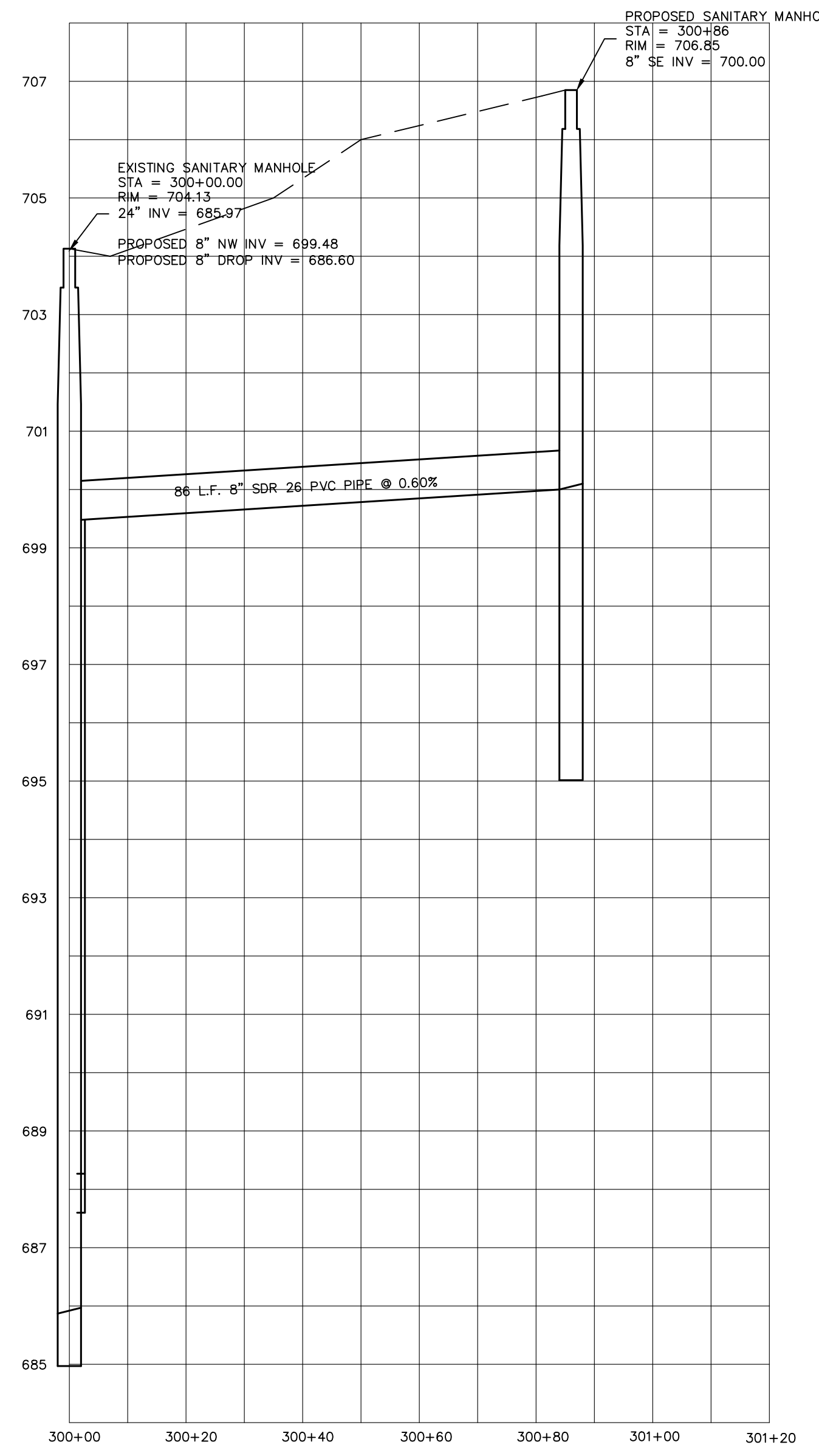
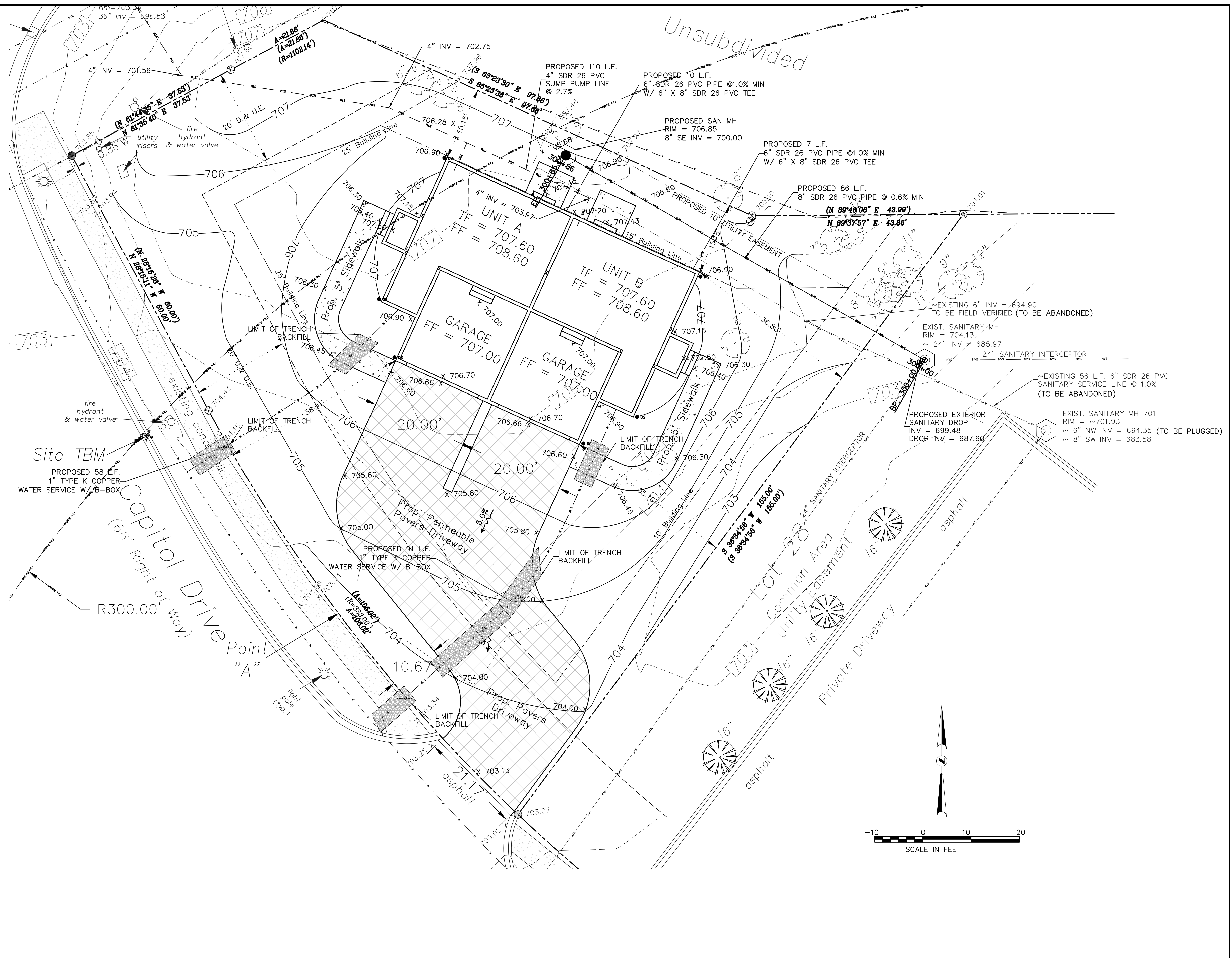
- NOTES:
1. Maintain temporary concrete washout facilities and include necessary signage to prevent concrete washout from entering stormwater in a beneficial condition.
  2. Facilities shall be checked and maintained in a useable state and washout basins shall be kept clear.

Project:	Date:	Scale:	Revision:
IM-630	4/2/24	1" = 10'	02

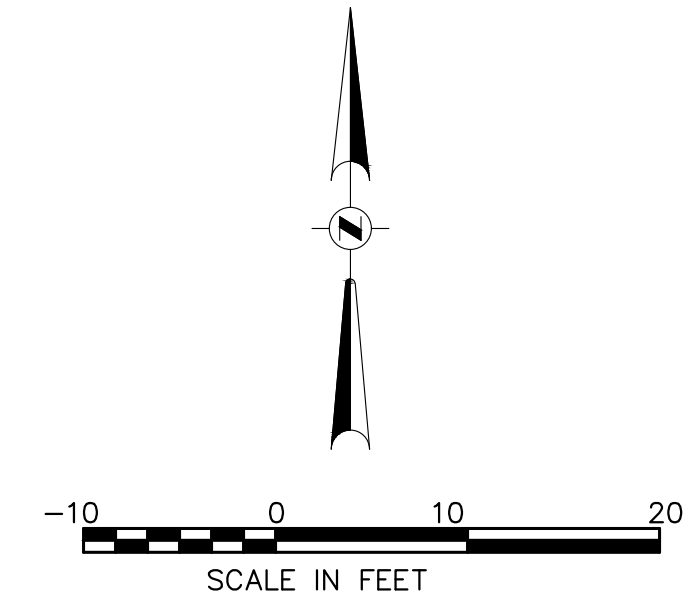


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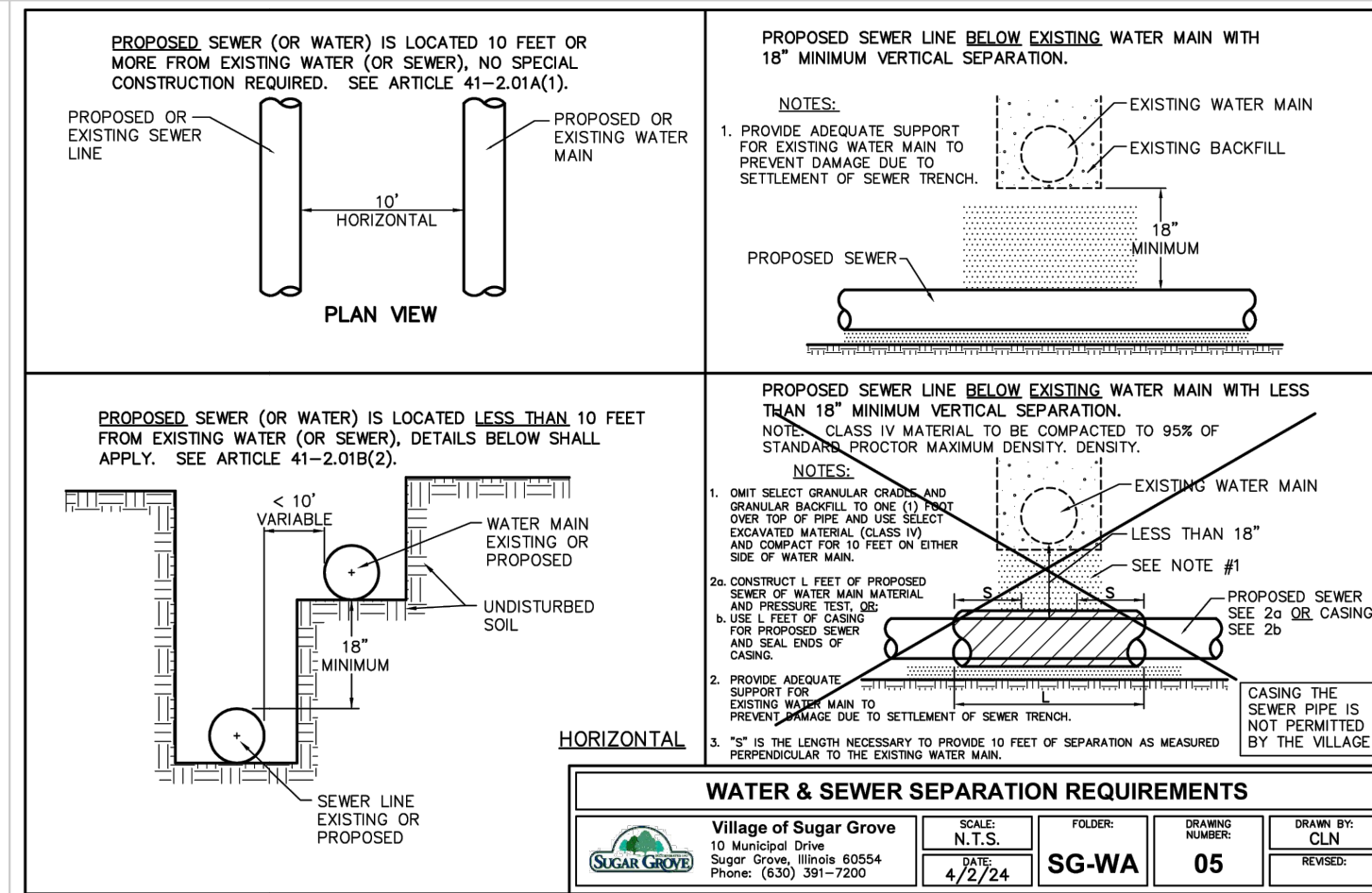
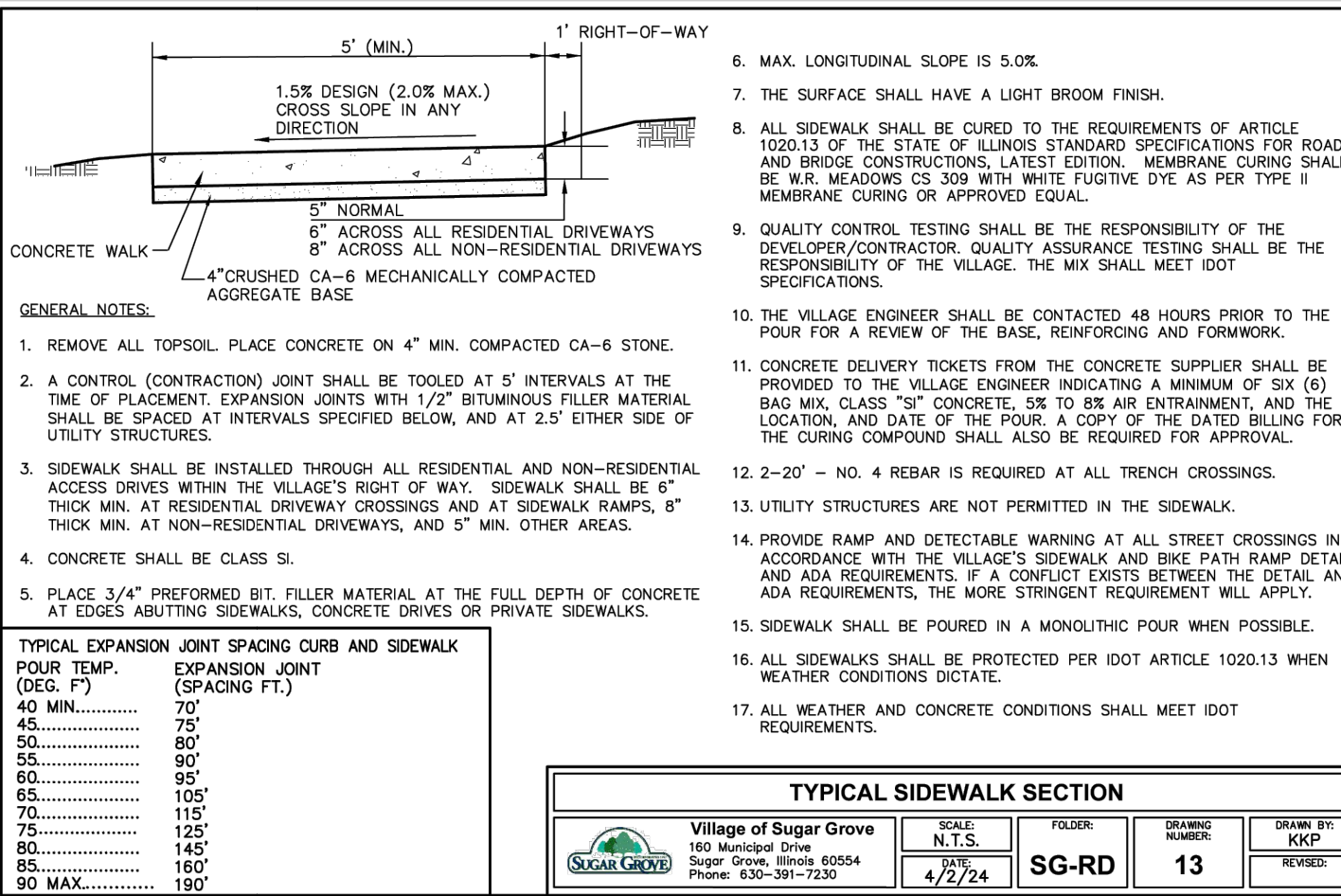
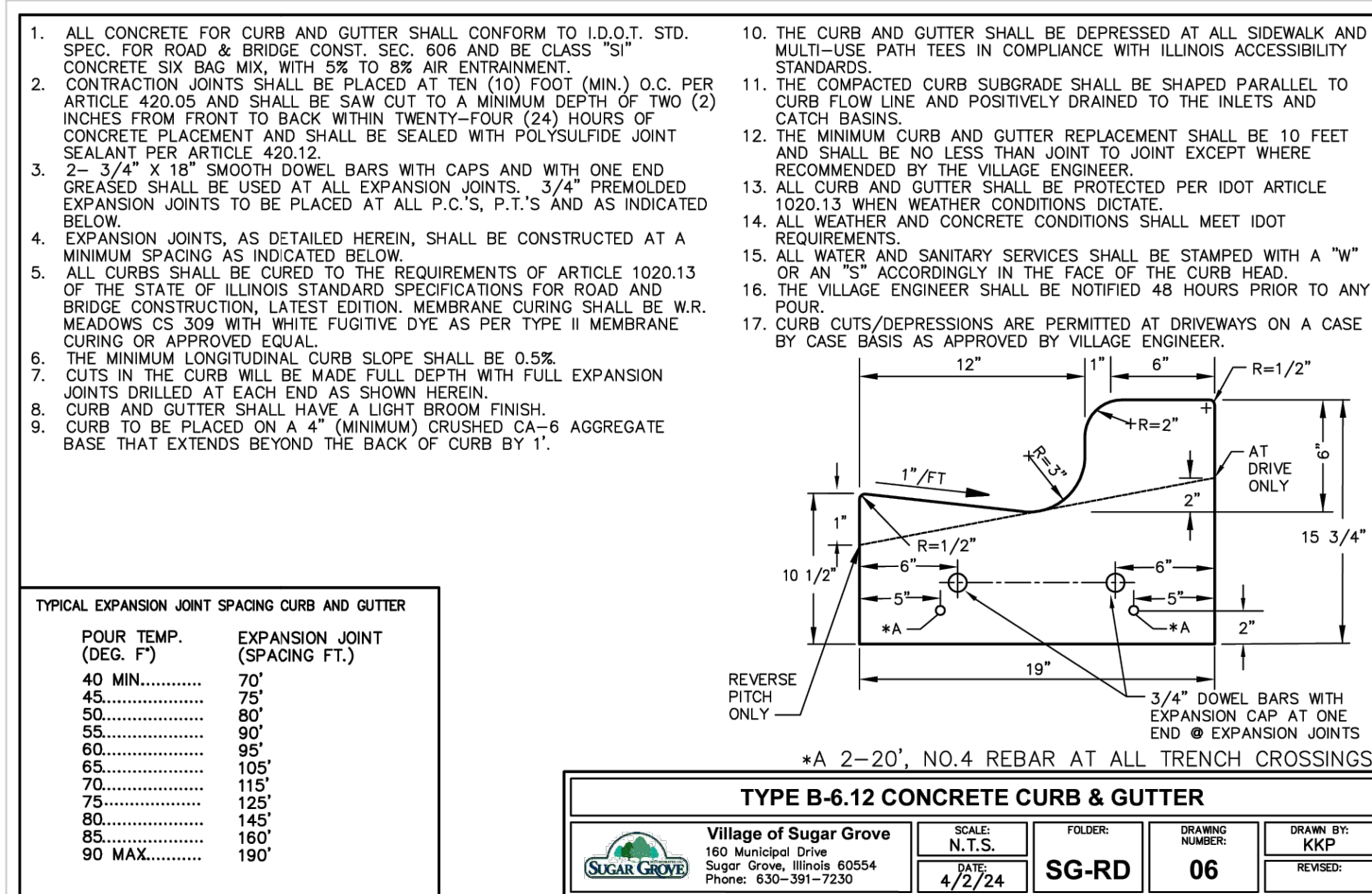


**8" SANITARY MAIN PROFILE**  
 HORZ. SCALE: 1" = 20'  
 VERT. SCALE: 1" = 2'

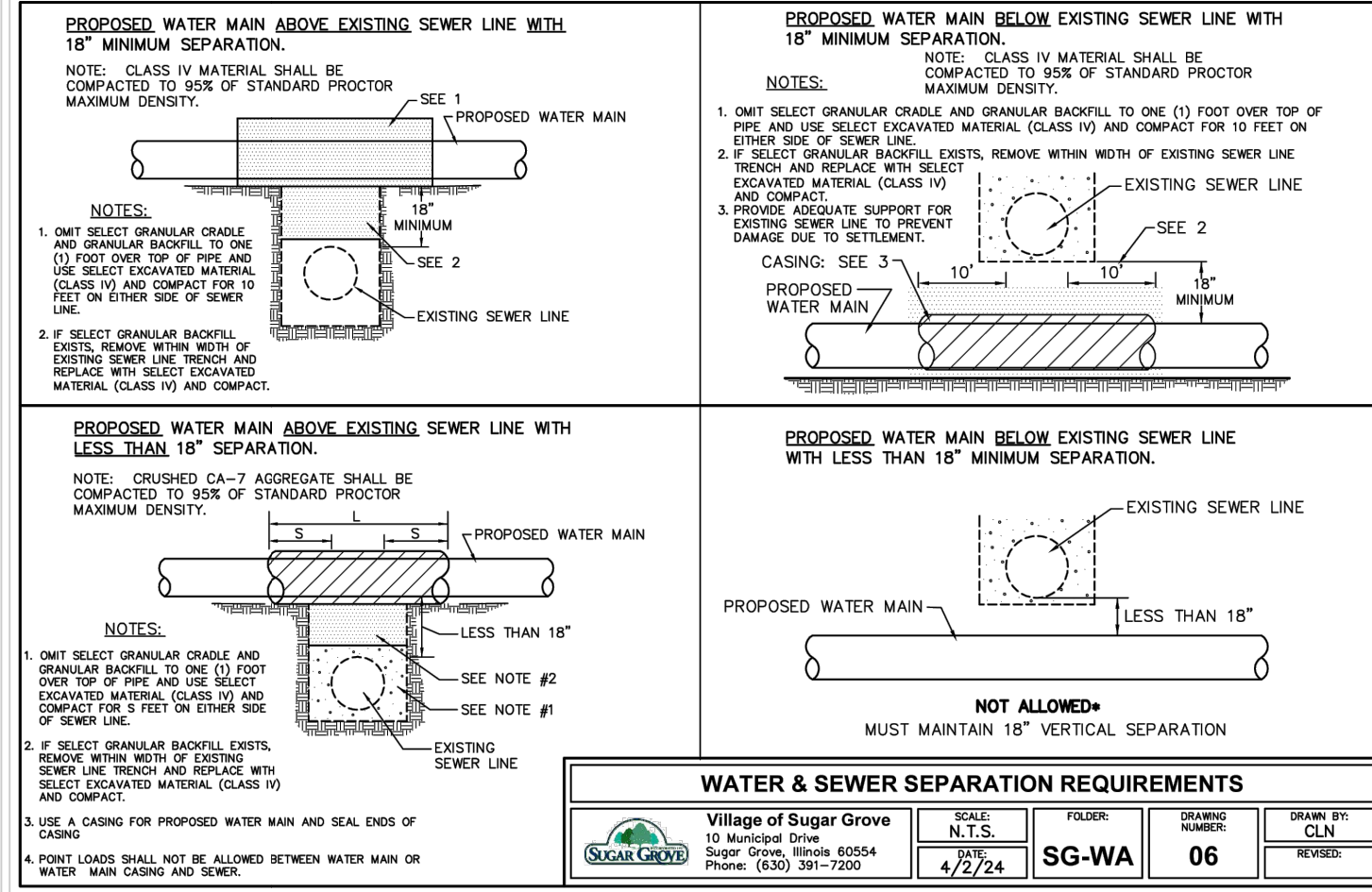
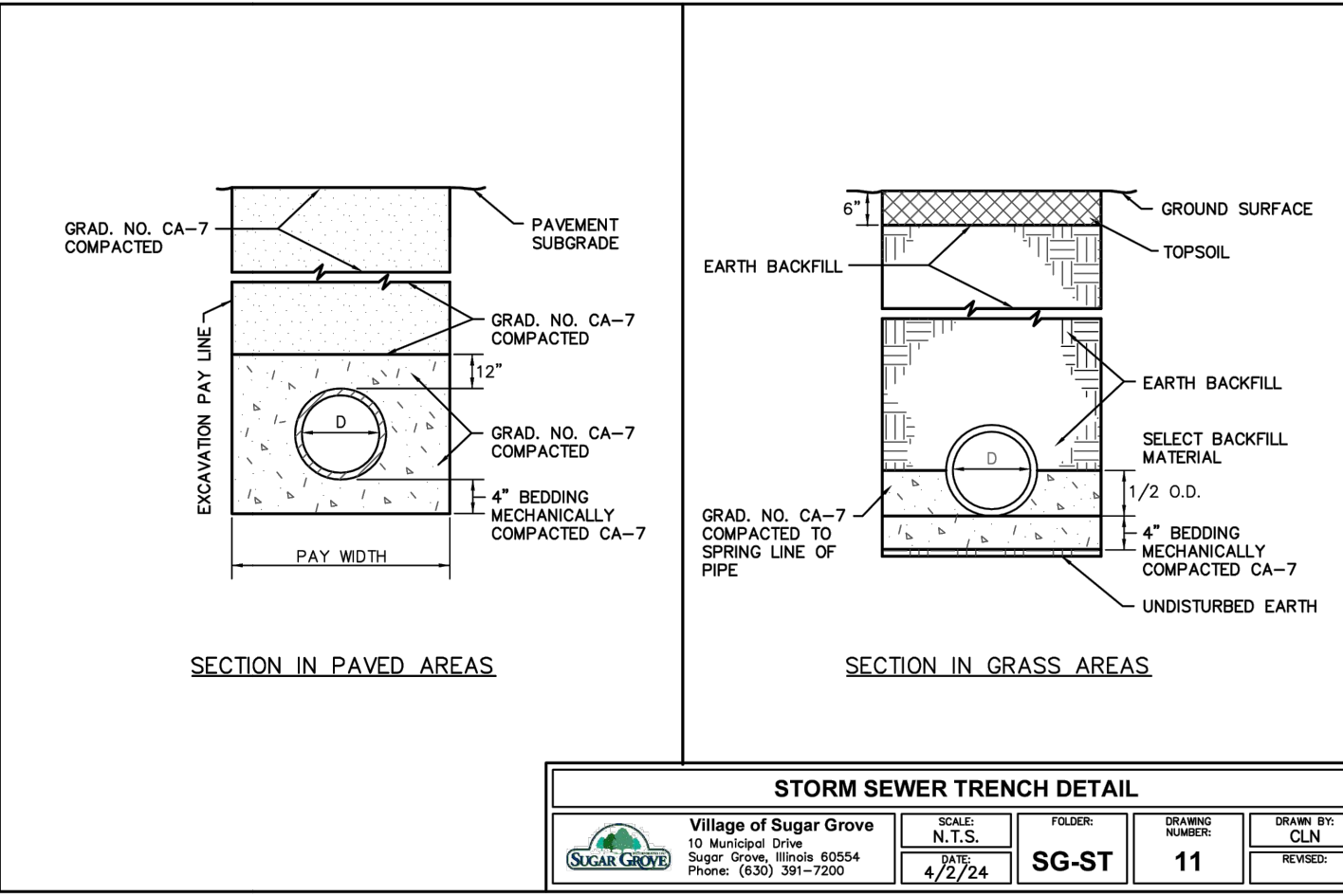
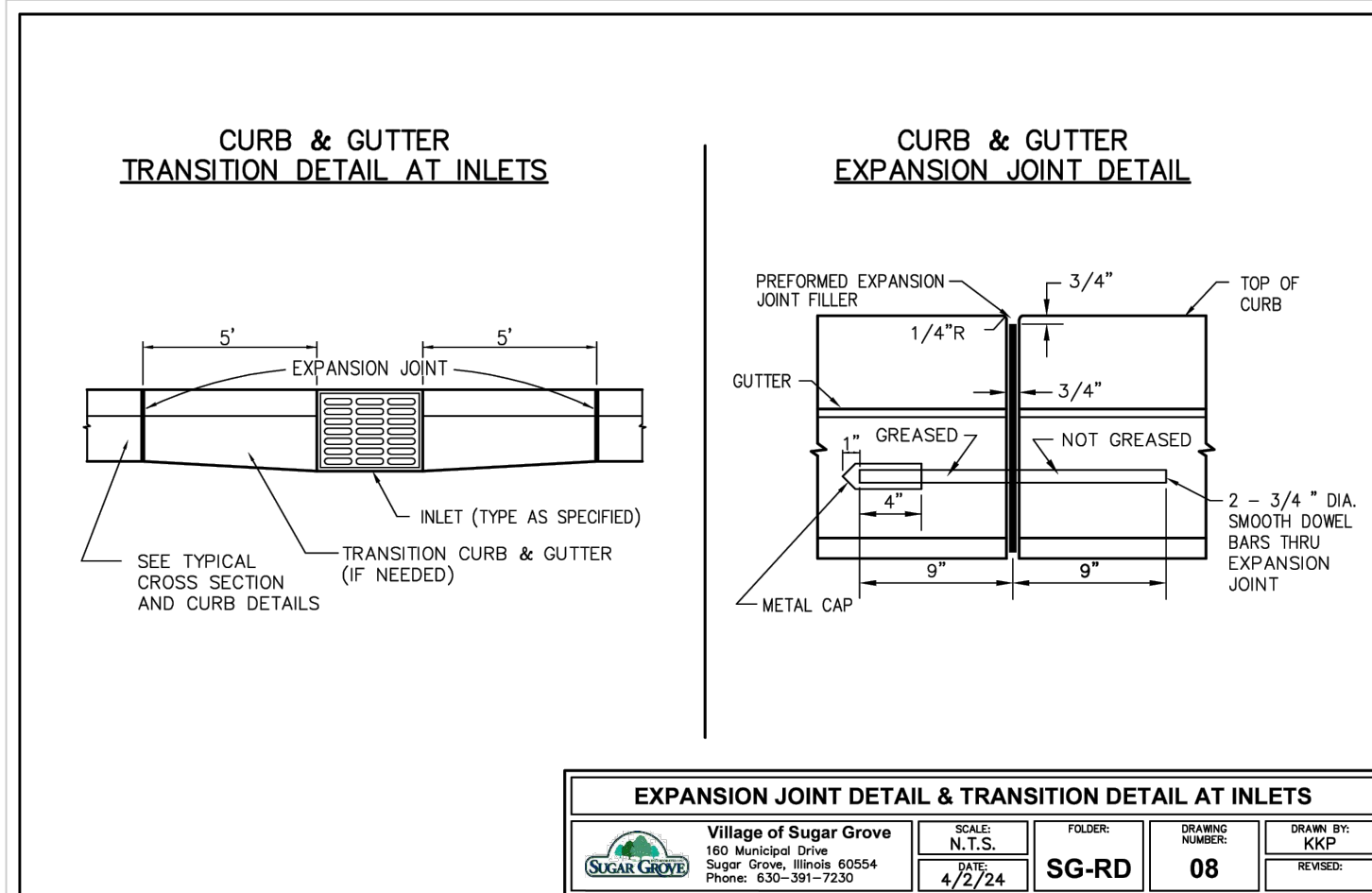


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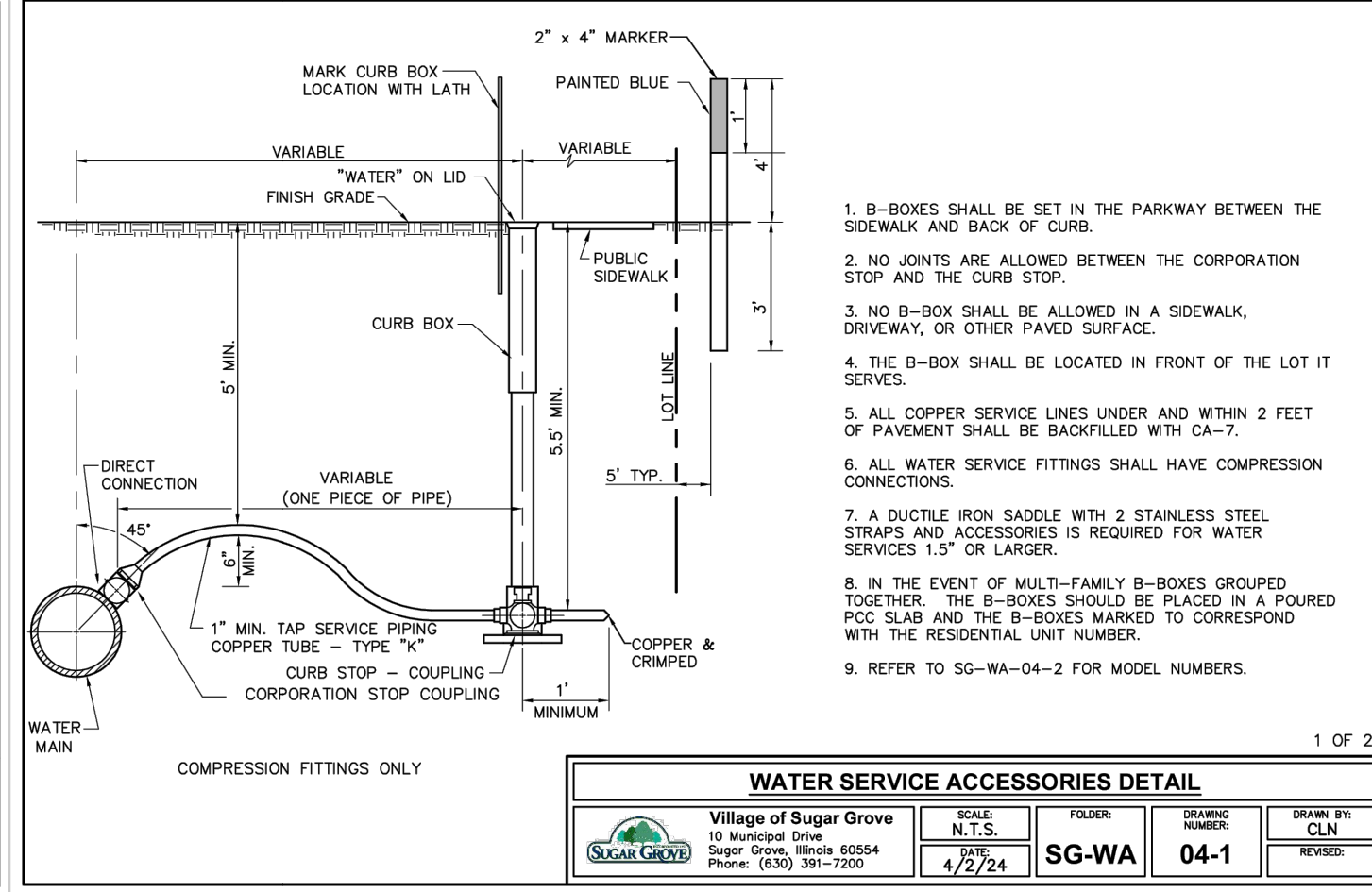
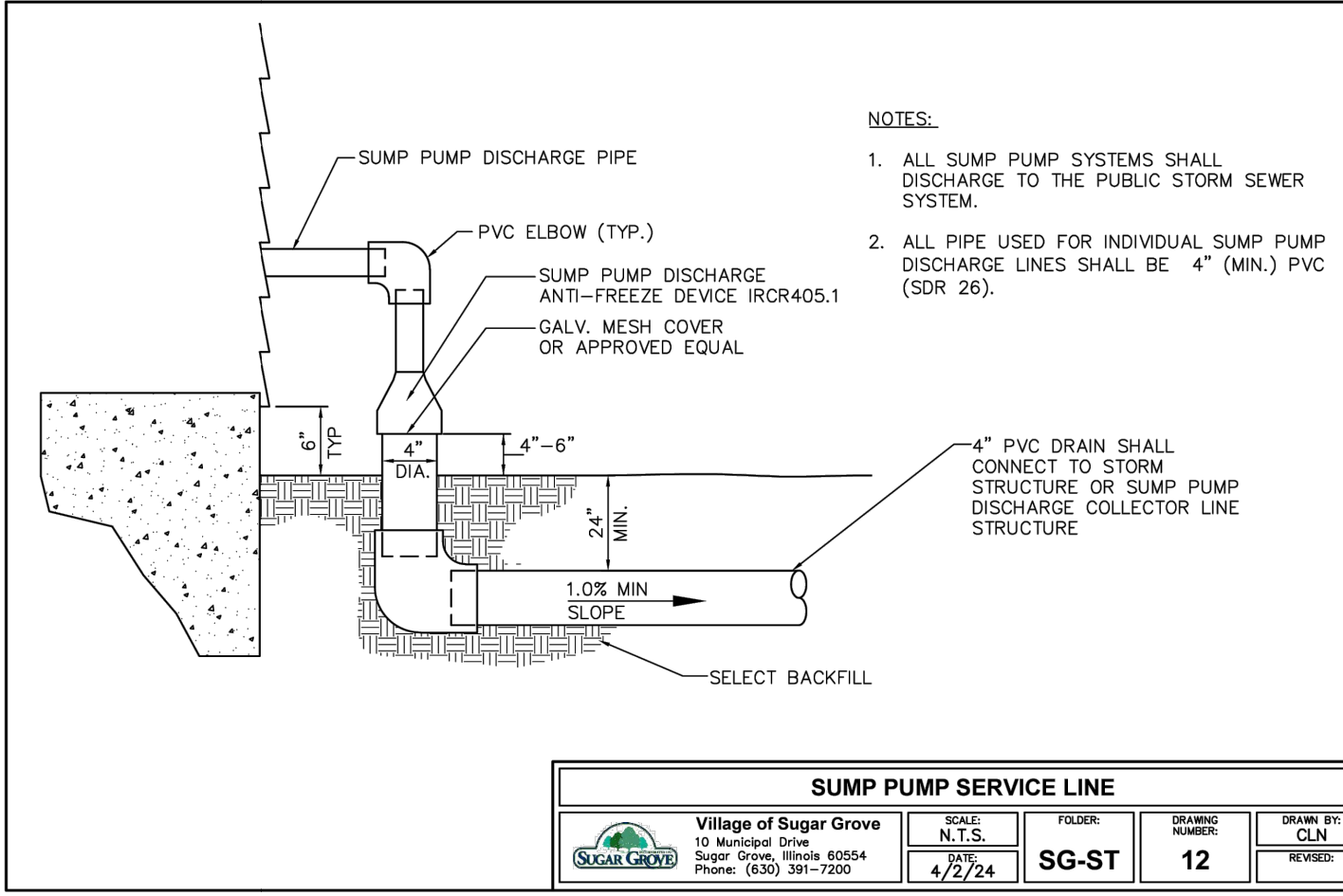
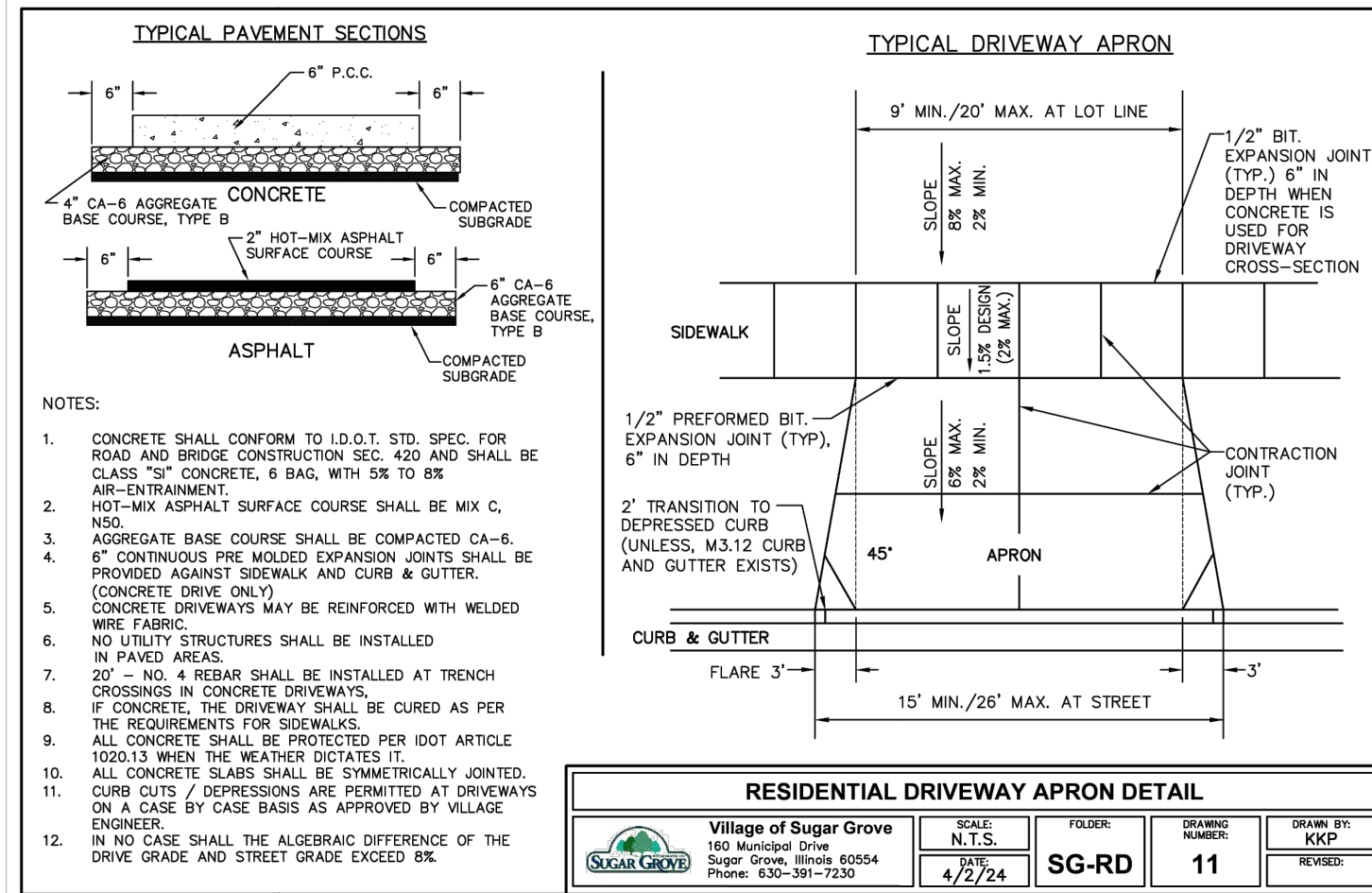




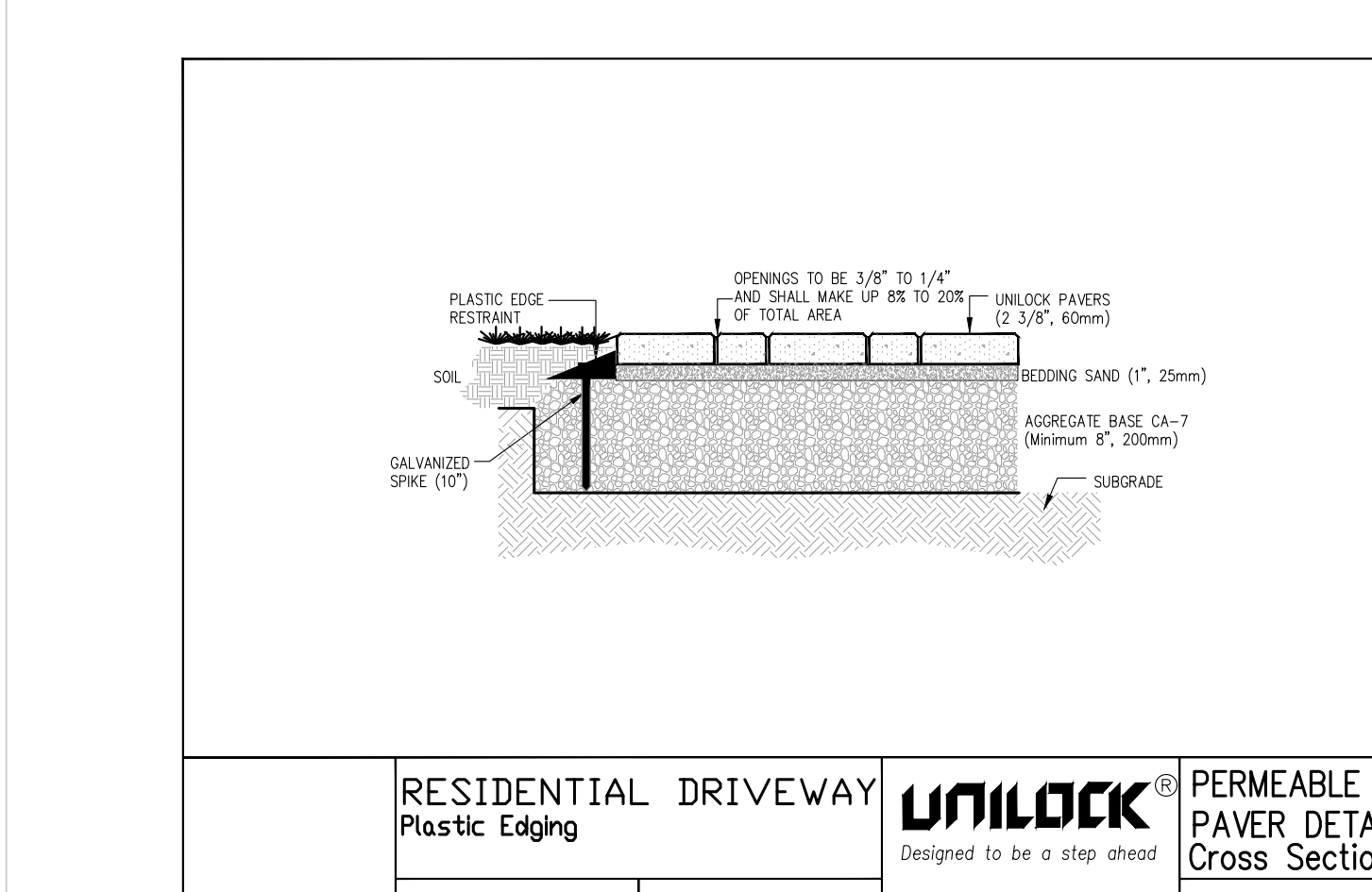
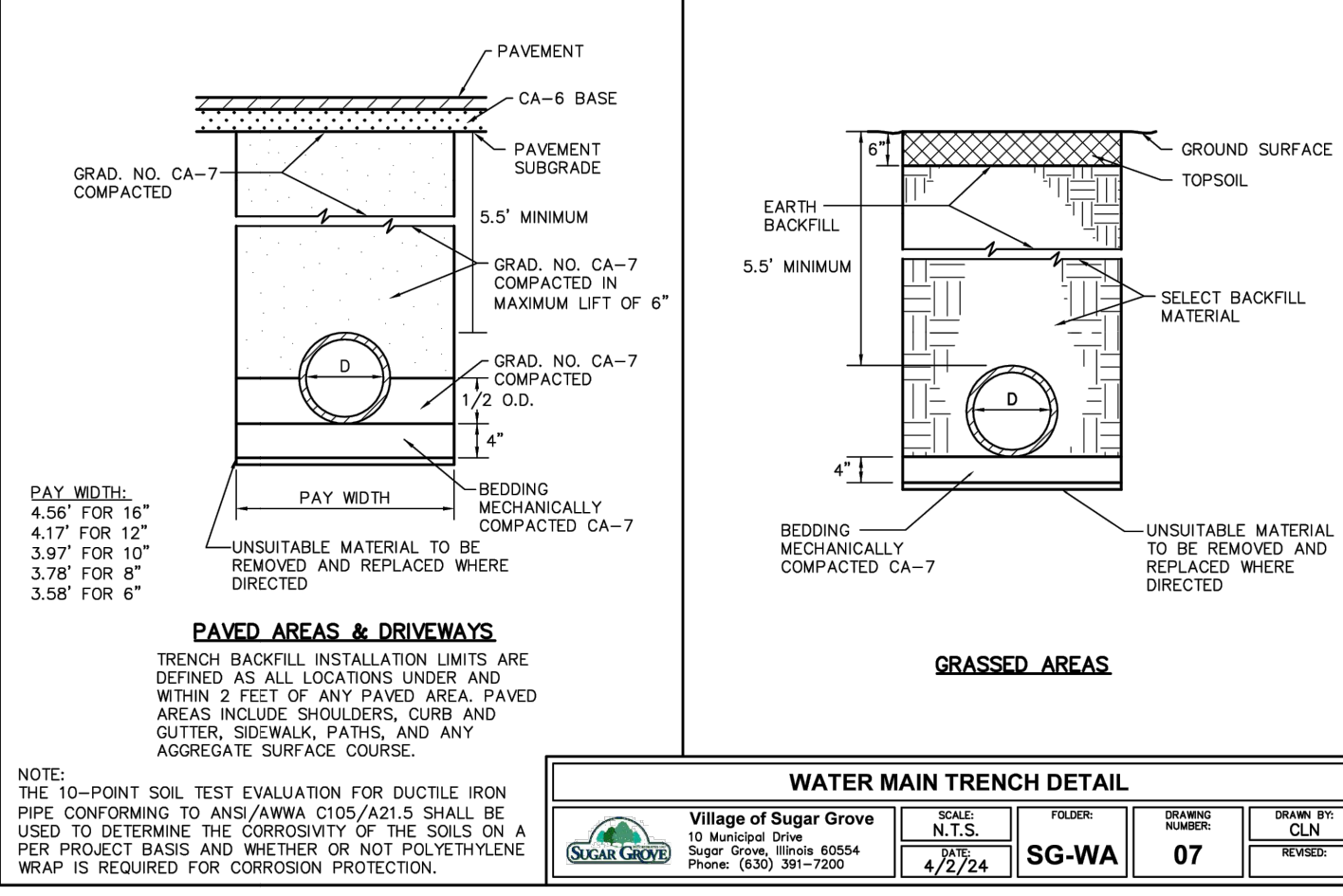
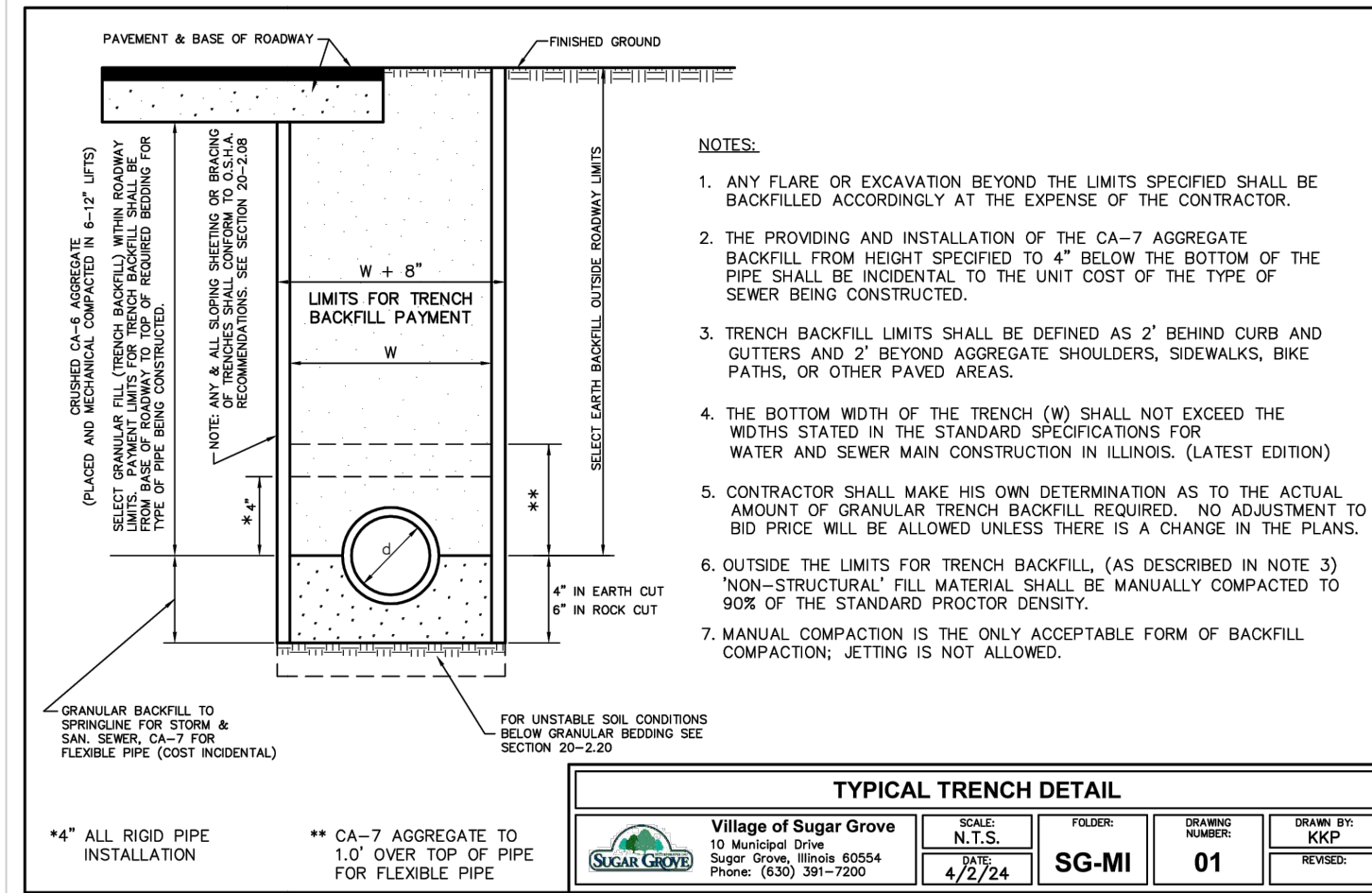
BRAND	MUELLER		
SIZE	1"	1.5"	2"
CORPORATION STOP	B-25008	B-25008	B-25008
CURB STOP	B-25155	B-25155	B-25155
CURB BOX	H-10302	H-10302-9002	H-10302-9002
BRAND	FORD		
SIZE	1"	1.5"	2"
CORPORATION STOP	FB1000-4-Q	FB1000-6-Q	FB1000-7-Q
CURB STOP	B44-444-MQ	B44-666-MQ	B44-777-MQ
CURB BOX	EM2-55-67	EM2-666-MQ	EM2-55-67
BRAND	A.Y.MCDONALD		
SIZE	1"	1.5"	2"
CORPORATION STOP	7470180 (17)	7470180 (1.57)	7470180 (27)
CURB BOX	761040 (17)	761040 (1.57)	761040 (27)
	Ø 5.5" MIN. THREADED 1.25" UPPER, 2" BOTTOM THREADED 3/8"		



WATER SERVICE ACCESSORIES DETAIL				
BRAND	MUELLER			
SIZE	1"	1.5"	2"	
CORPORATION STOP	B-25008	B-25008	B-25008	
CURB STOP	B-25155	B-25155	B-25155	
CURB BOX	H-10302	H-10302-9002	H-10302-9002	
BRAND	FORD			
SIZE	1"	1.5"	2"	
CORPORATION STOP	FB1000-4-Q	FB1000-6-Q	FB1000-7-Q	
CURB STOP	B44-444-MQ	B44-666-MQ	B44-777-MQ	
CURB BOX	EM2-55-67	EM2-666-MQ	EM2-55-67	
BRAND	A.Y.MCDONALD			
SIZE	1"	1.5"	2"	
CORPORATION STOP	7470180 (17)	7470180 (1.57)	7470180 (27)	
CURB BOX	761040 (17)	761040 (1.57)	761040 (27)	
	Ø 5.5" MIN. THREADED 1.25" UPPER, 2" BOTTOM THREADED 3/8"			



WATER SERVICE ACCESSORIES DETAIL				
BRAND	MUELLER			
SIZE	1"	1.5"	2"	
CORPORATION STOP	B-25008	B-25008	B-25008	
CURB STOP	B-25155	B-25155	B-25155	
CURB BOX	H-10302	H-10302-9002	H-10302-9002	
BRAND	FORD			
SIZE	1"	1.5"	2"	
CORPORATION STOP	FB1000-4-Q	FB1000-6-Q	FB1000-7-Q	
CURB STOP	B44-444-MQ	B44-666-MQ	B44-777-MQ	
CURB BOX	EM2-55-67	EM2-666-MQ	EM2-55-67	
BRAND	A.Y.MCDONALD			
SIZE	1"	1.5"	2"	
CORPORATION STOP	7470180 (17)	7470180 (1.57)	7470180 (27)	
CURB BOX	761040 (17)	761040 (1.57)	761040 (27)	
	Ø 5.5" MIN. THREADED 1.25" UPPER, 2" BOTTOM THREADED 3/8"			



ALL DISTURBED AREAS SHALL BE SEEDED WITH IDOT CLASS 1A SEEDMIX

NO.	DATE	NOTES
1	2.2.26	SUGAR GROVE REVIEW LETTER 1.5.26
2	3.25.26	SUGAR GROVE REVIEW LETTER 3.24.26
3	4.20.26	SUGAR GROVE REVIEW LETTER 4.17.26

**GENERAL NOTES**

Rev: 7/6/23

- All sanitary sewer construction shall be performed in accordance with "Fox Metro Water Reclamation District Sewer Use Ordinance No. 885", the "Standard Specifications for Water and Sewer Main Construction in Illinois", and "77 Illinois Administrative Code, part 890, Illinois Plumbing Code", latest edition.
- Final-approved set of plans must be on the job site. Failure to do so may result in a fine and can be considered as cause to stop the job.
- Contractors for all sanitary public sewer extension projects shall notify the District's Engineering Department twenty-four (24) hours before the start of work. Notification shall be done via telephone at (630) 301-6882 or by email at [submittals@foxmetro.org](mailto:submittals@foxmetro.org).
- For service connection inspections, call 630-301-6811 by 3:00 p.m. the day before the requested inspection time.
- To prevent any possible infiltration, inflow, or debris from entering the downstream sanitary system, a factory-made plug shall be placed in the manhole by the contractor as indicated on the final-approved plans. The placement of the plug(s) shall not interrupt the service of any user. This plug is to be removed only upon approval by the District or the city/village, and only after any construction drainage and/or debris has been properly removed. Under no circumstances is overland surface drainage allowed to drain into the sanitary system.
- All sanitary sewers shall be tested by Section 31-1.12 of the "Standard Specifications for Water and Sewer Main Construction in Illinois", including all manholes shall be vacuum tested (manhole testing will be in accordance with ASTM-1244-93 or in accordance with District requirements). In case of testing specification conflict, where deeper manholes are constructed, the more stringent requirement will apply.
- When connecting to an existing public sewer where a tee or yee is not provided, an "Inserta Tee" fitting must be installed. The minimum distance between fittings is four (4) feet from center to center.
- Installation of a tee/yee on an existing main is prohibited. The angle of any new connection shall not exceed 1/1 to 45 degrees.
- Only "Infi-Shield", "Adaptor-Seal", "Cretex X-85" and "Wrapipl Seal" or approved equal chimney seals shall be installed on all manholes.
- Only PVC transition fittings shall be used in all new construction when joining PVC pipes that are damaged, disturbed during construction, or have different outside diameters. Refer to Fox Metro's "Manhole/Sewer Pipe Specifications" for information relating to repairs of mains damaged during construction.
- All existing sanitary interceptor (15" in diameter or greater) manhole frames located within any proposed development to be required to be adjusted to grade. Under no circumstances may the vertical height of the adjusting rings exceed eight (8) inches (two total). Extreme care should be taken when working near all sanitary manholes.
- Approved cast iron or concrete cleanout enclosures are required over the top of all cleanout covers in areas deemed necessary by the District.
- Ductile iron and cast-iron pipe are not allowed for the use of gravity sewers in the District.
- Landscape with any District easement is prohibited without review and subsequent plan approval.
- District easements shall be graded so that the ground surface does not exceed a six (6) percent gradient in all directions.
- All building drains/sewers shall be overhead or "hung" through the basement wall of any new building.
- All sanitary risers shall be a depth of no greater than six (6) to seven (7) feet at the right of way/property line. If a conflict arises between a sanitary sewer and a water line, IEPA water & sewer separation requirements take precedence.
- Whether any grease removal system is newly constructed or "retrofitted" to an existing building, a minimum of 1% slope and 3.5' of cover for pipes are required.
- Minimum design slopes shall be 1.00% for six (6) inch building sewers, .40% for eight (8) inch sewers, and .28% for ten (10) inch sewers with all other design slopes conforming to the requirements of the "Standard Specifications for Water and Sewer Main Construction in Illinois".
- All manhole barrel sections (including those sections of existing manholes that have been exposed during construction) shall be required to be externally sealed with a 6" or 8" wide (min.) wrap meeting the requirements of ASTM C-877, "Type II" or "Type III".
- All sags, leaks, pipe defects, or other related issues with any newly televised sanitary sewer shall be repaired by the contractor at the discretion of the District. Approval of repairs must be obtained in writing from the appropriate municipality, or released by the District. At the District's discretion, connection permits may be withheld if confirmation of completed repairs cannot be obtained.
- Any contractor, who consistently fails to perform by the District's standards and specifications as provided on the plans, may be prohibited from performing work in the District. The District reserves the right to revoke or disallow any contractor's bond.
- The District shall televise all sewers eight (8) inches in diameter or greater. To access each manhole, the developer is responsible for providing a smooth, level area of sufficient width along the sanitary sewer system.
- During televising, if any newly constructed public sewer requires "heavy cleaning", additional charges may be incurred by the developer.
- Full-sized cleanouts are required on all building sewers.

**FOX METRO WATER RECLAMATION DISTRICT MANHOLE/SEWER PIPE MATERIALS AND INSTALLATION SPECIFICATIONS MATERIALS**

Rev: 7/6/23

- PIPE & FITTINGS**  
Pipes and fittings used in sanitary sewer construction shall be poly(vinyl chloride) (PVC) pipe and fittings dated over one year old shall not be permitted for use. No solvent-welded joints shall be allowed outside of the foundation wall of any building.  
The types of PVC pipe and fittings that shall be used in the District include:  
  - Poly Vinyl Chloride (PVC) Sewer Pipe and Fittings (ASTM - SDR series):  
    - Conforming to ASTM Numbers D-1784 (cell classification), D-3204, D-3212 (joint spec), and F-477 (gaskets).
    - Poly Vinyl Chloride (PVC) Pressure Rated Pipe and Fittings (ASTM - SDR series):  
      - Conforming to ASTM Numbers D-1784 (cell classification), D-2241, D-2199 (joint spec), and F-477 (gaskets).
      - Poly Vinyl Chloride (PVC) Pressure Rated Pipe and Fittings (ASTM A D18 series):  
        - Conforming to AWWA C-900 and ASTM Numbers D-1784 (cell classification), D-1319 (joint spec), F-477 & F-113 (gaskets).
  - All PVC plastic pipe and fittings shall have a cell classification of 12454 as defined in ASTM D1784 and shall have minimum pipe stiffness as shown below in Table 1. The required Standard Dimension Ratio (SDR) or Dimension Ratio (DR) for PVC pipe and fittings shall be selected based on the depth of cover, as shown in the table below:  

Depth of Cover	Pipe Diameter	Minimum Thickness	National Standard	Minimum Pipe Stiffness
3.5' - <20'	6" - 12"	SDR 26	ASTM D-3034	115
>20' - 25'	6" - 12"	SDR 21	ASTM D-2241	224
>26' & up	6" - 14"	DR-18	AWWA C-900	364

† 4/15/2023: For a nation-wide shortage of D-2241 pvc, this might not be available. Where SDR 21 D-2241 is not available, DR 18 C-900 pipe shall be used at depths > 20'

Fittings in sizes through fourteen (14) inches shall have elastomeric joints and minimum socket depths as specified in each respective section shown above. The District reserves the right to approve/reject all pipes and fittings on a case-by-case basis.
  - BEDDING, HAUNCHING, AND INITIAL BACKFILL**  
Bedding stone shall be thoroughly hauled to provide uniform support under the new pipe. Said bedding material, as outlined in ASTM D-2321, shall be certified by the manufacturer and approved by the District before installation, and possess the following characteristics:  
    - Gradation: Shall meet the IDOT gradation of CA-7, Class 1A, or any material(s) preapproved by the District during the plan-review process († See job below).
    - Description: Shall be crushed stone or crushed gravel, containing no more than 5% fine material, as produced by mechanical means.
    - Plasticity Index of Undisturbed Earth/Trench Base Soil: Shall meet a plasticity index of 0 to 4 percent as determined by the method given in AASHTO T-90.
    - Specific Gravity of Undisturbed (dry) Trench Base Material: Shall have a specific gravity greater than 2.45.
  - Inserta Tee brand fitting shall be required. Please refer to the requirements of the municipality having first jurisdiction over all applicable above or below-grade infrastructure.

**LABORATORY TEST**

The District reserves the right to require a contractor to submit certified copies of all reports of tests conducted by an independent laboratory before the installation of PVC plastic pipe. Tests shall be conducted in accordance with the Standard Method of Test for "External Loading Properties of Plastic Pipe by Parallel-Plate Loading," per ASTM D2412.

**PIPE INSTALLATION AND FIELD TESTING**

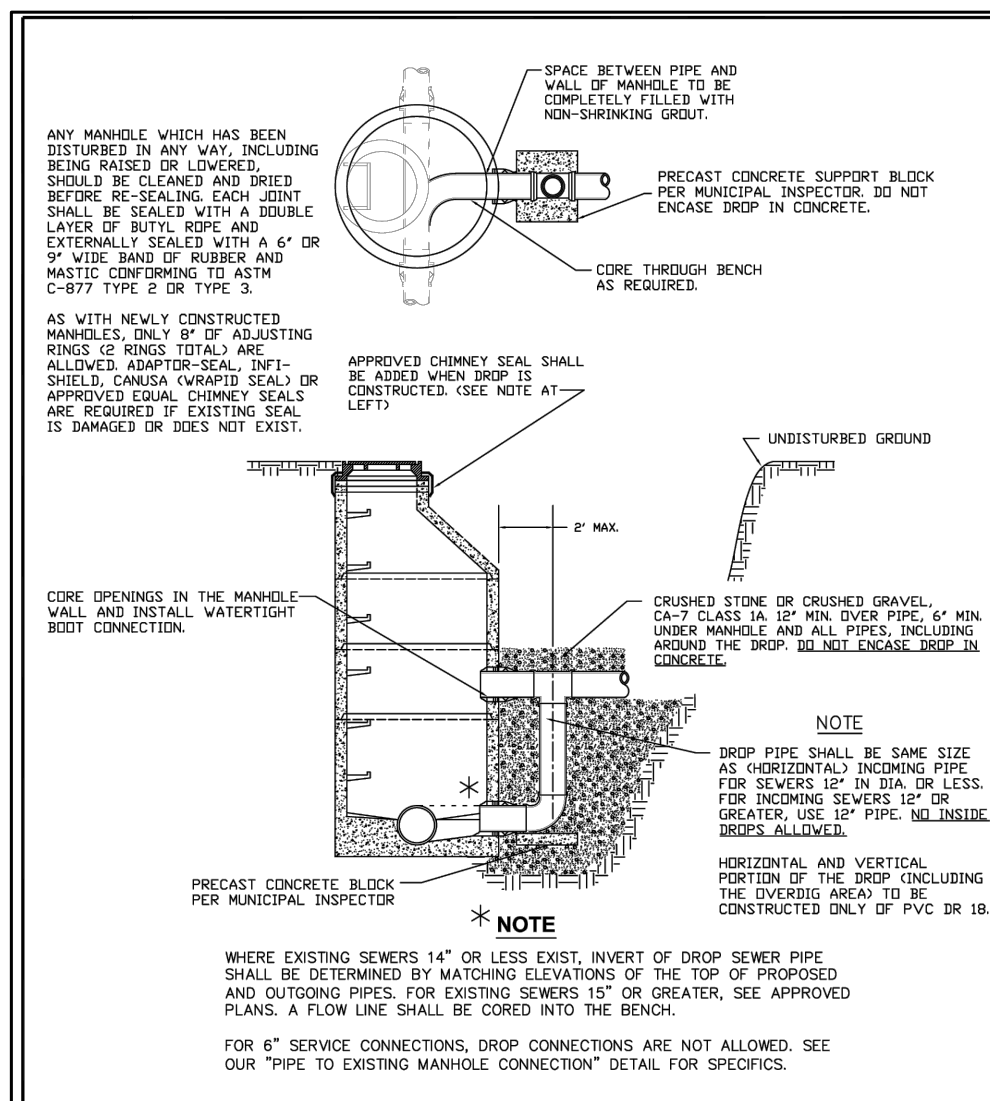
- INSTALLATION**
  - If the invert of any overhead sewer exceeds two (2) feet above the building's footing, plate compaction of the CA-7 Class 1A aggregate shall be required to twelve (12) inch lifts.
  - Trench widths should be stable or supported, and provide a width sufficient, but no greater than necessary to ensure working room to properly and safely place haunching and other embedment materials. The minimum trench width shall be 32" plus the outside diameter of the pipe and the maximum trench width shall be 48" plus the outside diameter of the pipe.
  - Pipe sizes shall be a minimum of eight (8) inches for public sewers and six (6) inches for building sewers.
  - Pipes shall be laid in a manner that provides uniform support over the entire length. No blocking of any kind shall be used to adjust the pipe to grade except when embedment concrete is used. The bedding shall be a minimum of six (6) inches in depth. The bedding material shall be placed and worked all around the pipe by hand (haunched) to provide uniform support, then around and over the crown of the pipe by a minimum of twelve inches (12"). The material shall be placed and consolidated along the full width of the trench. The contractor shall be required to install the pipe in such a manner that the diametric deflection of the pipe shall not exceed five (5) percent.
  - PVC transition fittings shall be used in all new construction when joining PVC pipes of different outside dimensions, or for pvc to pvc connections, where no necessary hub and/or bell exists.
  - All new construction service connections to new mains shall be with a tee/yee fitting with a six (6) inch branch. Where no tee/yee exists, an Inserta Tee brand fitting shall be required. All connections to the main shall be constructed at a (max.) forty-five (45) degree angle or 1/1 rise/run pitch.
  - Cast iron enclosures shall be required for all sanitary sewer service cleanouts located in any paved surface or in any location where cleanouts may be damaged by heavy equipment.
  - All cleanouts shall be full-sized, be located 5' from the building's foundation, and spaced no greater than one hundred (100) feet apart.
  - Either 4" x 6" rubber or non-shear couplings shall be used to connect the building drain to the building sewer. If using a rubber fitting, the four-inch pipe shall be inserted six (6) to twelve (12) inches inside the building sewer.
  - Whether any grease removal system (GRS) is newly constructed or retrofitted to an existing building, all District guidelines about the minimum slope and cover depth for sanitary construction shall be strictly adhered to.
  - All building drains/sewers shall be overhead or "hung" through the wall of any basement.
- TESTING**
  - Before final acceptance, all public sewers shall be tested in accordance with Section 31-1.12 of the "Standard Specifications for Water and Sewer Main Construction in Illinois".
  - The cost of all testing shall be borne by the developer or the contractor.
  - All pipelines shall be constructed of poly(vinyl chloride) (PVC) and shall be subject to air exfiltration, deflection, and Closed-Circuit Televising testing.
  - Air exfiltration testing shall be performed using the State of Illinois' guidelines and shall be directed and witnessed by an inspector for the municipality having first jurisdiction.
  - The deflection test shall be performed using an approved mandrel or other device permitted by the District. Testing shall occur no sooner than thirty (30) days after backfilling and shall consist of measuring the pipe for vertical ring deflection. Maximum ring deflection of the pipeline under load shall be limited to five (5) percent of the interior pipe diameter. All pipes exceeding this deflection shall be considered to have reached the limit of serviceability and shall be replaced or repaired at their sole expense.
  - All sanitary sewer (public or private) with a diameter of eight (8) inches or greater shall be televised by the District. Said televising work is scheduled once all air & vacuum testing has been received by the District. Any defects in said sewer shall be excavated, then repaired at the contractor's or developer's expense. Caution should be taken before constructing roads, curbs, sidewalks, or any other infrastructure, whether it is above or below the ground surface. It is the responsibility of the utility contractor and the developer to contact the District before installing any of these utilities or infrastructure. Repairs to defective sanitary sewers shall be performed regardless of the status of other construction or extraneous expenses.

**MANHOLE INSTALLATION AND FIELD TESTING**

- INSTALLATION**  
All manhole castings, adjusting rings, and manhole sections shall be set in butyl rope. The inside barrel section of the manhole, adjusting rings, and frame shall not be mortared. However, the area between the pipe and flow channel shall be filled with cement mortar to provide a flush smooth surface.  
Each manhole cone and barrel section joint shall also be externally sealed with a 6" or 8" wide (min.) sealing band of rubber and mastic (see "REPAIRS" below). The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective film), meeting the requirements of ASTM C-877, "Type II" or "Type III".  
Pipe connections to all manhole openings (casted or core-drilled) shall be constructed with a flexible rubber watertight connector conforming to ASTM C-923, "Standard Specifications for Reinforced Connectors Between Reinforced Concrete Manhole Structures and Pipes".  
A maximum of eight (8) inches of adjusting rings (2 total rings) are allowed. The frame, chimney, and top "lip" of the cone section shall be required to be sealed with a chimney seal. Only "Infi-Shield", "Adaptor-Seal", Cretex X-85, or an approved equal will be allowed.  
When a new manhole is approved to be constructed on an existing public sewer, only non-shear couplers shall be installed. This work shall be inspected by the municipality having first jurisdiction or by the District.  
After any manhole is at finished grade, and with adjusting rings and chimney seals in place, each structure shall be vacuum tested from the top of the casing. Any lift holes shall be plugged with a non-shrinking grout. No grout shall be placed in any horizontal joint of any manhole for any reason.  
All pipes entering the manhole shall be plugged, taking care to securely brace the plugs from being drawn into the manhole. A vacuum of ten (10) inches of mercury shall be drawn and the vacuum pump shut off. With the valves closed, the time shall be measured for the vacuum to drop to nine (9) inches of mercury (Hg) for the following time periods for each size manhole:  
  - Forty-eight (48) inches Diameter - sixty (60) seconds
  - Sixty (60) inches Diameter - seventy-five (75) seconds
- Manhole testing will be in accordance with ASTM-1244-93 or in accordance with District requirements. In case of conflict, the more stringent requirement will apply (e.g. where deeper manholes are constructed). Should the manhole fail the vacuum test, the structure shall be disassembled to a point that said leak can be repaired with butyl rope. After the repair is complete, the manhole shall be re-tested until a satisfactory result is obtained.

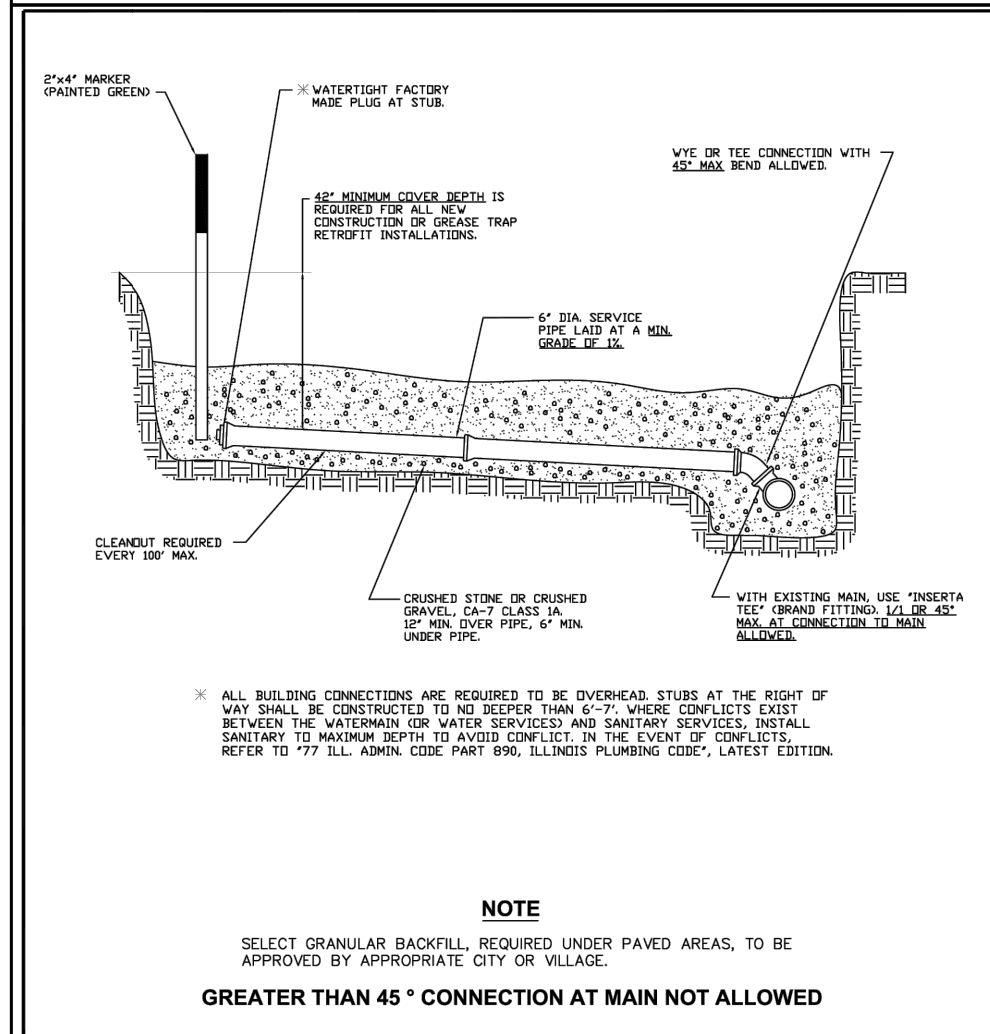
**REPAIRS & REHABILITATION OF EXISTING PIPES AND MANHOLES**

- PIPPS**  
Pipe connections of those made from dissimilar materials or of pvc with differing outside diameters where no hub exists shall be made with a non-shear coupling.  
Existing non-pvc building sewers or "stubs" shall not be used in connection with new buildings where a District connection permit is requested. In such cases, said building sewer or "stub" will either need to be removed to within one foot (1') of the public sewer and then replaced with appropriate pvc material or lined with a cured-in-place pipe (CIPP) meeting the requirements of ASTM F1216, D5813, D790, and D2900. Said CIPP shall be installed using the inversion method only, utilizing hot water or steam to cure all liners.  
Building sewers shall be permanently abandoned using one of the following two methods:  
  - Removed to within one (1) foot of the public sewer and plugged using a mechanical plug and mortar. This is the preferred method. If this is not feasible, see item two below.
  - The building sewer connection shall be sealed within the public sewer with a four foot minimum length cured-in-place pipe (C.I.P.P.) liner with hydrophilic gaskets.  
Where a newly constructed public sewer needs to be repaired due to damage having occurred during construction, only pvc transition fittings shall be required (no non-shear couplings). Only repair clamps conforming to ANSI/NSF-61 shall be allowed. When the damage occurs within thirty (30) feet of a manhole, the contractor shall remove and replace the damaged main from the nearest joint to the manhole.
- MANHOLES**  
Each manhole which has been disturbed around the full circumference of the structure, including being raised or lowered, should be cleaned and dried before re-sealing. Each cone and barrel section joint shall require a double-layer of butyl rope and also be externally sealed with a 6" or 8" wide (min.) sealing band of rubber and mastic. The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective meeting the requirements of ASTM C-877, "Type II" or "Type III".  
A maximum of eight (8) inches of adjusting rings (2 total rings) is allowed in any repair. The frame and chimney of the cone section shall be required to be sealed with a chimney seal. Only "Infi-Shield", "Adaptor-Seal", Cretex X-85, or approved equal will be allowed. A maximum of eight (8) inches of adjusting rings (2 total rings) is allowed in any repair. The frame and chimney of the cone section shall be required to be sealed with a chimney seal. Only "Infi-Shield", "Adaptor-Seal", Cretex X-85, "Wrapipl Seal", or approved equal will be allowed.



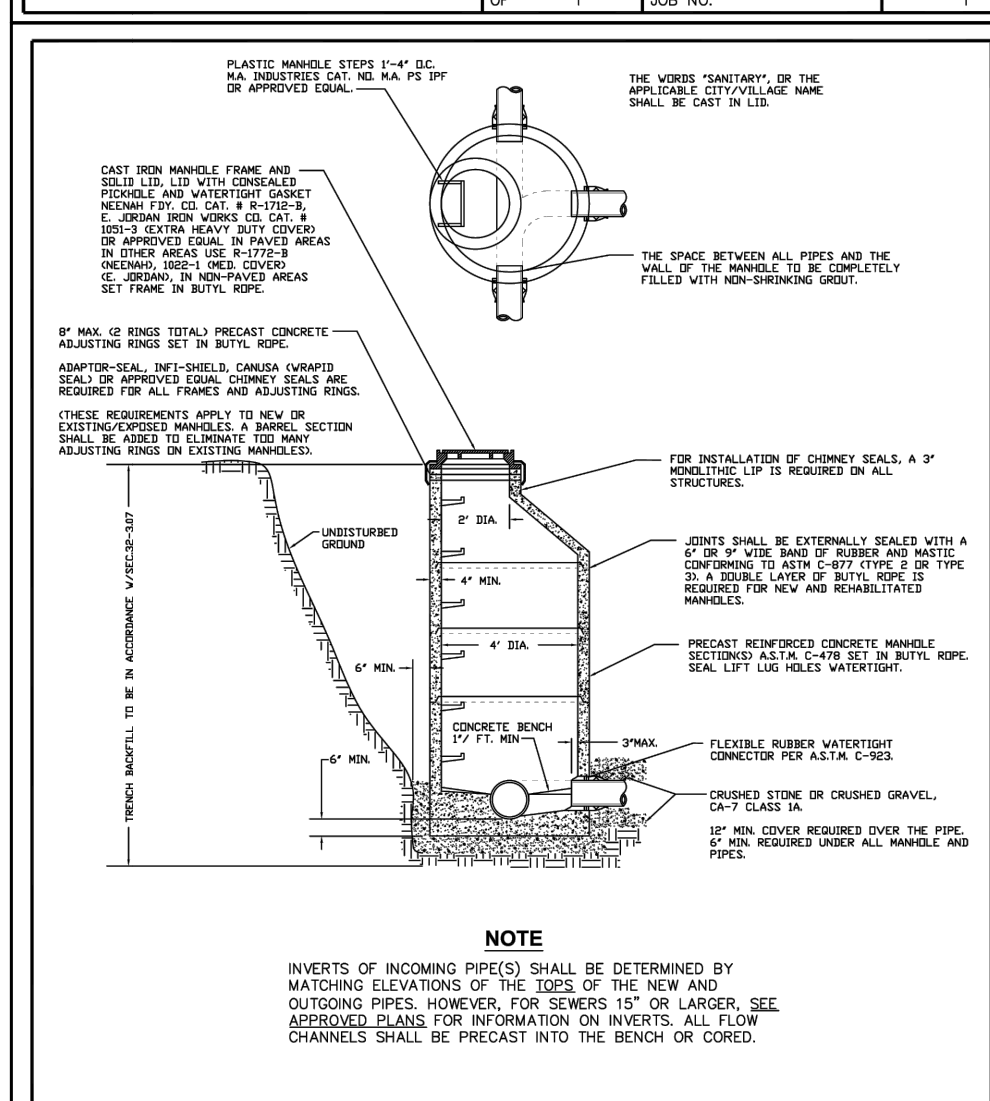
**Drop Connection Added to Existing Manhole**

DESIGNED	FWRNO	REVISION	2023
DRAWN	KZ	Original Note	AWWMA
APPROVED	KZ, MF	Design Revisions	AWWMA
DATE	05-12-2023	Change in Misc. Note Revisions	AWWMA
SCALE	N.T.S.	Length of Stub or R.O.W. Min. Overlap	AWWMA
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	REVISION



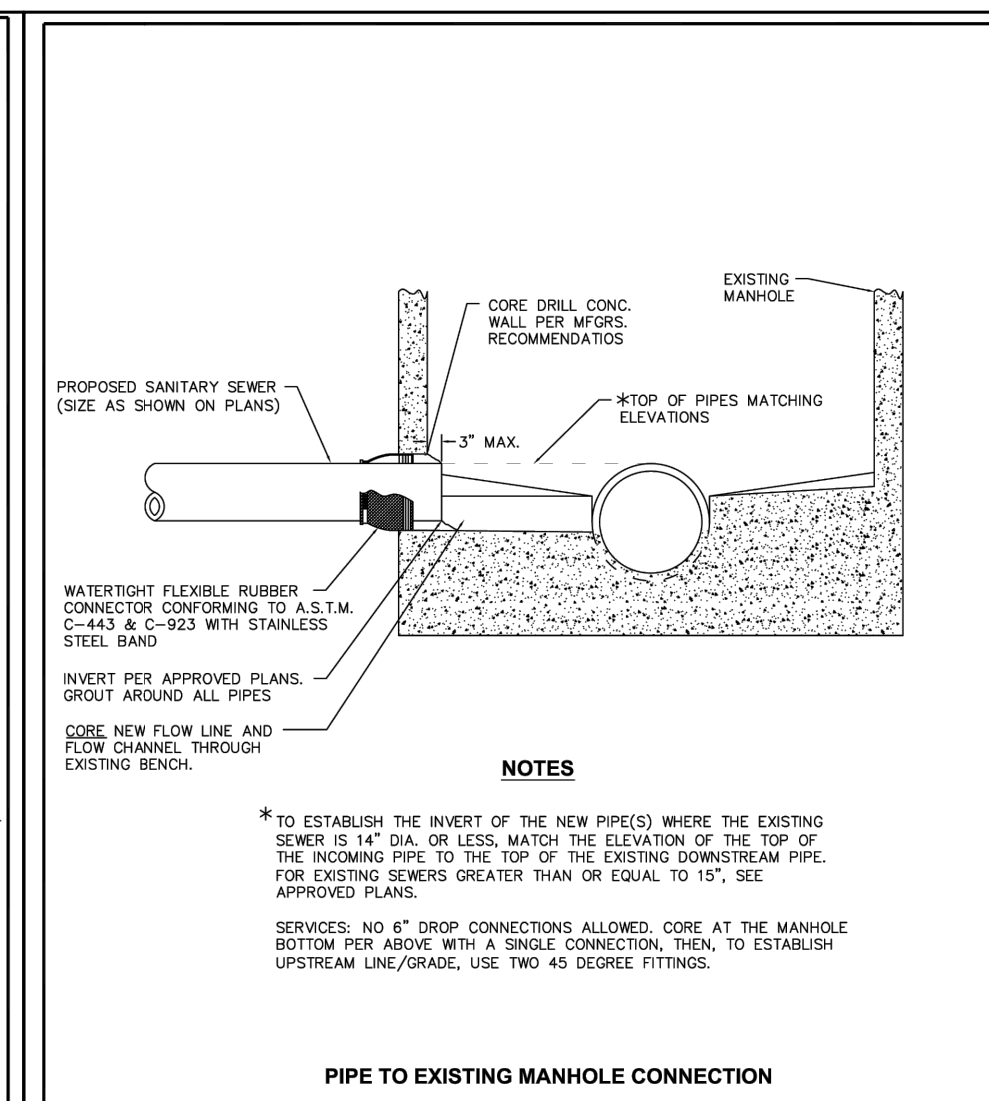
**Sanitary Service Connection**

DESIGNED	FWRNO	REVISION	2023
DRAWN	KZ	Original Note	AWWMA
APPROVED	KZ, MF	Design Revisions	AWWMA
DATE	05-12-2023	Change in Misc. Note Revisions	AWWMA
SCALE	N.T.S.	Length of Stub or R.O.W. Min. Overlap	AWWMA
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	REVISION



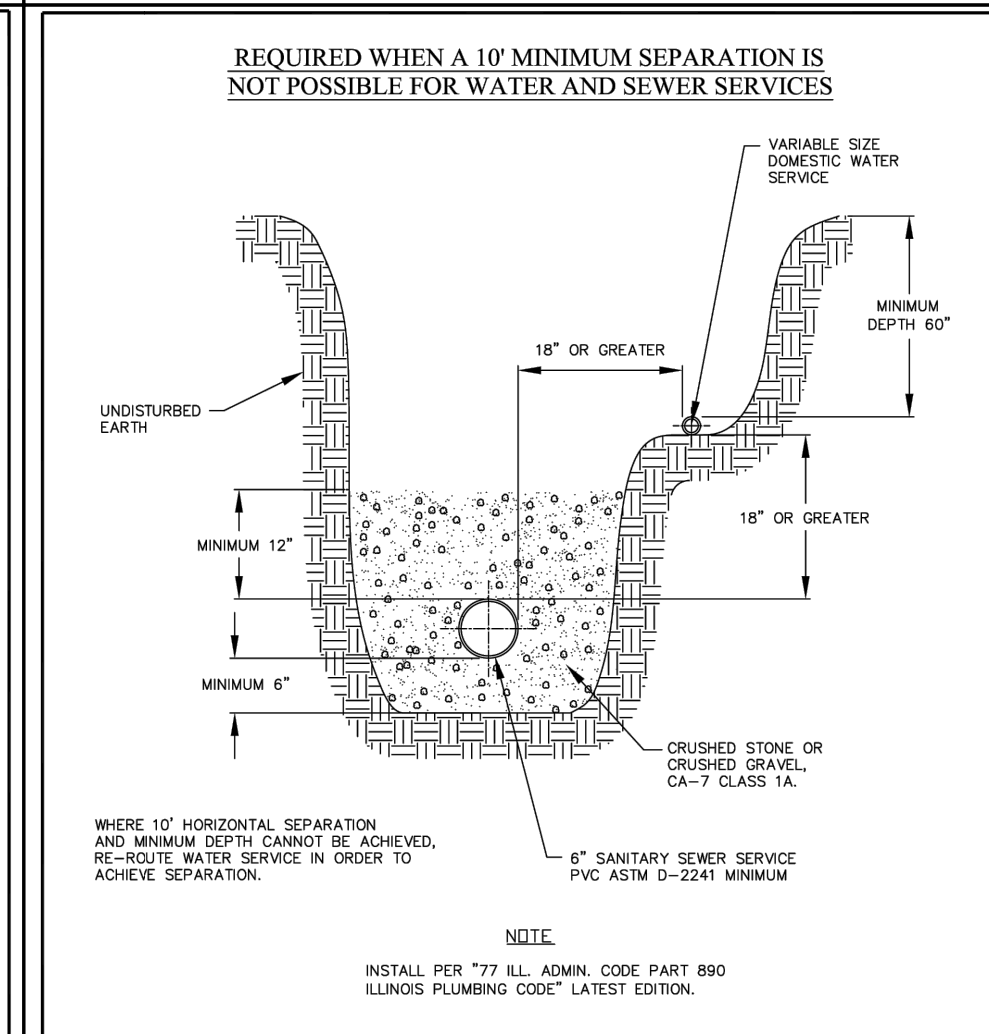
**Type 'A' Manhole**

DESIGNED	FWRNO	REVISION	2023
DRAWN	KZ	Original Note	AWWMA
APPROVED	KZ, MF	Design Revisions	AWWMA
DATE	05-12-2023	Change in Misc. Note Revisions	AWWMA
SCALE	N.T.S.	Length of Stub or R.O.W. Min. Overlap	AWWMA
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	REVISION



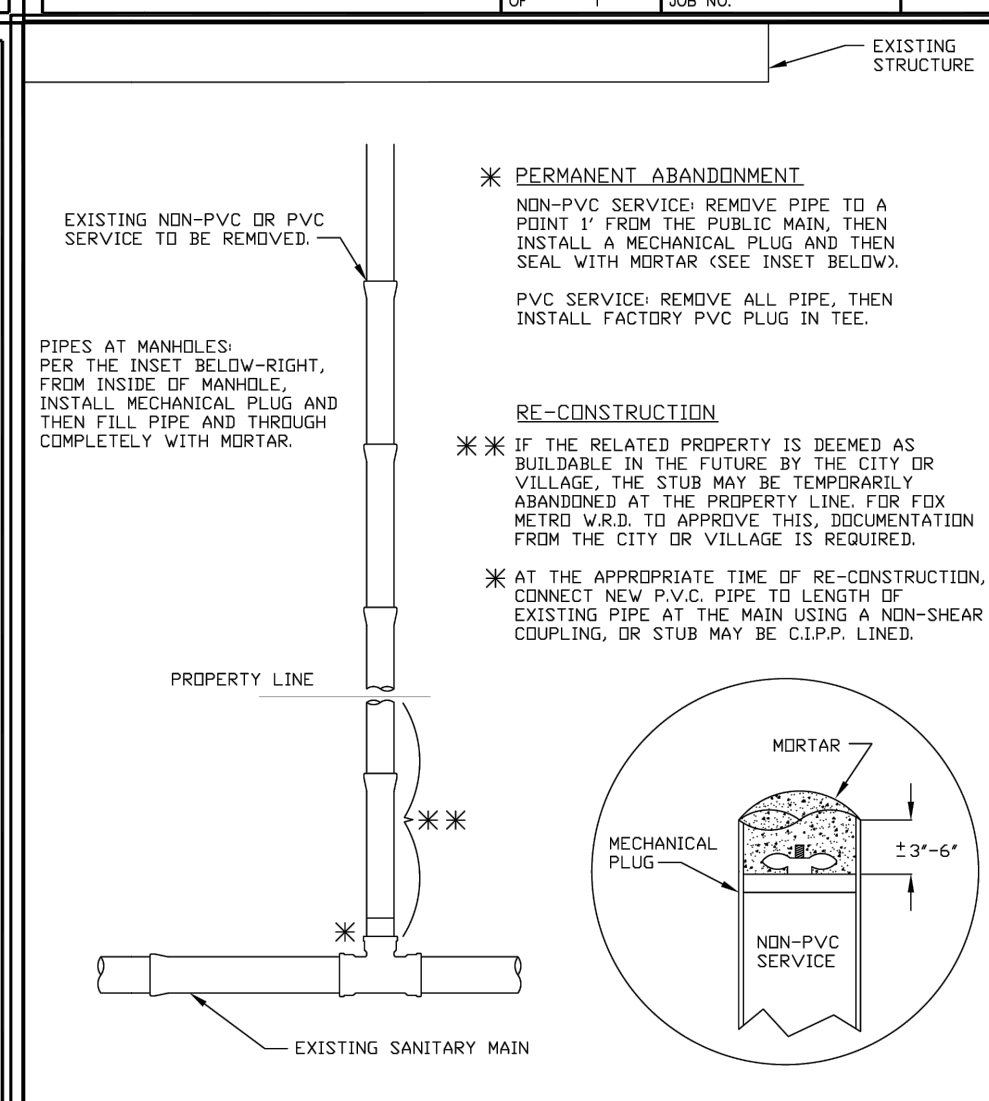
**Pipe to Existing Manhole Connection**

DESIGNED	FWRNO	REVISION	2023
DRAWN	KZ	Original Note	AWWMA
APPROVED	KZ, MF	Design Revisions	AWWMA
DATE	05-12-2023	Change in Misc. Note Revisions	AWWMA
SCALE	N.T.S.	Length of Stub or R.O.W. Min. Overlap	AWWMA
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	REVISION



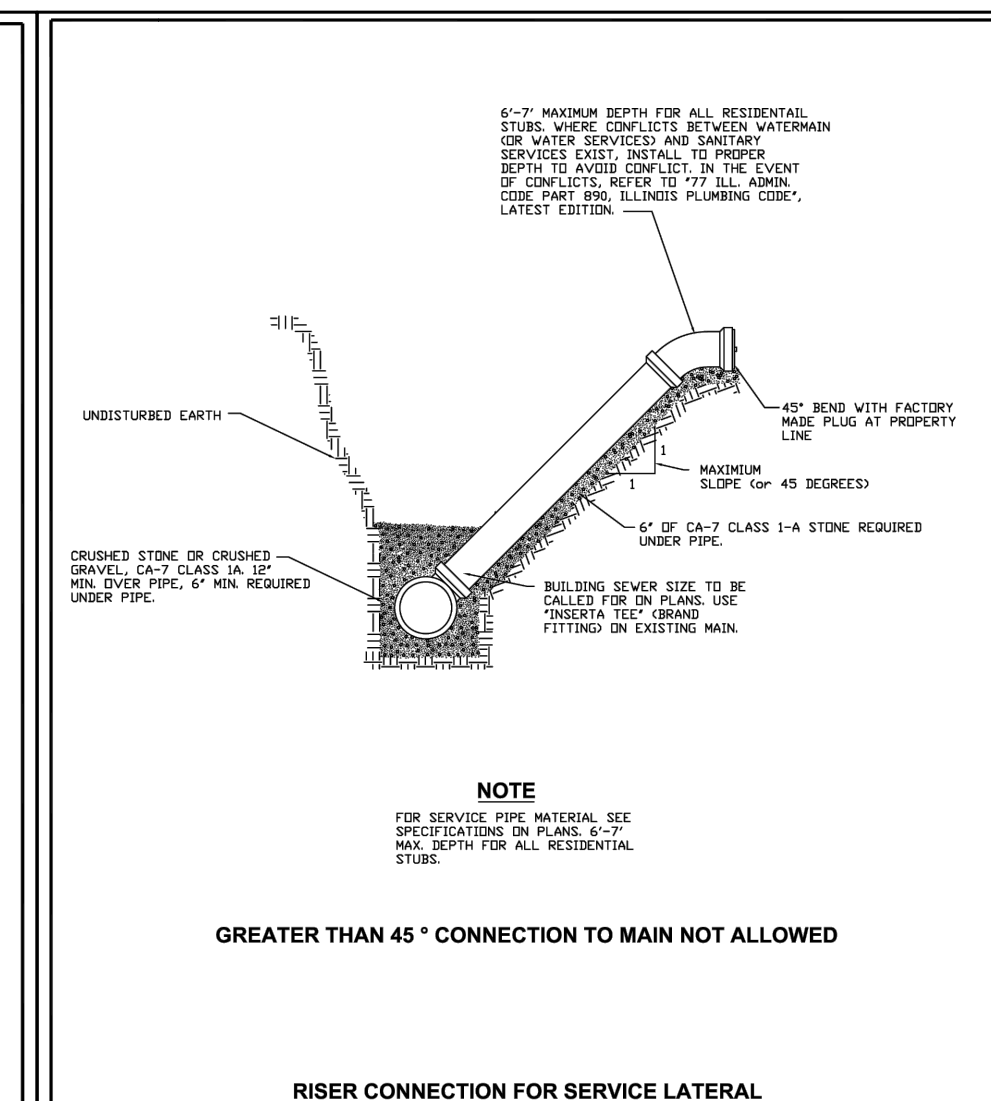
**Sanitary Sewer Service & Potable Water Service Separation**

DESIGNED	FWRNO	REVISION	2023
DRAWN	KZ	Original Note	AWWMA
APPROVED	KZ, MF	Design Revisions	AWWMA
DATE	05-12-2023	Change in Misc. Note Revisions	AWWMA
SCALE	N.T.S.	Length of Stub or R.O.W. Min. Overlap	AWWMA
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	REVISION



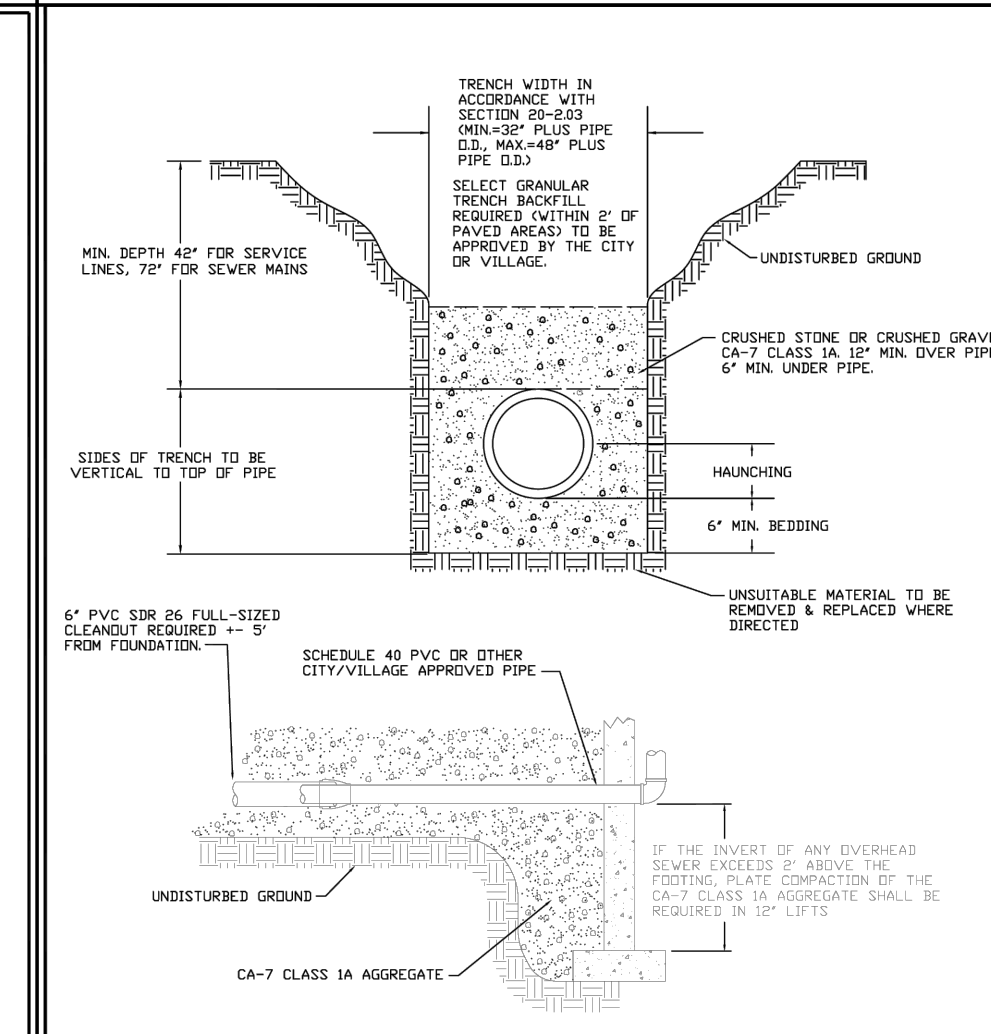
**Sanitary Sewer Service Abandonment/Reconstruction**

DESIGNED	FWRNO	REVISION	2023
DRAWN	KZ	Original Note	AWWMA
APPROVED	KZ, MF	Design Revisions	AWWMA
DATE	05-12-2023	Change in Misc. Note Revisions	AWWMA
SCALE	N.T.S.	Length of Stub or R.O.W. Min. Overlap	AWWMA
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	REVISION



**Riser Connection for Service Lateral**

DESIGNED	FWRNO	REVISION	2023
DRAWN	KZ	Original Note	AWWMA
APPROVED	KZ, MF	Design Revisions	AWWMA
DATE	05-12-2023	Change in Misc. Note Revisions	AWWMA
SCALE	N.T.S.	Length of Stub or R.O.W. Min. Overlap	AWWMA
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	REVISION



**Typical Trench for Sanitary Services & Mains**

DESIGNED	FWRNO	REVISION	2023
DRAWN	KZ	Original Note	AWWMA
APPROVED	KZ, MF	Design Revisions	AWWMA
DATE	05-12-2023	Change in Misc. Note Revisions	AWWMA
SCALE	N.T.S.	Length of Stub or R.O.W. Min. Overlap	AWWMA
SHEET	1	CAD DWG.	REVISION
OF	1	JOB NO.	REVISION

**CONTRACTOR NOTICE**

Rev: 7/6/23

**IMPORTANT - PLEASE READ**

The following list represents costly problems or violations that commonly occur during or after construction. Our goal is to make all parties aware of these problems and hopefully reduce unnecessary delays, expenses, and fines. To perform new construction or repair work on any private sanitary or water service, the following must be completed before work may commence:  

- A \$25,000 license & permit bond made out to "Fox Metro Water Reclamation District" must be received and approved before any new construction or repair work. Please instruct your insurance company to call out the work to be performed as "sanitary sewer construction" or "sanitary sewer excavation".
- A District permit for new construction or a repair permit needs to be issued.
- An inspection is required by the District. To save a \$50 same-day inspection fee, please provide twenty-four (24) hour notice.

- All public sanitary sewer construction must have an IEPA permit and plan approval letter on file at the District before commencing construction. To verify this, please provide our office with a 48-hour start notification.
- To prevent unnecessary water, mud, or aggregates from entering into the existing sanitary system, all new sanitary construction must be securely plugged and maintained by the contractor. These plug(s), located per the approved plan, may only be removed after permission has been obtained from the municipality or the District. All construction drainage must be properly removed from the new sanitary sewer system.
- All newly proposed private building sewer construction must have a connection permit from the District. In addition, this work shall be inspected by the District. Please call (630) 301-6811 by 3:00 p.m. the day before the requested inspection time. No building sewers shall be installed until all proposed public sewers have been tested and approved by the District.
- All domestic water service installations (except for the Village of Oswego and the City of Yorkville) are to be inspected by the District. Any final connection(s) to any building, made by any plumber or excavator, shall also be inspected by the District. Do not backfill this connection before a completed District inspection.
- All sanitary manholes are to be sealed (exterior of chimney & barrels) and vacuum tested from the top of the frame. Any disruption of these manholes will break the seal(s), requiring a costly resealing and retesting process. Please stay clear of all manholes.

For questions regarding permitting and construction, call the District's engineering department at (630) 301-6882. For questions regarding inspections or to report violations, open manholes, or other construction issues, please call (630) 301-6811.

**NOTES:**

- THE FOX METRO WATER RECLAMATION'S STANDARD SPECIFICATION'S FOR IMPROVEMENT SHALL BE FOLLOWED, NOTES & DETAILS CAN BE FOUND AT ([HTTPS://WWW.FOXMETRO.ORG/BUSINESS/ENGINEERING/](https://www.foxmetro.org/business/engineering/))

ADHERENCE TO THE SPECIFICATIONS OF FOX METRO WATER RECLAMATION DISTRICT IS REQUIRED

**TEBRUGGE ENGINEERING**  
410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548  
PHONE: (815) 786-0195    [TEBRUGGEENGINEERING.COM](http://TEBRUGGEENGINEERING.COM)

REVISIONS	NO.	DATE	NOTES
#	1	2.2.26	SUGAR GROVE REVIEW LETTER 1.5.26
#	2	3.25.26	SUGAR GROVE REVIEW LETTER 3.24.26
#	3	4.20.26	SUGAR GROVE REVIEW LETTER 4.17.26
#			
#			

PREPARED FOR:  
**PHIL KUHN**  
133 VALE AVE, SUGAR GROVE, IL

**391 CAPITOL DRIVE SITE PLAN**  
**FOX METRO NOTES AND DETAILS**

PROJECT NO.	24 565 01
SCALE:	NTS
DATE:	MAR 25, 2024

SHEET NO.	7
OF 7 SHEETS	



**VILLAGE OF SUGAR GROVE  
KANE COUNTY, ILLINOIS**

**ORDINANCE NO. 2024-0507CD2**

---

**AN ORDINANCE GRANTING APPROVAL OF  
AN AMENDMENT TO WATERFORD PLACE  
PUD AND APPROVAL OF A PRELIMINARY  
PUD PLAN FOR 391 CAPITOL DRIVE**

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Adopted by the Board of Trustees and President of the Village of Sugar Grove  
this 7<sup>th</sup> day of May 2024

Published in pamphlet form by authority of the Board of Trustees of the Village of Sugar Grove, Illinois,  
this 7<sup>th</sup> day of May, 2024

**ORDINANCE NO. 2024-0507CD2**

**AN ORDINANCE GRANTING APPROVAL OF  
AN AMENDMENT TO WATERFORD PLACE PUD AND APPROVAL OF A  
PRELIMINARY PUD PLAN FOR 391 CAPITOL DRIVE**

---

**WHEREAS**, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution, and accordingly, acts pursuant to the powers granted to it under 65 ILCS 5/1-1 *et seq.* and other applicable statutes; and,

**WHEREAS**, the applicant, Phil Kuhn (“Applicant”), has requested approval of an amendment to Waterford Place PUD (“Amendment”) and approval of a Preliminary PUD Plan (“Preliminary Plan”) for 391 Capitol Drive, with the subject property legally described in Exhibit A, attached hereto and incorporated herein by reference (“Subject Property”); and,

**WHEREAS**, the Planning Commission/Zoning Board of Appeals held a meeting on April 24, 2024, to consider the Amendment and the approval of the Preliminary Plan for 391 Capitol Drive and recommended approval as described in their report PC Recommendation 24-01; and ,

**WHEREAS**, the Village Board has reviewed the request and has deemed that the Amendment and Preliminary Plan is in compliance with the Zoning Ordinance of the Village of Sugar Grove;

**NOW, THEREFORE, BE IT ORDAINED** by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois is as follows:

**SECTION ONE: APPROVAL OF AMENDMENT AND PRELIMINARY PLAN**

Pursuant to Section 11-11-6 -C and 11-11-7 the Amendment and Preliminary Plan, attached hereto as Exhibit B and made a part hereof by this reference, is hereby approved on the Subject Property. The Final PUD Plan shall be submitted in accordance with Section 11-11-6-D, subject to the following condition:

- Brick used on structure for columns on each side of the garages and the base on the side elevation must be 4” real brick.

**SECTION TWO: GENERAL PROVISIONS**

**REPEAL ER**: That all ordinances or portions thereof in conflict herewith are hereby repealed to the extent of any such conflict.

**SEVERABILITY**: Should any provision of this ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this ordinance.

**EFFECTIVE DATE**: This ordinance shall be in full force and effect on and after its approval, passage and publication in pamphlet form as provided by law.

**PASSED AND APPROVED** by the President and Board of Trustees of the Village of Sugar Grove, Illinois, this 7<sup>th</sup> day of May, 2024.



Jennifer Konen.  
Village President

ATTEST:

Tracey Conti,  
Village Clerk

	Aye	Nay	Absent	Abstain
Trustee Matthew Bonnie	✓			
Trustee Sean Herron	✓			
Trustee Heidi Lendi	✓			
Trustee Sean Michaels		✓		
Trustee Michael Schomas	✓			
Trustee James F. White			✓	

Exhibit A

Legal Description

Lot 27 Waterford Place, being a Resubdivision of Lot 14 of Sugar Grove Corporate Center Unit 2, according to the Plat thereof recorded October 27, 2000 as Document 2000K085928, in the Village of Sugar Grove, Kane County, Illinois.





NO.	DESCRIPTION	AMOUNT	UNIT	PRICE	TOTAL
1	Excavation	100	CY	10.00	1000.00
2	Backfill	100	CY	5.00	500.00
3	Granular Backfill	100	CY	15.00	1500.00
4	Crushed Stone	100	CY	20.00	2000.00
5	Sanitary Sewer Pipe	100	LF	10.00	1000.00
6	Sanitary Sewer Manhole	1	EA	500.00	500.00
7	Sanitary Sewer Inlet	1	EA	100.00	100.00
8	Sanitary Sewer Tee	1	EA	100.00	100.00
9	Sanitary Sewer Elbow	1	EA	100.00	100.00
10	Sanitary Sewer Cleanout	1	EA	100.00	100.00
11	Sanitary Sewer Vent	1	EA	100.00	100.00
12	Sanitary Sewer Tee	1	EA	100.00	100.00
13	Sanitary Sewer Elbow	1	EA	100.00	100.00
14	Sanitary Sewer Cleanout	1	EA	100.00	100.00
15	Sanitary Sewer Vent	1	EA	100.00	100.00
16	Sanitary Sewer Tee	1	EA	100.00	100.00
17	Sanitary Sewer Elbow	1	EA	100.00	100.00
18	Sanitary Sewer Cleanout	1	EA	100.00	100.00
19	Sanitary Sewer Vent	1	EA	100.00	100.00
20	Sanitary Sewer Tee	1	EA	100.00	100.00
21	Sanitary Sewer Elbow	1	EA	100.00	100.00
22	Sanitary Sewer Cleanout	1	EA	100.00	100.00
23	Sanitary Sewer Vent	1	EA	100.00	100.00
24	Sanitary Sewer Tee	1	EA	100.00	100.00
25	Sanitary Sewer Elbow	1	EA	100.00	100.00
26	Sanitary Sewer Cleanout	1	EA	100.00	100.00
27	Sanitary Sewer Vent	1	EA	100.00	100.00
28	Sanitary Sewer Tee	1	EA	100.00	100.00
29	Sanitary Sewer Elbow	1	EA	100.00	100.00
30	Sanitary Sewer Cleanout	1	EA	100.00	100.00
31	Sanitary Sewer Vent	1	EA	100.00	100.00
32	Sanitary Sewer Tee	1	EA	100.00	100.00
33	Sanitary Sewer Elbow	1	EA	100.00	100.00
34	Sanitary Sewer Cleanout	1	EA	100.00	100.00
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39	Sanitary Sewer Vent	1	EA	100.00	100.00
40	Sanitary Sewer Tee	1	EA	100.00	100.00
41	Sanitary Sewer Elbow	1	EA	100.00	100.00
42	Sanitary Sewer Cleanout	1	EA	100.00	100.00
43	Sanitary Sewer Vent	1	EA	100.00	100.00
44	Sanitary Sewer Tee	1	EA	100.00	100.00
45	Sanitary Sewer Elbow	1	EA	100.00	100.00
46	Sanitary Sewer Cleanout	1	EA	100.00	100.00
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51	Sanitary Sewer Vent	1	EA	100.00	100.00
52	Sanitary Sewer Tee	1	EA	100.00	100.00
53	Sanitary Sewer Elbow	1	EA	100.00	100.00
54	Sanitary Sewer Cleanout	1	EA	100.00	100.00
55	Sanitary Sewer Vent	1	EA	100.00	100.00
56	Sanitary Sewer Tee	1	EA	100.00	100.00
57	Sanitary Sewer Elbow	1	EA	100.00	100.00
58	Sanitary Sewer Cleanout	1	EA	100.00	100.00
59	Sanitary Sewer Vent	1	EA	100.00	100.00
60	Sanitary Sewer Tee	1	EA	100.00	100.00

**RIP CALCULATIONS**  
 SINKING AREA = 2,282 SF  
 SINKING VOLUME = 1,141 CF  
 TOTAL PROPOSED MATERIALS VOLUME = 5,547 CF

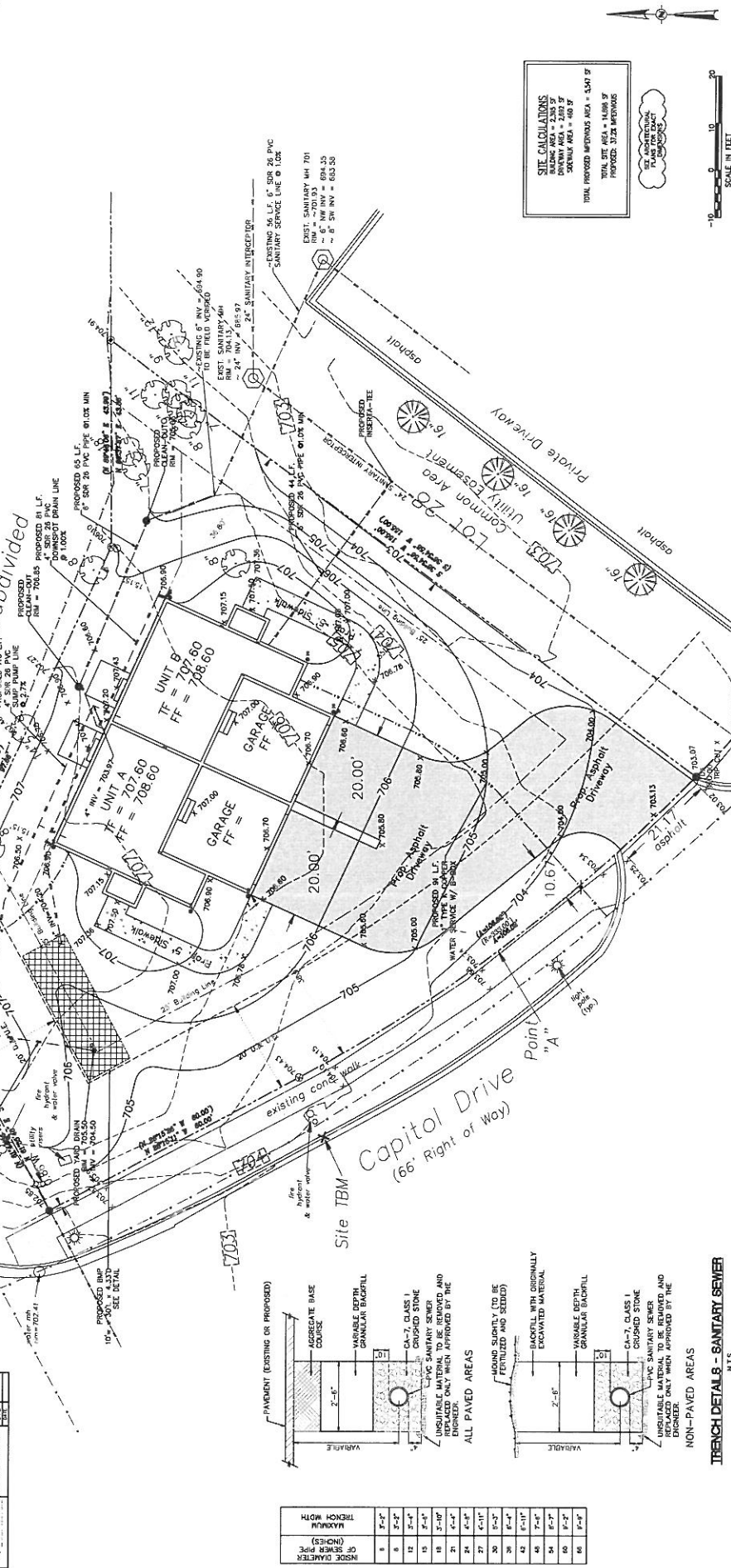
**RIP CALCULATIONS**  
 SINKING AREA = 2,282 SF  
 SINKING VOLUME = 1,141 CF  
 TOTAL PROPOSED MATERIALS VOLUME = 5,547 CF

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**RIP CALCULATIONS**  
 SINKING AREA = 2,282 SF  
 SINKING VOLUME = 1,141 CF  
 TOTAL PROPOSED MATERIALS VOLUME = 5,547 CF



**SITE CALCULATIONS**  
 SINKING AREA = 2,282 SF  
 SINKING VOLUME = 1,141 CF  
 TOTAL PROPOSED MATERIALS VOLUME = 5,547 CF



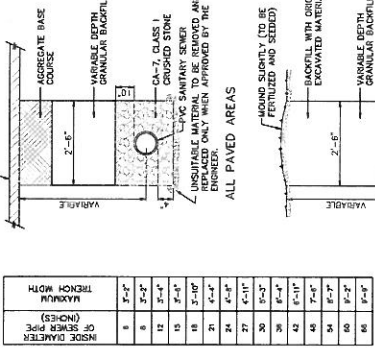
PROJECT NO.	24 555-01
SHEET NO.	3
SCALE	1" = 10'
DATE	MAY 23, 2024

**391 CAPITOL DRIVE SITE PLAN**  
**CIVIL SITE PLAN**

PREPARED FOR:  
**PHIL KUHN**  
 133 VALL AVENUE, SUGAR GROVE, IL

NO.	DATE	NOTES
1		
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**TERRUGGE ENGINEERING**  
 140 E. CHURCH STREET, SUITE A4, SANDSPOINT, IL 60484  
 PHONE: (815) 766-9485 TERRUGGEENGINEERING.COM



**TRENCH DETAIL B - SANITARY SEWER**  
 N.T.S.



PROJECT NO.	2024-031
DATE	REVISION
1-15-2024	REVISION
2-15-2024	REVISION
3-15-2024	REVISION
4-15-2024	REVISION

**STEVEN W. HANSEN ARCHITECT**  
 630 LANGKREY CT.  
 SUGAR GROVE, IL  
 630-4204-8613

**NEW DUPLEX FOR MR. PHILIP KUHN**  
 391 CAPITOL DRIVE  
 SUGAR GROVE, ILLINOIS

7/7 FLOORING  
 ELEV. = -2'-0"

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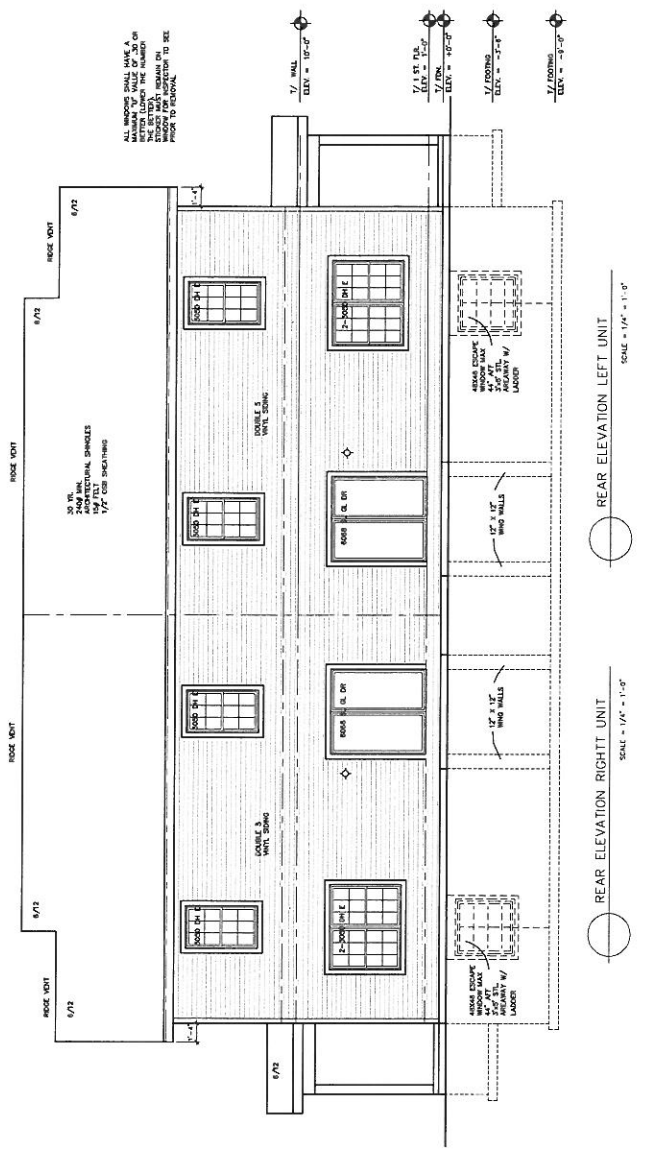
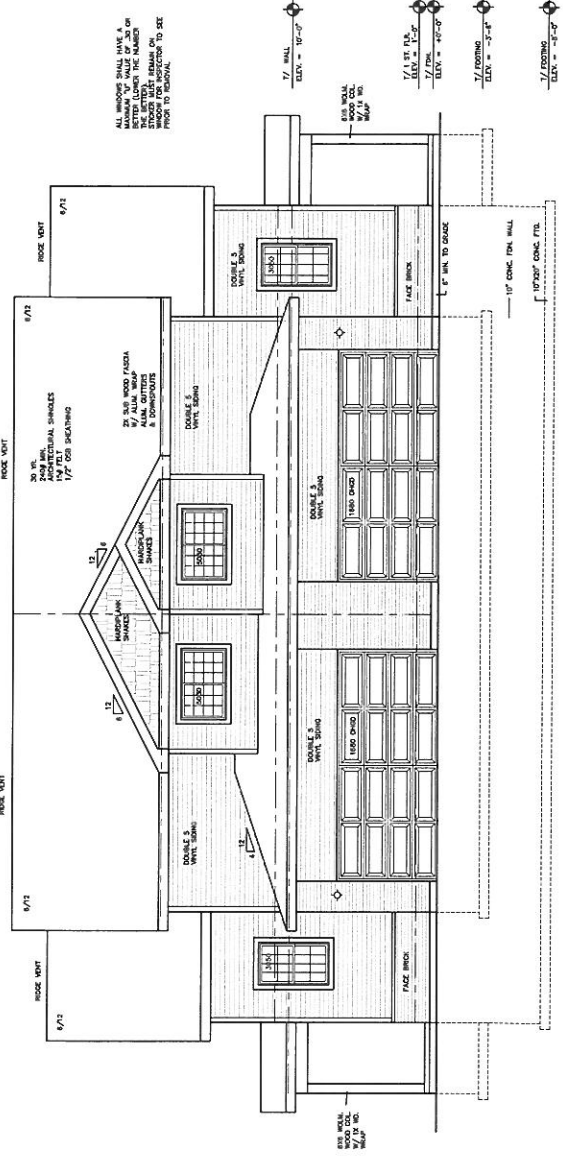
7/7 FLOORING  
 ELEV. = -2'-0"

FRONT ELEVATION LEFT UNIT  
 SCALE = 1/4" = 1'-0"

FRONT ELEVATION RIGHT UNIT  
 SCALE = 1/4" = 1'-0"

REAR ELEVATION LEFT UNIT  
 SCALE = 1/4" = 1'-0"

REAR ELEVATION RIGHT UNIT  
 SCALE = 1/4" = 1'-0"



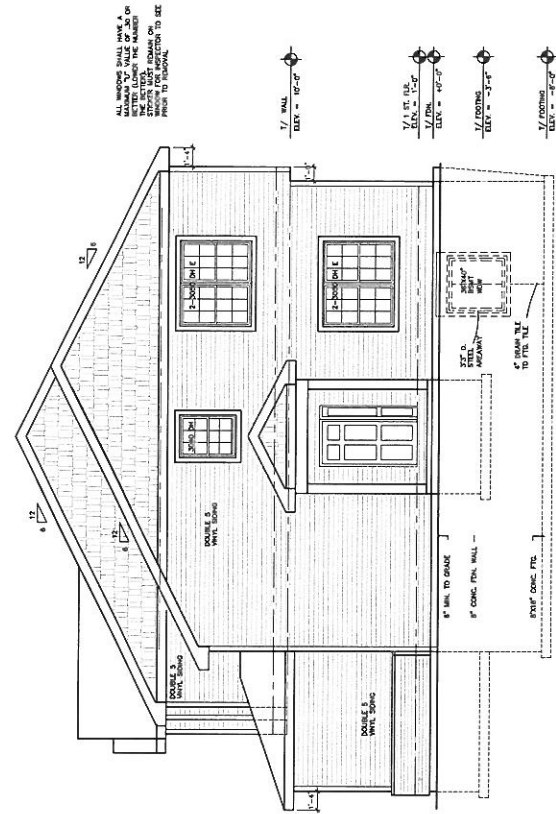
ALL WINDOWS SHALL HAVE A MAXIMUM GLASS AREA OF 30% OF THE TOTAL WINDOW AREA. THE SETBACK SHALL BE MINIMUM 12\"/>

DATE	DESCRIPTION
1-1-2024	REVISION
2-1-2024	REVISION
3-1-2024	REVISION
4-1-2024	REVISION

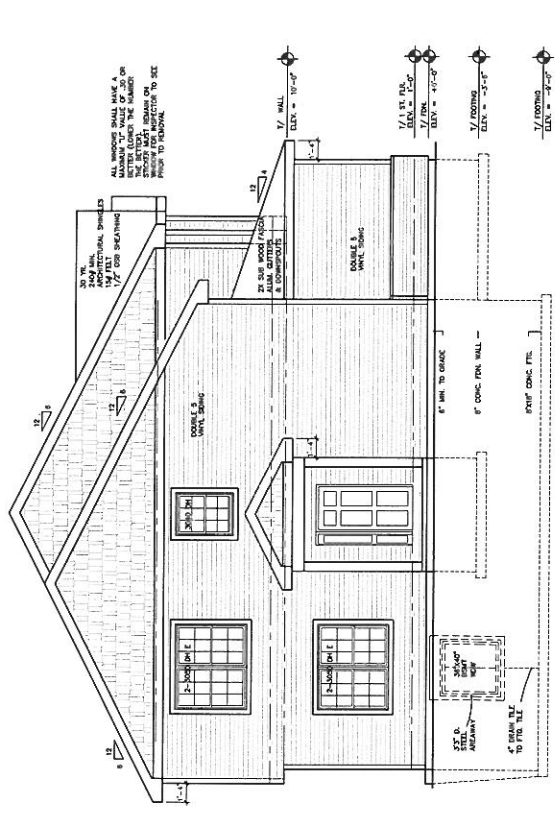
PROJECT NO.	2024-031
ARCHITECT	STEVEN W. HANSEN ARCHITECT
CLIENT	NEW DUPLEX FOR MR. PHILLIP KUHN
ADDRESS	391 CAPITAL DRIVE SUGAR GROVE, ILLINOIS
DATE	6/1/2024
PROJECT NO.	2024-031

STEVEN W. HANSEN ARCHITECT  
 880 LANSVIEW CT  
 SUGAR GROVE, IL 63042-8613

NEW DUPLEX FOR:  
 MR. PHILLIP KUHN  
 391 CAPITAL DRIVE  
 SUGAR GROVE, ILLINOIS



RIGHT ELEVATION  
 SCALE = 1/4" = 1'-0"



LEFT ELEVATION  
 SCALE = 1/4" = 1'-0"

ALL WINDOWS SHALL HAVE A MINIMUM CLEARANCE OF 4\"/>

ALL WINDOWS SHALL HAVE A MINIMUM CLEARANCE OF 4\"/>

E:\PROJECTS\2024\031

