



BOARD REPORT

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES

FROM: DANIELLE MARION, COMMUNITY DEVELOPMENT DIRECTOR

SUBJECT: ORDINANCE: FINAL PUD 391 CAPITOL DRIVE

AGENDA: June 16, 2026

DATE: June 4, 2026

ISSUE

Shall the Village Board an Ordinance approving a Final Planned Unit Development (PUD) for a duplex to be constructed in Waterford Place?

DISCUSSION

The Board discussed the application for a Final PUD approval at the May 19, 2026 Board meeting. The proposal is to build a duplex within the Waterford Place PUD. The original PUD called for this property to have a medical office building constructed on it. The applicant applied to amend the original PUD to allow for the duplex in place of the medical office building and received preliminary PUD approval. There have been no significant change made to the site plan or elevations since the Preliminary PUD plan.

Board members were concerned over the request for a deviation to reduce the rear yard setback from 30 feet to 15 feet. The concern was based on the fact that there was no public hearing required for the Final PUD approval, therefore the neighboring properties were not directly notified of the this request. Staff was directed to send notifications to the neighbors immediately adjacent to the property of this request and of the meeting date. The notifications were sent by staff via certified mail with a return receipt, there was one notification that was not picked up or delivered so staff hand delivered a notification to that address. At the time of this report no inquiries have been received by staff concerning the project.

The driveway entrance will utilize the existing curb width, which is 21.17 feet, which is 1.17 feet wider than the maximum allowed driveway width at the front lot line per Village Code. This is an existing condition, so a deviation is not required. The driveway will be constructed with permeable pavers, which the Village Engineers have reviewed and deemed acceptable as

long as long-term maintenance plan is provide and approved by the Village. The architectural elevations are consistent with the approved elevations from the Preliminary PUD.

The applicant is requesting one deviation:

1. Deviation to reduce the required rear yard setback from 30 feet to 15 feet.

The Plan Commission reviewed and discussed the proposed Final PUD at the April 15, 2026 Plan Commission meeting. Commissioner discussion included how if the property will drain towards the existing town homes and if the property will be a rental. Overall the Plan Commission did not express any concerns over the proposed Final PUD. The Plan Commission recommended that the Village Board approve the Final PUD subject to the following conditions and incorporate the Findings of Fact:

1. The Village Engineers shall approve the final engineering plans prior to the Village Board voting on the case.
2. Brick used on the structure columns on each side of the garage and the base must be 4" real brick.
3. A long-term maintenance plan for the permeable paver driveways must be submitted and approved by the Village Engineers prior to the Village Board voting on the case.

AYES: Airhart, Bieritz, Guddendorf, Dubina

NAYES: None

ABSENT: Coia, Sabo, Rockwell

COST

All outside Village Costs are the responsibility of the applicant.

ATTACHMENTS

- PC Recommendation 26-03
- Cover Letter
- Ordinance 2024-0507CD2 PUD Amendment & Approving a Preliminary PUD\
- Ordinance 2026-0616CD1 Approving a Final PUD for 391 Capitol Drive
- Final PUD Plans

RECOMMENDATION

That the Village Board approve the Ordinance approving the Final PUD for 391 Capitol Drive.

VILLAGE PRESIDENT
Sue Stillwell

VILLAGE ADMINISTRATOR
Scott Koepfel

VILLAGE CLERK
Tracey R. Conti



VILLAGE TRUSTEES
Heidi Lendi
Matthew Bonnie
Sean Michels
Anthony Speciale
Nora London
Michael Roskopf

R E C O M M E N D A T I O N

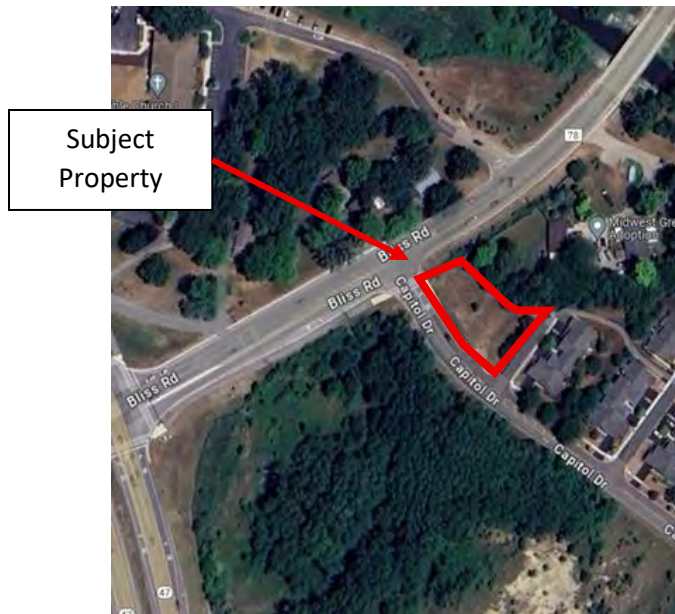
PC26-04

TO: Village President and Board of Trustees
FROM: Planning Commission
DATE: Meeting of May 5, 2026
PETITION: 26-003 391 Capitol Dr – Final Planned Unit Development

PROPOSAL

The applicant is requesting approval of a Final Planned Unit Development (PUD) for an attached single-family duplex at 391 Capitol Dr.

LOCATION MAP



BACKGROUND & HISTORY

The subject property is 391 Capitol Drive. It is currently a vacant lot located on the northeast corner of Bliss Road and Capitol Drive. The property is zoned R3 Medium Density Residential and is part of the Waterford Place Planned Unit Development (PUD), which was approved in 2000. The PUD originally designated the use of the property as a medical office building. Ordinance 2024-0507CD2 amended the original PUD to change the designated use of the property from a medical office building to an attached single-family duplex. That Ordinance also approved the Preliminary PUD plan for the duplex. The applicant is now requesting Final PUD approval for the duplex. The applicant has not made any significant changes to the site plan for the project. The driveway entrance will utilize the existing curb width, which is 21.17 feet, which is 1.17 feet wider than the maximum allowed driveway width at the front lot line per Village Code. This is an existing condition, so a deviation is not required. The driveway will be constructed with permeable pavers, which the Village Engineers have reviewed and deem acceptable, so long as a long-term maintenance plan is provided and approved by the Village. The architectural elevations are consistent with the architectural elevations that were approved with the Preliminary PUD.

The applicant is requesting one deviation:

1. Deviation to reduce the required rear yard setback from 30 feet to 15 feet.

DISCUSSION

Commissioners discussed the Final PUD at the April 15, 2026 Plan Commission meeting. The Commissioners inquired about the purpose of the deviation request, existing telecommunication poles, and if the sidewalk would be extended on the west side of the property. The applicant informed the Commissioners that the purpose for the request is so that the driveway can properly fit on the site, and that no changes are being proposed to the telecommunication poles or the sidewalk.

FINDINGS OF FACT

When considering special use requests, the Zoning Ordinance provides certain standards to be considered. The Planning Commission hereby finds that the proposed Special Use:

- a) Will be harmonious with and in accordance with the general objectives of the Comprehensive Land Use Plan and/or this zoning ordinance.

The project complies with the objectives of the Comprehensive Land Use Plan.

- b) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not alter the essential character of the same area.

The site will be designed, constructed, operated, and maintained as required by the Village Code.

- c) Will not be hazardous or disturbing to existing or future neighborhood uses.

No issues will affect existing or future neighborhood uses.

- d) Will be adequately served by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water sewers and schools, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.

The site will be adequately served and will comply with Village Standards.

- e) Will not create excessive additional requirements at public cost for public facilities and services, and will not be detrimental to the economic welfare of the Village.

No additional requirements are expected from the Village.

- f) Will not involve uses, activities, processes, materials, equipment and/or conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

There will not be excessive production of the aforementioned.

- g) Will have vehicular approaches to the property which shall be so designed as to not create an undue interference with traffic on surrounding public streets or highways.

The site will have appropriate vehicular approaches.

- h) Will not increase the potential for flood damage to adjacent property, or require additional public expense for flood protection, rescue or relief.

No.

- i) Will not result in the destruction, loss or damage of natural, scenic or historic features of major importance to the Village.

No.

EVALUATION

The applicant has not made any significant changes to the plans that were approved with the Preliminary PUD. Staff has reviewed the plans and can confirm that the Final PUD is consistent with the approved Preliminary PUD. Since the proposal is for a single-family duplex on a single residential lot, a landscape

plan is not applicable for this project. Staff deems the zoning deviation request to reduce the required rear yard setback from 30 feet to 15 feet acceptable.

Generally, this use is required to conform to the Village of Sugar Grove Special Use Standards. The following evaluation is based on the Special Use Standards.

1. Land Use/General – The use remains consistent with the Comprehensive Plan and the Zoning on the property.

2. Existing Conditions – The subject property is currently vacant; the proposed duplex is consistent with the approved Preliminary PUD.

3. Lots & Buildings – The proposed duplex is consistent with the approved Preliminary PUD.

4. Parking – Each unit will have a two-car garage.

RECOMMENDATION

After carefully considering the facts, the Planning Commission recommends the Village Board **approve** the Final PUD for 391 Capitol Dr, and to incorporate the findings of fact, subject to the following conditions;

1. The Village Engineers shall approve the final engineering plans prior to the Village Board voting on the case.
2. Brick used on the structure columns on each side of the garages and the base must be 4" real brick.
3. A long-term maintenance plan for the permeable paver driveways must be submitted and approved by the Village Engineers prior to the Village Board voting on the case.

AYES: Airhart, Bieritz, Guddendorf, Dubina

NAYES: None

ABSENT: Sabo, Rockwell

Motion Passed

Cover letter

To: Bravo Berisha, Planning & Zoning Administrator

From: Phil Kuhn

Subject: 391 Capitol Dr. final PUD

Date: December 1, 2025

I, Phil Kuhn, am seeking final PUD approval of 391 Capitol Dr. to allow an attached single family (duplex) building on the property. I am using the same engineering plans and the same building/elevation plans that were submitted last year. Nothing has been changed on the plans since the preliminary approval. I am requesting the approval of this property as the final step in the zoning process. This will make the lot ready for construction or marketing to potential buyers.

Feel free to contact me with any questions or concerns.



**VILLAGE OF SUGAR GROVE
KANE COUNTY, ILLINOIS**

ORDINANCE NO. 2024-0507CD2

**AN ORDINANCE GRANTING APPROVAL OF
AN AMENDMENT TO WATERFORD PLACE
PUD AND APPROVAL OF A PRELIMINARY
PUD PLAN FOR 391 CAPITOL DRIVE**

Adopted by the Board of Trustees and President of the Village of Sugar Grove
this 7th day of May 2024

Published in pamphlet form by authority of the Board of Trustees of the Village of Sugar Grove, Illinois,
this 7th day of May, 2024

ORDINANCE NO. 2024-0507CD2

**AN ORDINANCE GRANTING APPROVAL OF
AN AMENDMENT TO WATERFORD PLACE PUD AND APPROVAL OF A
PRELIMINARY PUD PLAN FOR 391 CAPITOL DRIVE**

WHEREAS, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution, and accordingly, acts pursuant to the powers granted to it under 65 ILCS 5/1-1 *et seq.* and other applicable statutes; and,

WHEREAS, the applicant, Phil Kuhn (“Applicant”), has requested approval of an amendment to Waterford Place PUD (“Amendment”) and approval of a Preliminary PUD Plan (“Preliminary Plan”) for 391 Capitol Drive, with the subject property legally described in Exhibit A, attached hereto and incorporated herein by reference (“Subject Property”); and,

WHEREAS, the Planning Commission/Zoning Board of Appeals held a meeting on April 24, 2024, to consider the Amendment and the approval of the Preliminary Plan for 391 Capitol Drive and recommended approval as described in their report PC Recommendation 24-01; and

WHEREAS, the Village Board has reviewed the request and has deemed that the Amendment and Preliminary Plan is in compliance with the Zoning Ordinance of the Village of Sugar Grove;

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois is as follows:

SECTION ONE: APPROVAL OF AMENDMENT AND PRELIMINARY PLAN

Pursuant to Section 11-11-6 -C and 11-11-7 the Amendment and Preliminary Plan, attached hereto as Exhibit B and made a part hereof by this reference, is hereby approved on the Subject Property. The Final PUD Plan shall be submitted in accordance with Section 11-11-6-D, subject to the following condition:

- Brick used on structure for columns on each side of the garages and the base on the side elevation must be 4” real brick.

SECTION TWO: GENERAL PROVISIONS

REPEAL ER: That all ordinances or portions thereof in conflict herewith are hereby repealed to the extent of any such conflict.

SEVERABILITY: Should any provision of this ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this ordinance.

EFFECTIVE DATE: This ordinance shall be in full force and effect on and after its approval, passage and publication in pamphlet form as provided by law.

PASSED AND APPROVED by the President and Board of Trustees of the Village of Sugar Grove, Illinois, this 7th day of May, 2024.



A handwritten signature in black ink, appearing to read "J. Konen", written over a horizontal line.

Jennifer Konen.
Village President

ATTEST:

A handwritten signature in blue ink, appearing to read "Tracey Conti", written over a horizontal line.

Tracey Conti,
Village Clerk

Trustee Matthew Bonnie
Trustee Sean Herron
Trustee Heidi Lendi
Trustee Sean Michaels
Trustee Michael Schomas
Trustee James F. White

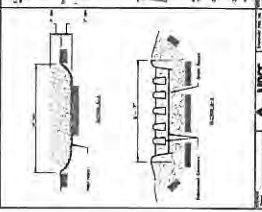
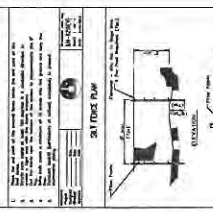
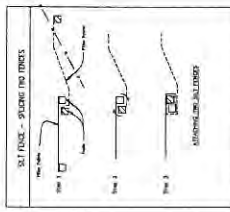
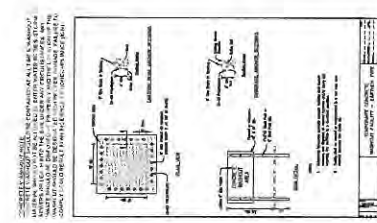
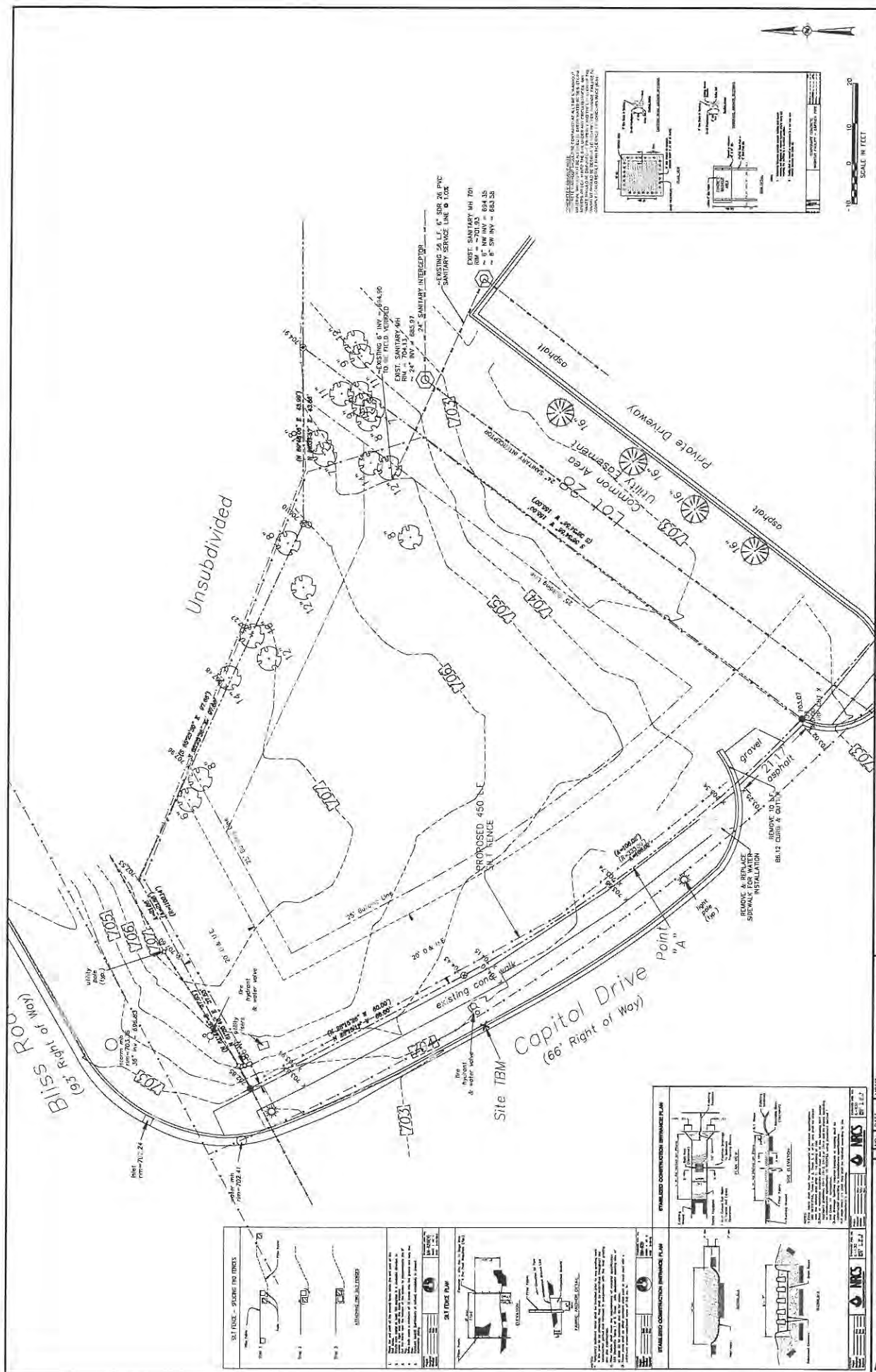
Aye Nay Absent Abstain

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Exhibit A

Legal Description

Lot 27 Waterford Place, being a Resubdivision of Lot 14 of Sugar Grove Corporate Center Unit 2, according to the Plat thereof recorded October 27, 2000 as Document 2000K085928, in the Village of Sugar Grove, Kane County, Illinois.



TEBRUGGE ENGINEERING 410 E. CHURCH STREET, 4TH FLOOR, SUGAR GROVE, IL 60178 PHONE: 630.253.6315 FAX: 630.253.6315		PREPARED FOR: PHIL KUHN 133 VALE AVE. SUGAR GROVE, IL		391 CAPITOL DRIVE SITE PLAN EXISTING CONDITIONS & DEMOLITION PLAN	
NO.	DATE	REVISIONS	PROJECT NO.	24-553-01	SHEET NO.
1			SCALE	1" = 10'	2
2			DATE	MAY 25, 2024	OF 3 SHEETS

1	1-1	REVISION
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STEVEN W. HANSEN ARCHITECT
 630 LANGFORD CT.
 SUGAR GROVE, IL
 630-420-8613

NEW DUPLEX FOR MR. PHILIP KUHN
 391 CARROLL DRIVE
 SUGAR GROVE, ILLINOIS

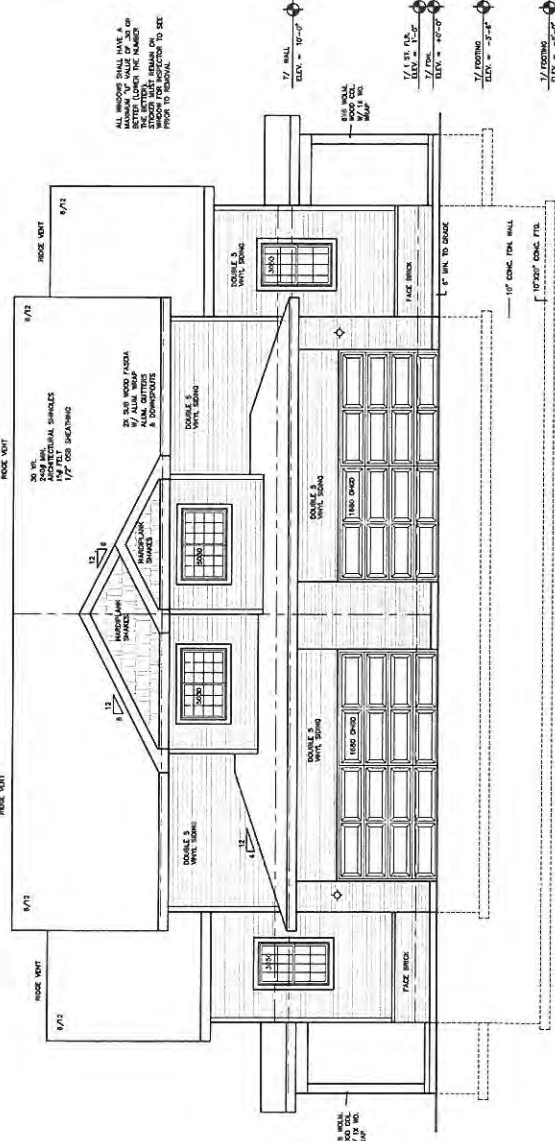
PROJECT NO. 2024-031

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FRONT ELEVATION RIGHT UNIT

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FRONT ELEVATION LEFT UNIT



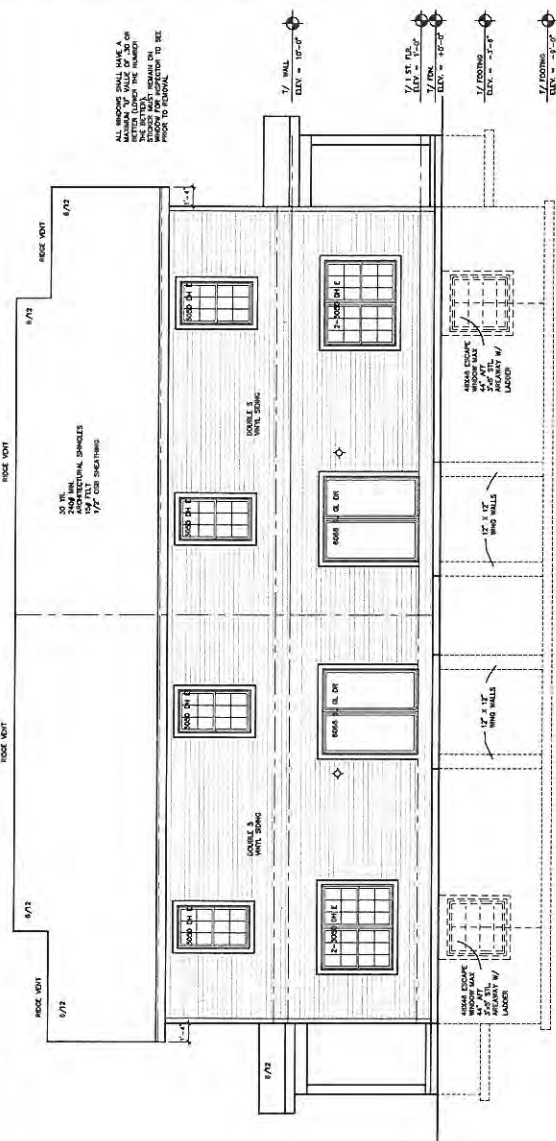
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REAR ELEVATION LEFT UNIT

SCALE = 1/4" = 1'-0"

REAR ELEVATION RIGHT UNIT

SCALE = 1/4" = 1'-0"



SCALE = 1/4" = 1'-0"

REAR ELEVATION LEFT UNIT

SCALE = 1/4" = 1'-0"

REAR ELEVATION RIGHT UNIT

SCALE = 1/4" = 1'-0"

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DATE	DESCRIPTION
1-21-2024	REVISION
2-11-2024	REVISION
3-27-2024	REVISION
4-21-2024	REVISION

PROJECT NO.	2024-031
OWNER	MR. PHILLIP KUHN
ADDRESS	391 CAPITAL DRIVE SUGAR GROVE, ILLINOIS
ARCHITECT	STEVEN W. HANSEN ARCHITECT
PHONE	630.4204.8613
WEBSITE	WWW.SWHANSEN.COM

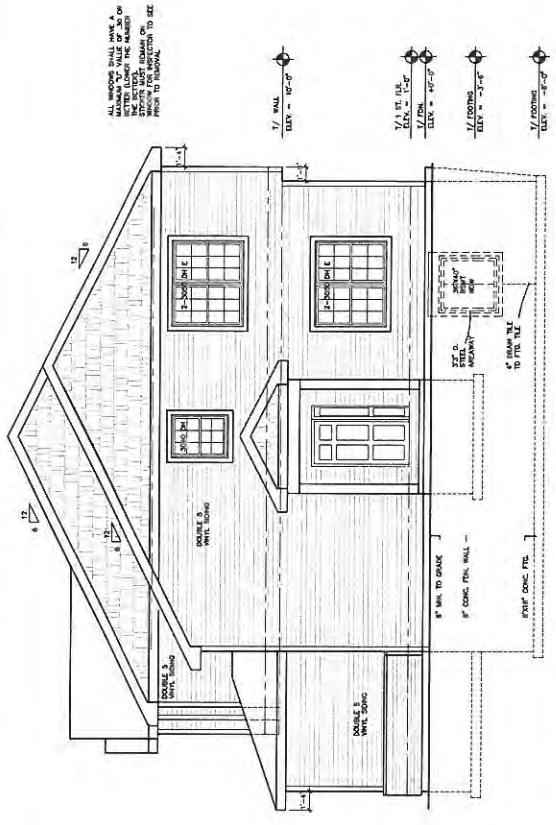
STEVEN W. HANSEN ARCHITECT
680 LENOXVIEW CT
SUGAR GROVE, IL
630.4204-8613

NEW DUPLEX FOR:
MR. PHILLIP KUHN
391 CAPITAL DRIVE
SUGAR GROVE, ILLINOIS

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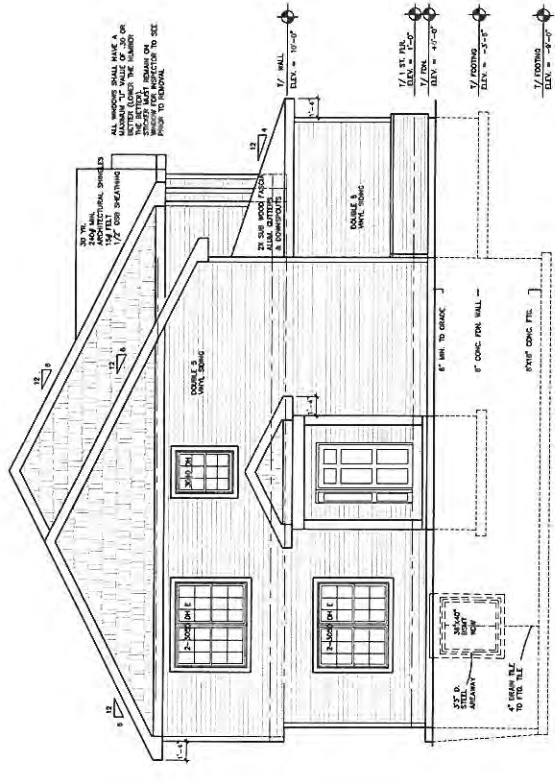
RIGHT ELEVATION
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ALL WINDOWS SHALL HAVE A MINIMUM CLEARANCE OF 1/4\"/>

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- 1/4" ST. PILE ELEV = 1'-0"
- 1/2" SIDING ELEV = 4'-0"
- 1/2" SIDING ELEV = 3'-0"
- 1/2" SIDING ELEV = 2'-0"

LEFT ELEVATION
SCALE = 1/4" = 1'-0"



ALL WINDOWS SHALL HAVE A MINIMUM CLEARANCE OF 1/4\"/>

- 1/2" WALL ELEV = 10'-0"
- 1/4" ST. PILE ELEV = 1'-0"
- 1/2" SIDING ELEV = 4'-0"
- 1/2" SIDING ELEV = 3'-0"
- 1/2" SIDING ELEV = 2'-0"



**Village of Sugar Grove
Kane County, Illinois**

Ordinance No.: 2026-0616CD1

Special Use for a Final Planned Unit Development (391 Capitol Drive)

**Adopted by the
Village Board
of the
Village of Sugar Grove
June 16, 2026**

Published in pamphlet form by
Authority of the Village Board
of the Village of Sugar Grove,
Kane County, June 16, 2026

Village Clerk

(seal)



**VILLAGE OF SUGAR GROVE
KANE COUNTY, ILLINOIS**

ORDINANCE NO.: 2026-0616CD1

Special Use for a Final Planned Unit Development (391 Capitol Drive)

WHEREAS, the Village of Sugar Grove (“Village”) is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution, and accordingly, acts pursuant to the powers granted to it under 65 ILCS 5/1-1 *et seq.* and other applicable statutes; and,

WHEREAS, the Illinois Municipal Code, 65 ILCS 5/11-13-1.1 provides that the corporate authorities of any municipality may in its ordinance provide for the classification of special uses, including planned unit developments; and,

WHEREAS, the Village President and Board of Trustees of the Village (“Village Board”) have adopted a zoning ordinance, which has been amended from time to time, which establishes a process for the approval of planned unit developments and final plans related thereto; and,

WHEREAS, Phil Kuhn (“Applicant”), has requested approval of a Final Planned Unit Development Plan for property located at 391 Capitol Drive (“Final PUD”), with the subject property legally described in **Exhibit “A”**, attached hereto and incorporated herein by reference (“Property”); and,

WHEREAS, the Planning Commission/Zoning of Appeals held a meeting on April 15, 2026, to consider the Final PUD, at which time the Planning Commission/Zoning Board of Appeals recommended approval of the Preliminary PUD as described in their report PC Recommendation 26-04; and,

WHEREAS, the Village Board has found that the requested Special Use Permit complies with the standards as set forth in the Zoning Ordinances and concurs with the recommendation of the Planning Commission/Zoning Board of Appeals subject to the below conditions.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF TRUSTEES OF THE VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS, AS FOLLOWS:

SECTION ONE: INCORPORATION OF RECITALS

1. The foregoing recital clauses are incorporated herein and adopted as the findings of fact by the Village Board of the Village of Sugar Grove.

SECTION TWO: ADOPTION OF FINDINGS OF FACT FOR SPECIAL USE

The Village Board hereby adopt the findings of fact for the Special Use as determined by the Planning Commission/Zoning Board of Appeals set forth on **Exhibit "B"**, and summarized below:

1. That the Special Use will be harmonious with and in accordance with the general objectives of the comprehensive land use plan and/or the Village's Zoning Ordinance.
2. That the Special Use will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not alter the essential character of the same area.
3. That the Special Use will not be hazardous or disturbing to exiting or future neighborhood uses.
4. That the Special Use will be adequately served by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water, sewers, and schools, or that the persons or agencies responsible for the establishment of the proposed use shall be able to adequately provide any such services.
5. That the Special Use will not create excessive additional requirements at the public cost for public facilities and services and will not be detrimental to the economic welfare of the Village.
6. That the Special Use will not invoke uses, activities, processes, materials, equipment, and/or conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.
7. That the Special Use will have vehicular approaches to the property which shall be so designed as to not create an undue interference with traffic on surrounding public streets or highways.
8. That the Special Use will not increase the potential for flood damage to adjacent property, or require additional public expense for flood protection, rescue, or relief.
9. That the Special Use will not result in the destruction, loss, or damage of natural, scenic, or historic features of major importance to the Village.

SECTION THREE: GRANTING A SPECIAL USE PERMIT

1. That a special use for a Final PUD for a 391 Capitol Drive is HEREBY GRANTED as follows:
 - a. That s Special Use for a Final PUD for a duplex is hereby granted on the Property located at 391 Capitol Drive and legally described in **Exhibit "A"**, attached hereto and made a part hereof by this reference. The special use shall be in substantial

accordance with **Exhibit "C"**, attached hereto and incorporated herein, except as otherwise permitted by the Zoning Officer in the final approval of plans.

SECTION FOUR: APPROVED DEVIATIONS

- 1. A deviation to reduce the rear yard setback from 30 feet to 15 feet.

SECTION FIVE: CONDITIONS OF APPROVAL

- 1. Brick used on the structure columns on each side of the garage and base must be 4" real brick.
- 2. Duplex must be built to match the attached elevations and plans exactly.
- 3. A long-term maintenance plan for the permeable paver driveway must be submitted and approved by the Village Engineers.

SECTION SIX:

- 1. That after adoption and approval hereof, this Ordinance shall be in full force and effect in the manner provided by law.

PRESENTED, PASSED AND APPROVED by the President and the Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, on this 16th, day of **June 2026**.

Sue Stillwell, Village President

Tracey R. Conti, Village Clerk

BOARD VOTE:

	Aye	Nay	Absent	Abstain	Recuse
Trustee Heidi Lendi	_____	_____	_____	_____	_____
Trustee Matthew Bonnie	_____	_____	_____	_____	_____
Trustee Sean Michels	_____	_____	_____	_____	_____
Trustee Anthony Speciale	_____	_____	_____	_____	_____
Trustee Nora London	_____	_____	_____	_____	_____
Trustee Michael Roskopf	_____	_____	_____	_____	_____

EXHIBIT A

Lot 27 OF WATERFORD PLACE, IN THE VILLAGE OF SUGAR GROVE, KANE COUNTY ILLINOIS.

EXHIBIT B

Findings of Fact (Special Use) – Several standards must be satisfied in order to grant a Special Use Permit. These standards, and the status of each, are described below. The Planning Commission must establish that the Special Use:

1. Will be harmonious with and in accordance with the general objectives of the Comprehensive Land Use Plan and/or this zoning ordinance.
The project complies with the objectives of the Comprehensive Land Use Plan.
2. Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not alter the essential character of the same area.
The site will be designed, constructed, operated, and maintained as required by the Village Code.
3. Will not be hazardous or disturbing to existing or future neighborhood uses.
No issues will affect existing or future neighborhood uses.
4. Will be adequately served by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water sewers and schools, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.
The site will be adequately served and will comply with Village Standards.
5. Will not create excessive additional requirements at public cost for public facilities and services, and will not be detrimental to the economic welfare of the Village.
No additional requirements are expected from the Village.
6. Will not involve uses, activities, processes, materials, equipment and/or conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
There will not be excessive production of the aforementioned.
7. Will have vehicular approaches to the property which shall be so designed as to not create an undue interference with traffic on surrounding public streets or highways.
The site will have appropriate vehicular approaches.
8. Will not increase the potential for flood damage to adjacent property, or require additional public expense for flood protection, rescue or relief.
No.
9. Will not result in the destruction, loss or damage of natural, scenic or historic features of major importance to the Village.
No.

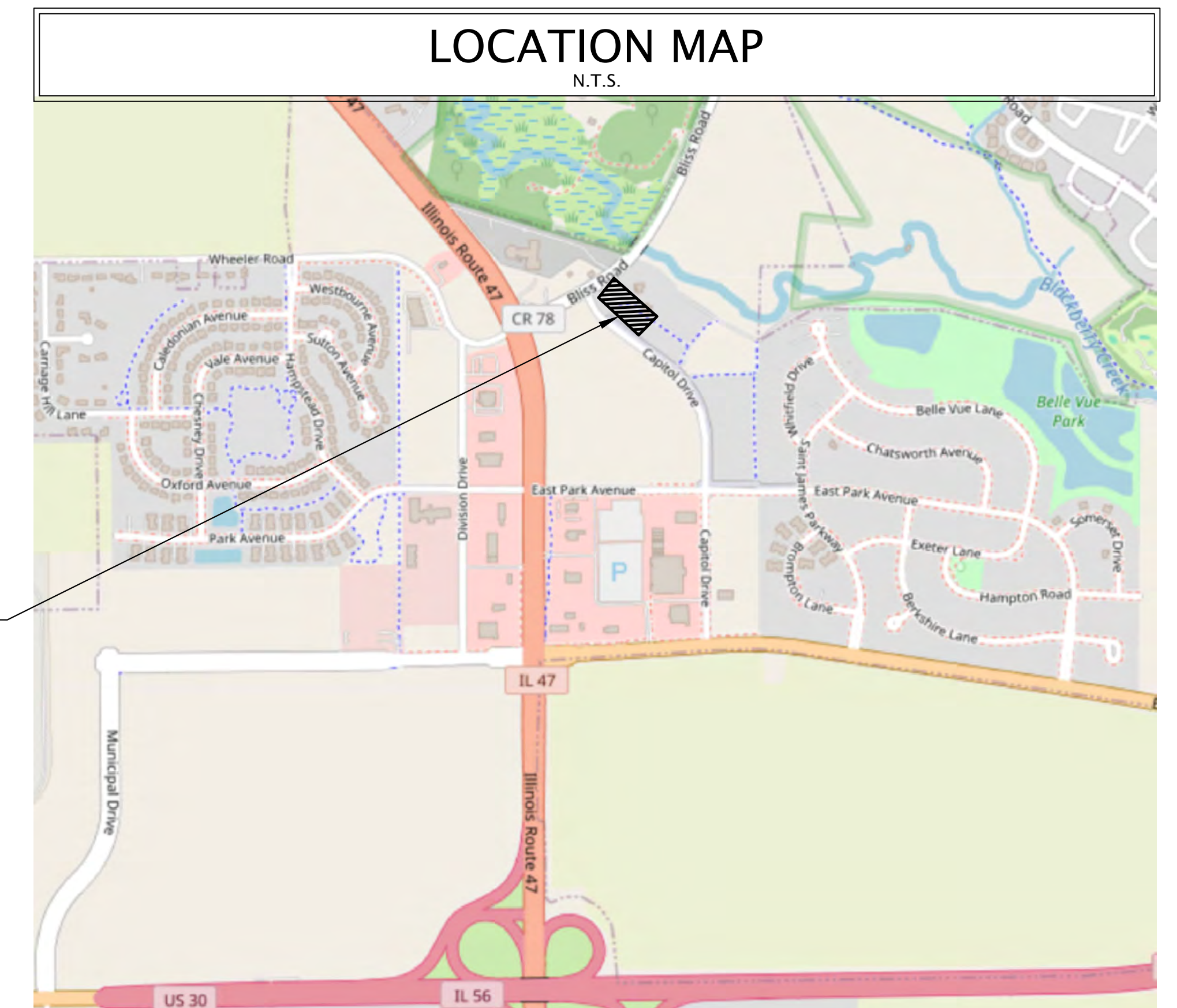
EXHIBIT C

Final PUD Plans and Elevations

ENGINEERING PLANS FOR 391 CAPITOL DRIVE SITE PLAN

SECTION 16, TOWNSHIP 38 NORTH, RANGE 7 EAST

391 CAPITOL DRIVE
SUGAR GROVE, IL 60554
KANE COUNTY
APRIL, 2026



PROJECT LOCATION

LEGEND

---	PROPERTY BOUNDARY
---600---	EXISTING CONTOUR LINE
---STM---	EXISTING STORM SEWER
---SAN---	EXISTING SANITARY SEWER LINE
---W---	EXISTING WATERMAIN
---UE---	EXISTING UNDERGROUND ELECTRIC
---OHE---	EXISTING OVERHEAD ELECTRIC
---GAS---	EXISTING GAS SERVICE
---T---	EXISTING TELEPHONE
---673---	PROPOSED CONTOUR LINE
---W---	PROPOSED WATERMAIN
---STM---	PROPOSED STORM SEWER
---SAN---	PROPOSED SANITARY SEWER LINE
---GREASE---	PROPOSED GREASE SERVICE LINE
---VENT---	PROPOSED VENT LINE
---F---	EXISTING FENCELINE
---SF---	PROPOSED SILT FENCE
x 686.00	EXISTING SPOT SHOT
x 686.00	PROPOSED SPOT GRADE
EXIST WATER: ---	PROP B-BOX
---	HYDRANT
---	VALVE
---	VALVE VAULT
STORM: ---	INLET-CURB
---	INLET OR MANHOLE
---	FLARED END SECTION
SANITARY: ---	CLEANOUT
---	MANHOLE
PAVEMENT: ---	GRAVEL
---	ASPHALT
x	CONCRETE
⊗	R.O.W. MONUMENT
⊕	PROPERTY PIN
▲	P.K. NAIL
▣	CHISELED MARK
■	BENCHMARK
⊙	HUB & TACK
⊗	SOIL BORING
→	OVERLAND RELIEF
→	FLOW DIRECTION
---	UTILITY POLE
---	GUY WIRE LOC.
---	UTIL CABINET
---	UTIL PEDESTAL
---	LIGHT POLE
---	TRAFFIC SIGNAL
---	ELECTRIC VAULT
---	GAS VALVE

SURVEY COMPLETED BY:
TODD SURVEYING
PROFESSIONAL LAND SURVEYING SERVICES
CORNERSTONE SURVEYING PC
759 JOHN STREET, SUITE D, YORKVILLE, IL 60560
PHONE: 630-892-1309 FAX: 630-892-5544



Know what's below.
Call before you dig.

Contractor and/or sub-contractors shall verify locations of all underground utilities prior to digging. Contact J.U.L.I.E. (Joint Utility Locating for Excavators) at 1-800-892-0123 or dial 811.

INDEX TO SHEETS

1. COVER SHEET
2. EXISTING CONDITIONS & DEMOLITION PLAN
3. CIVIL SITE PLANS
4. SANITARY PLAN & PROFILE
5. VILLAGE OF SUGAR GROVE NOTES
6. DETAILS
7. FOX METRO NOTES & DETAILS

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

UTILITY CONTACTS

ELECTRIC
COMED (800) 334-7661

NATURAL GAS
NICOR (888) 642-6748

PHONE
AT&T (800) 288-2020

CABLE/TELEVISION
COMCAST (866) 594-1234

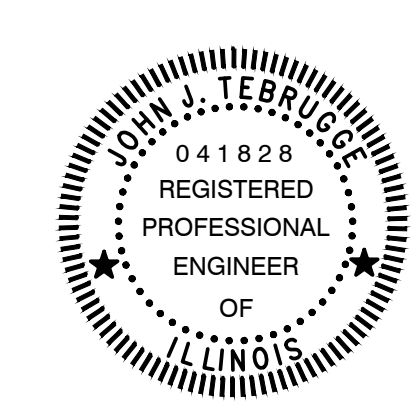
TOPOGRAPHY STATEMENT

EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY TEBRUGGE ENGINEERING. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

PROFESSIONAL ENGINEER'S CERTIFICATION
STATE OF ILLINOIS, COUNTY OF KENDALL

I JOHN J. TEBRUGGE, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY PERSONAL DIRECTION BASED ON AVAILABLE DOCUMENTS AND FIELD MEASUREMENTS FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.

GIVEN UNDER MY HAND & SEAL THIS 20TH DAY OF APRIL, 2026.



John J. Tebrugge
ILLINOIS REGISTERED PROFESSIONAL ENGINEER
NO. 0062-041828 EXPIRES NOV. 30, 2027

COPYRIGHT © 2024 BY TEBRUGGE ENGINEERING
ALL RIGHTS RESERVED. NO PART OF THESE CIVIL ENGINEERING PLANS MAY BE REPRODUCED, DISTRIBUTED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING PHOTOCOPYING, RECORDING, OR OTHER ELECTRONIC OR MECHANICAL METHODS, WITHOUT THE PRIOR WRITTEN PERMISSION OF TEBRUGGE ENGINEERING.

AGENCY CONTACTS:

VILLAGE OF SUGAR GROVE PUBLIC WORKS (630) 391-7230	FOX METRO WATER RECLAMATION DISTRICT (630) 301-6811
VILLAGE OF SUGAR GROVE POLICE DEPARTMENT (630) 391-7250	WWW.FOXMETRO.ORG
VILLAGE OF SUGAR GROVE FIRE DEPARTMENT (630) 466-4513	

LEGAL DESCRIPTION

LOT 27 OF WATERFORD PLACE, IN THE VILLAGE OF SUGAR GROVE, KANE COUNTY, ILLINOIS.
COMMONLY KNOWN AS 391 CAPITOL DRIVE, SUGAR GROVE, ILLINOIS
PIN 14-16-226-003

BENCHMARKS:

BECHMARKS:
SOURCE BENCHMARK:
CITY OF AURORA MONUMENT #55
ELEVATION= 690.81

SITE BENCHMARK (SITE TBM):
CUT "X" AT TOP OF CURB ADJACENT TO FIRE HYDRANT ON CAPITOL DRIVE.
(AS NOTED)
ELEVATION= 703.52

PLANS PREPARED FOR:

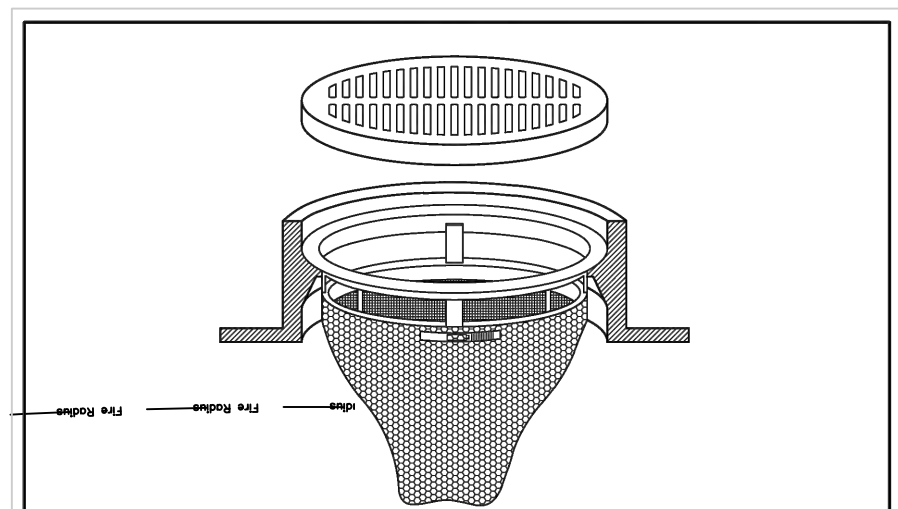
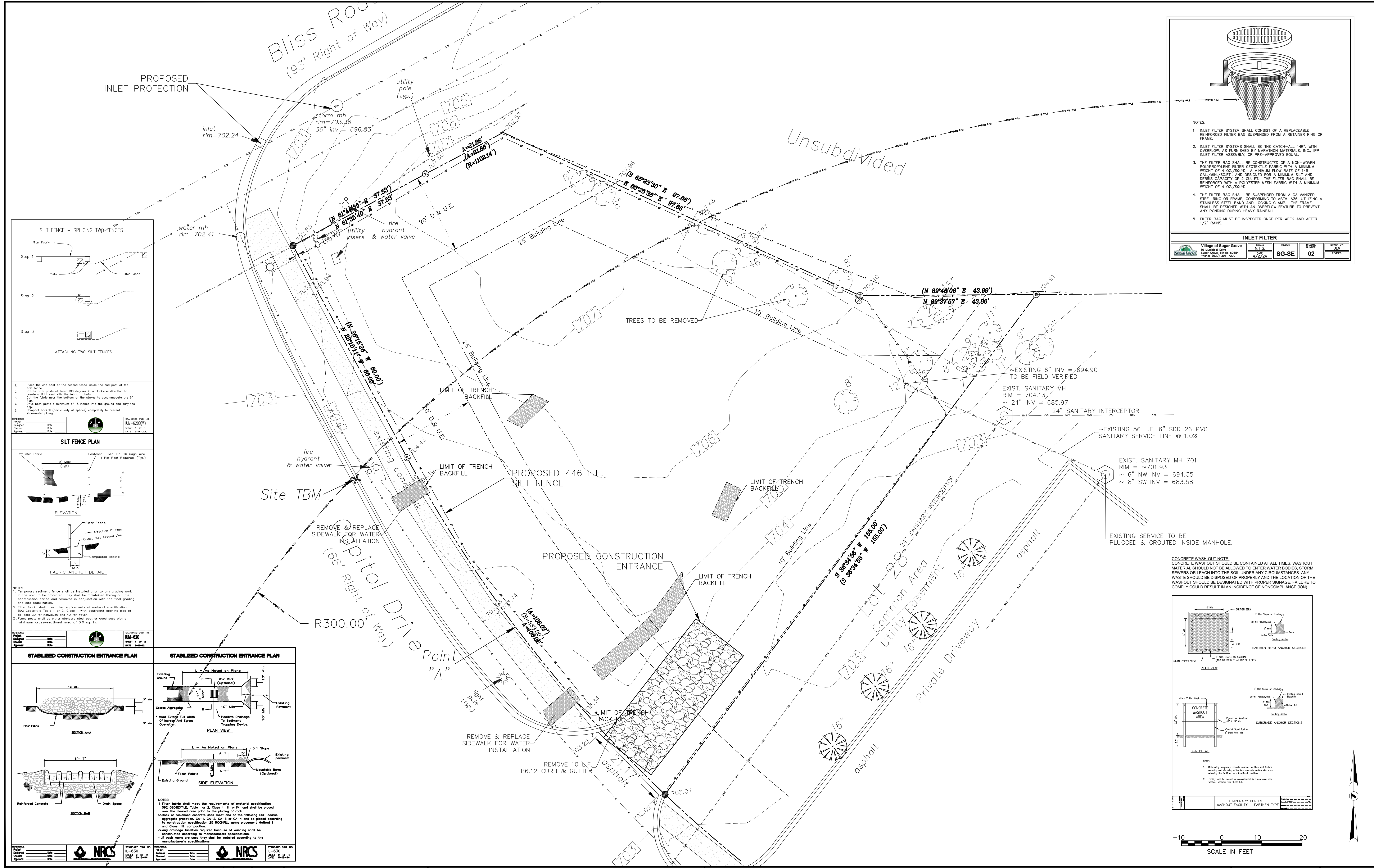
PHIL KUHN
133 VALE AVE
SUGAR GROVE, IL 60554
PHONE: (630) 330-1419
EMAIL: PHILKUHN@SBCGLOBAL.NET

CIVIL ENGINEER:

TEBRUGGE ENGINEERING
410 E CHURCH ST - SUITE A
SANDWICH, ILLINOIS 60548
(815) 786-0195

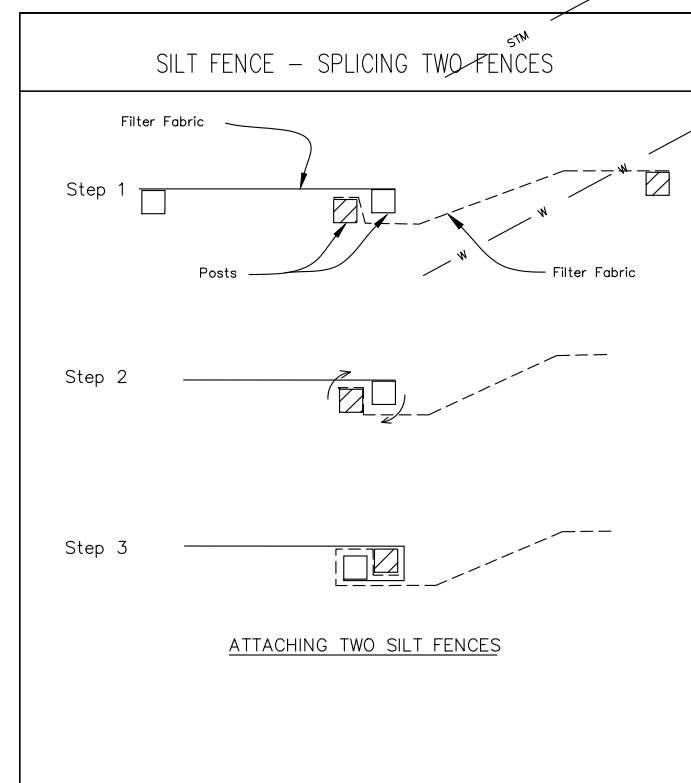
INFO@TEBRUGGEENGINEERING.COM
WWW.TEBRUGGEENGINEERING.COM

NO.	DATE	NOTES
1	2.2.26	SUGAR GROVE REVIEW LETTER 1.5.26
2	3.25.26	SUGAR GROVE REVIEW LETTER 3.24.26
3	4.20.26	SUGAR GROVE REVIEW LETTER 4.17.26

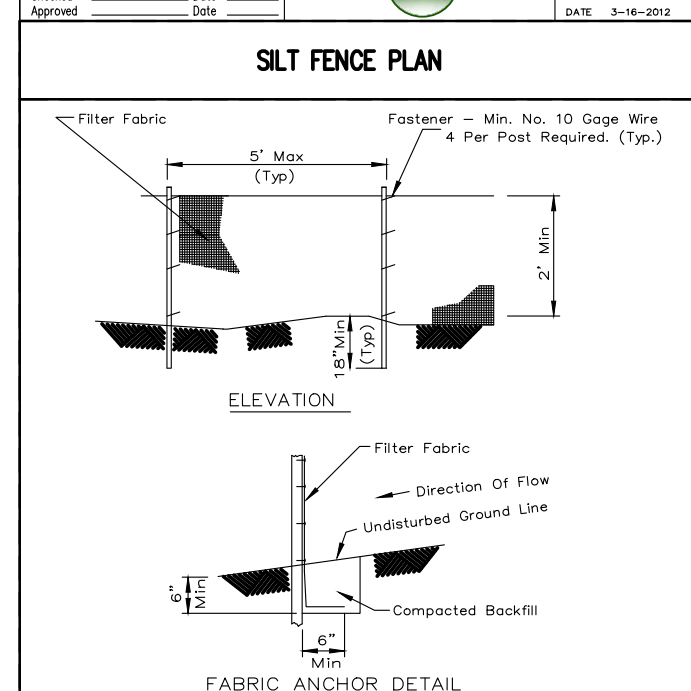


- NOTES:
1. INLET FILTER SYSTEM SHALL CONSIST OF A REPLACEABLE REINFORCED FILTER BAG SUSPENDED FROM A RETAINER RING OR FRAME.
 2. INLET FILTER SYSTEMS SHALL BE THE CATCH-ALL "HP", WITH OVERFLOW, AS FURNISHED BY MARATHON MATERIALS, INC. IPP INLET FILTER ASSEMBLY, OR PRE-APPROVED EQUAL.
 3. THE FILTER BAG SHALL BE CONSTRUCTED OF A NON-WOVEN POLYPROPYLENE FILTER GEOTEXTILE FABRIC WITH A MINIMUM WEIGHT OF 4 OZ./SQ.YD., A MINIMUM FLOW RATE OF 145 GAL./MIN./SQ.FT., AND DESIGNED FOR A MINIMUM SILT AND DEBRIS CAPACITY OF 2 CU. FT. THE FILTER BAG SHALL BE REINFORCED WITH A POLYESTER MESH FABRIC WITH A MINIMUM WEIGHT OF 4 OZ./SQ.YD.
 4. THE FILTER BAG SHALL BE SUSPENDED FROM A GALVANIZED STEEL RING OR FRAME, CONFORMING TO ASTM-A36, UTILIZING A STAINLESS STEEL BAND AND LOCKING CLAMP. THE FRAME SHALL BE DESIGNED WITH AN OVERFLOW FEATURE TO PREVENT ANY PONDING DURING HEAVY RAINFALL.
 5. FILTER BAG MUST BE INSPECTED ONCE PER WEEK AND AFTER 1/2" RAINS.

INLET FILTER			
Project: Village of Sugar Grove	Scale: N.T.S.	Revision: SG-SE	Drawn by: BLM
Design: 10 Marshall Drive	Date: 4/2/24	Sheet: 02	Checked: WES
Client: Sugar Grove	Phone: (830) 381-7200		

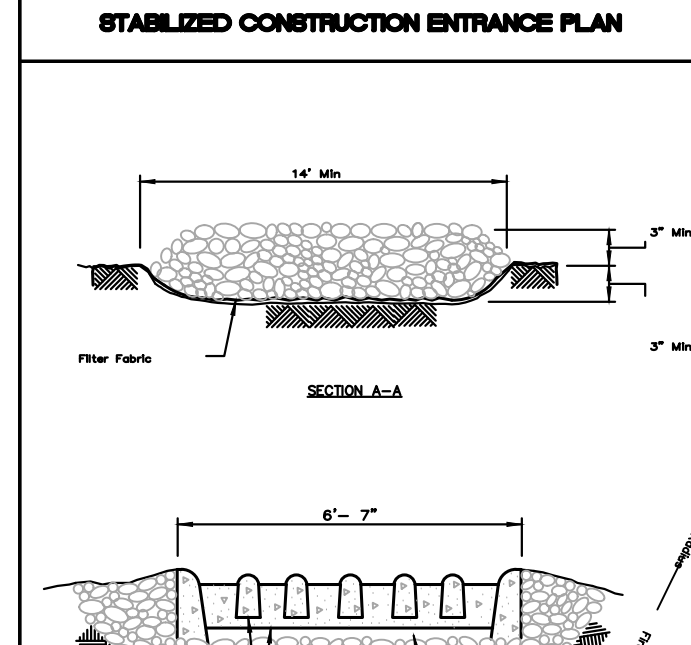


- ATTACHING TWO SILT FENCES
1. Place the end post of the second fence inside the end post of the first fence.
 2. Rotate both posts at least 180 degrees in a clockwise direction to create a tight seal with the fabric material.
 3. Cut the fabric near the bottom of the stakes to accommodate the 6" gap.
 4. Drive both posts a minimum of 18 inches into the ground and bury the top.
 5. Compact backfill (particularly at splices) completely to prevent stormwater piping.



- NOTES:
1. Temporary sediment fence shall be installed prior to any grading work in the area to be protected. They shall be maintained throughout the construction period and removed in conjunction with the final grading and site stabilization.
 2. Filter fabric shall meet the requirements of material specification 592 Geotextile Table 1 or 2, Class 3, with equivalent opening size of at least 50 for retention and 40 for removal.
 3. Fence posts shall be either standard steel post or wood post with a minimum cross-sectional area of 3.0 sq. in.

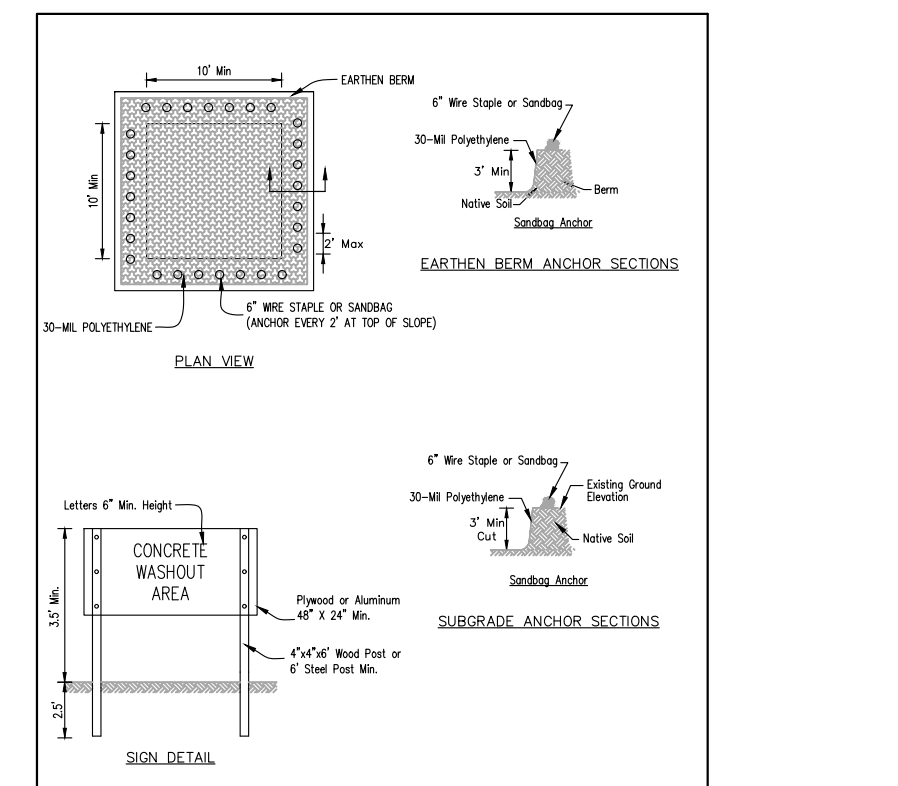
SILT FENCE PLAN			
Project: Village of Sugar Grove	Scale: N.T.S.	Revision: SG-SE	Drawn by: BLM
Design: 10 Marshall Drive	Date: 4/2/24	Sheet: 02	Checked: WES
Client: Sugar Grove	Phone: (830) 381-7200		



- NOTES:
1. Filter fabric shall meet the requirements of material specification 592 GEOTEXTILE, Table 1 or 2, Class 1, 2, or 3, and shall be placed over the cleared area prior to the placing of rock.
 2. Block or reinforced concrete shall meet one of the following DOT course aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according to construction specification 25 RECONSTRUCTION, using placement Method 1 and Class III compaction.
 3. Any drainage facilities required because of washing shall be constructed according to manufacturer's specifications.
 4. If wash racks are used they shall be installed according to the manufacturer's specifications.

STABILIZED CONSTRUCTION ENTRANCE PLAN			
Project: Village of Sugar Grove	Scale: N.T.S.	Revision: SG-SE	Drawn by: BLM
Design: 10 Marshall Drive	Date: 4/2/24	Sheet: 02	Checked: WES
Client: Sugar Grove	Phone: (830) 381-7200		

CONCRETE WASH-OUT NOTE:
CONCRETE WASH-OUT SHOULD BE CONTAINED AT ALL TIMES. WASH-OUT MATERIAL SHOULD NOT BE ALLOWED TO ENTER WATER BODIES, STORM SEWERS OR LEACH INTO THE SOIL UNDER ANY CIRCUMSTANCES. ANY WASTE SHOULD BE DISPOSED OF PROPERLY AND THE LOCATION OF THE WASH-OUT SHOULD BE DESIGNATED WITH PROPER SIGNAGE. FAILURE TO COMPLY COULD RESULT IN AN INCIDENT OF NONCOMPLIANCE (ION).



- NOTES:
1. Maintain temporary concrete wash-out facilities and include necessary and adequate signage and safety measures at all times.
 2. Facilities shall be checked and maintained in a safe and clean condition.

TEMPORARY CONCRETE WASH-OUT FACILITY - EARTHEN TYPE			
Project: Village of Sugar Grove	Scale: N.T.S.	Revision: SG-SE	Drawn by: BLM
Design: 10 Marshall Drive	Date: 4/2/24	Sheet: 02	Checked: WES
Client: Sugar Grove	Phone: (830) 381-7200		

PROJECT NO. 24 565 01	SHEET NO. 2
SCALE: 1" = 10'	OF 7 SHEETS
DATE: MAR 25, 2024	

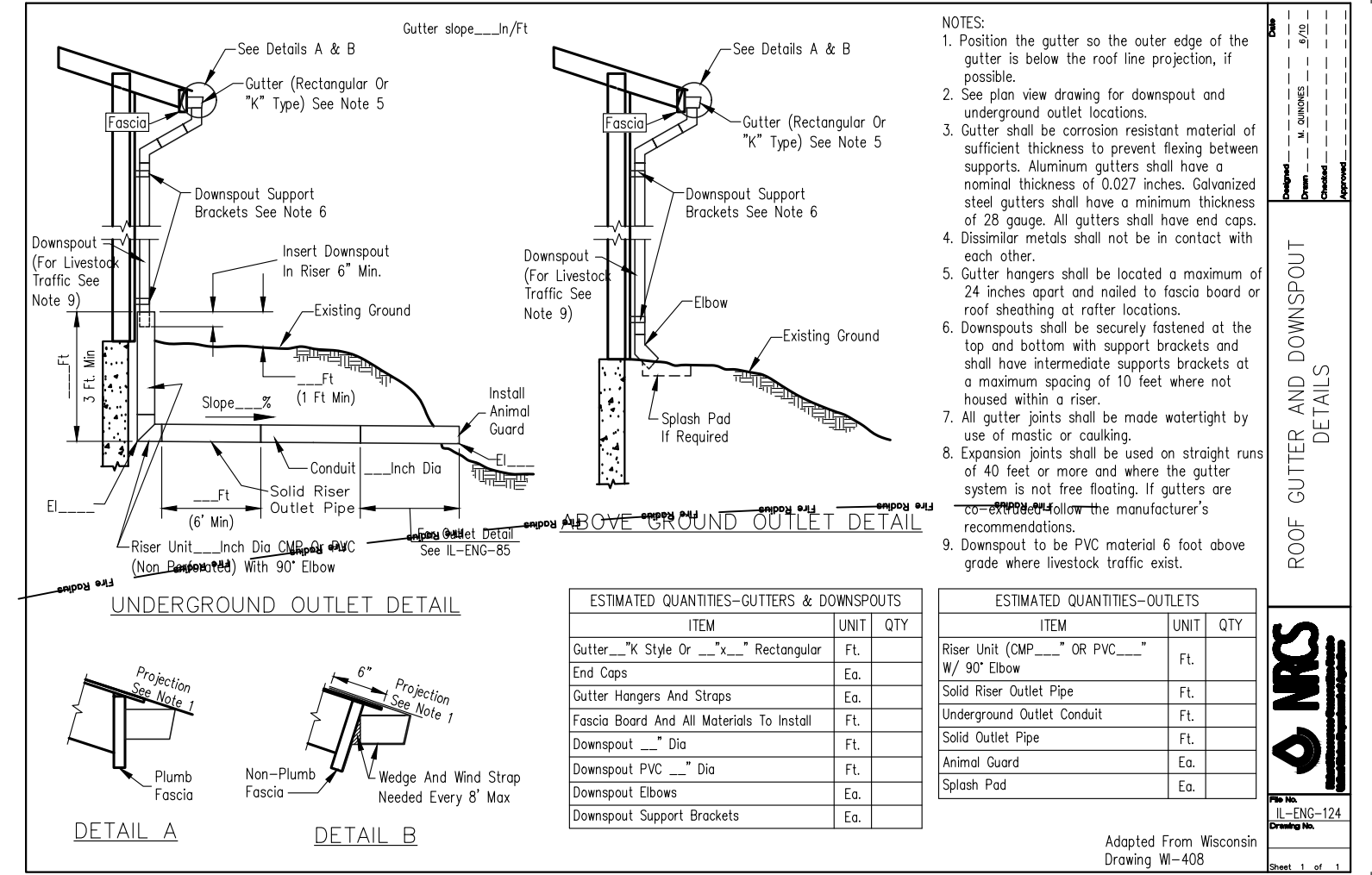
NO.	DATE	NOTES
1	2.2.26	SUGAR GROVE REVIEW LETTER 1.5.26
2	3.25.26	SUGAR GROVE REVIEW LETTER 3.24.26
3	4.20.26	SUGAR GROVE REVIEW LETTER 4.17.26

PREPARED FOR:
PHIL KUHN
133 VALE AVE, SUGAR GROVE, IL

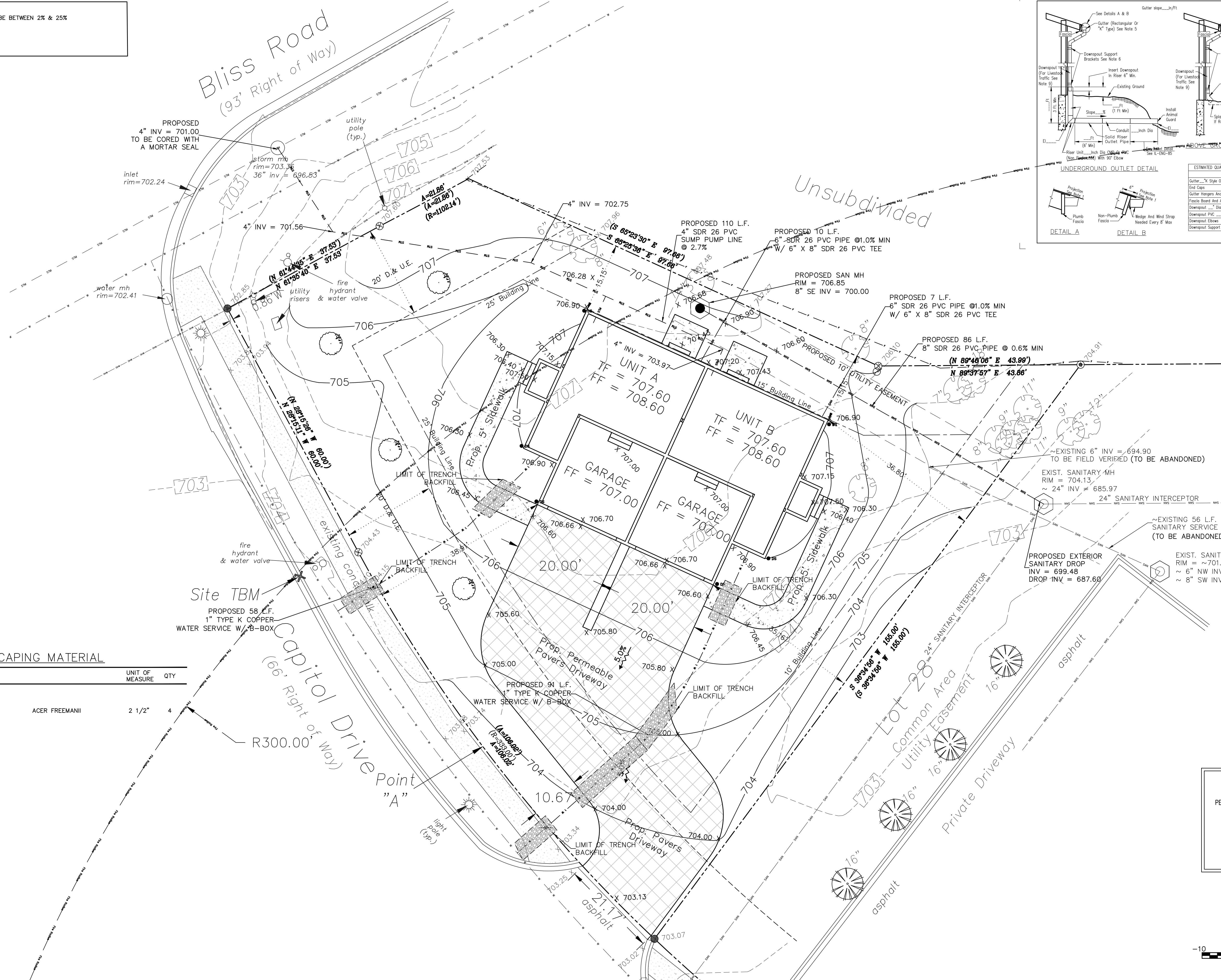
391 CAPITOL DRIVE SITE PLAN
EXISTING CONDITIONS, DEMO & EROSION CONTROL PLAN

PROJECT NO. 24 565 01	SHEET NO. 2
SCALE: 1" = 10'	OF 7 SHEETS
DATE: MAR 25, 2024	

NOTES:
 1. ALL GRADES ON PROPERTY SHALL BE BETWEEN 2% & 25%



ESTIMATED QUANTITIES-GUTTERS & DOWNSPOUTS				ESTIMATED QUANTITIES-OUTLETS			
ITEM	UNIT	QTY		ITEM	UNIT	QTY	
Gutter, "x" Style Or "x" Rectangular	FL			Riser Unit (C.P. OR PVC "x" W/ 90° Elbow	FL		
End Caps	EA			Solid Riser Outlet Pipe	FL		
Gutter Hangers And Straps	EA			Underground Outlet Conduit	FL		
Flange Board And All Materials To Install	FL			Solid Outlet Pipe	FL		
Downspout "x" Dia	FL			Animal Guard	EA		
Downspout PVC "x" Dia	EA			Splash Pad	EA		
Downspout Elbows	EA						
Downspout Support Brackets	EA						



ALL DISTURBED AREAS SHALL BE SEEDED WITH IDOT CLASS 1A SEEDMIX

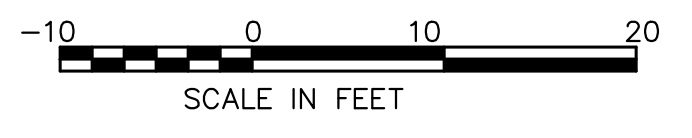
PROPOSED LANDSCAPING MATERIAL

CODE:	DESCRIPTION:	UNIT OF MEASURE	QTY
DECIDUOUS TREES			
AUTM	AUTUMN BLAZE MAPLE	ACER FREEMANII	2 1/2" 4

SITE CALCULATIONS

BUILDING AREA	= 2,395 SF
PERMEABLE PAVER DRIVEWAY AREA	= 2,692 SF
SIDEWALK AREA	= 572 SF
TOTAL PROPOSED AREA	= 5,659 SF
TOTAL IMPERVIOUS AREA	= 2,967 SF
TOTAL SITE AREA	= 14,898 SF
PROPOSED IMPERVIOUS	= 19.9%

SEE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS



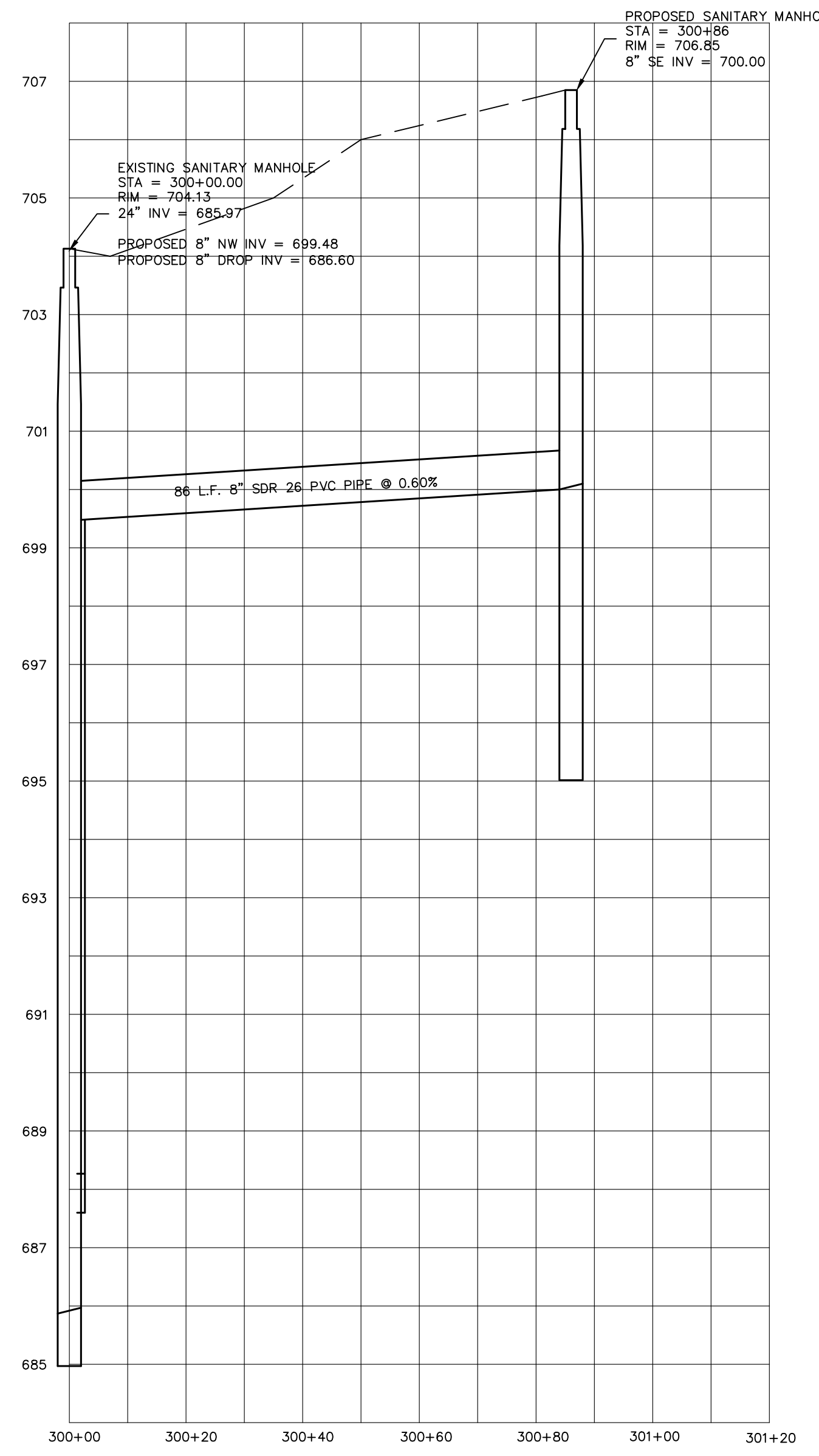
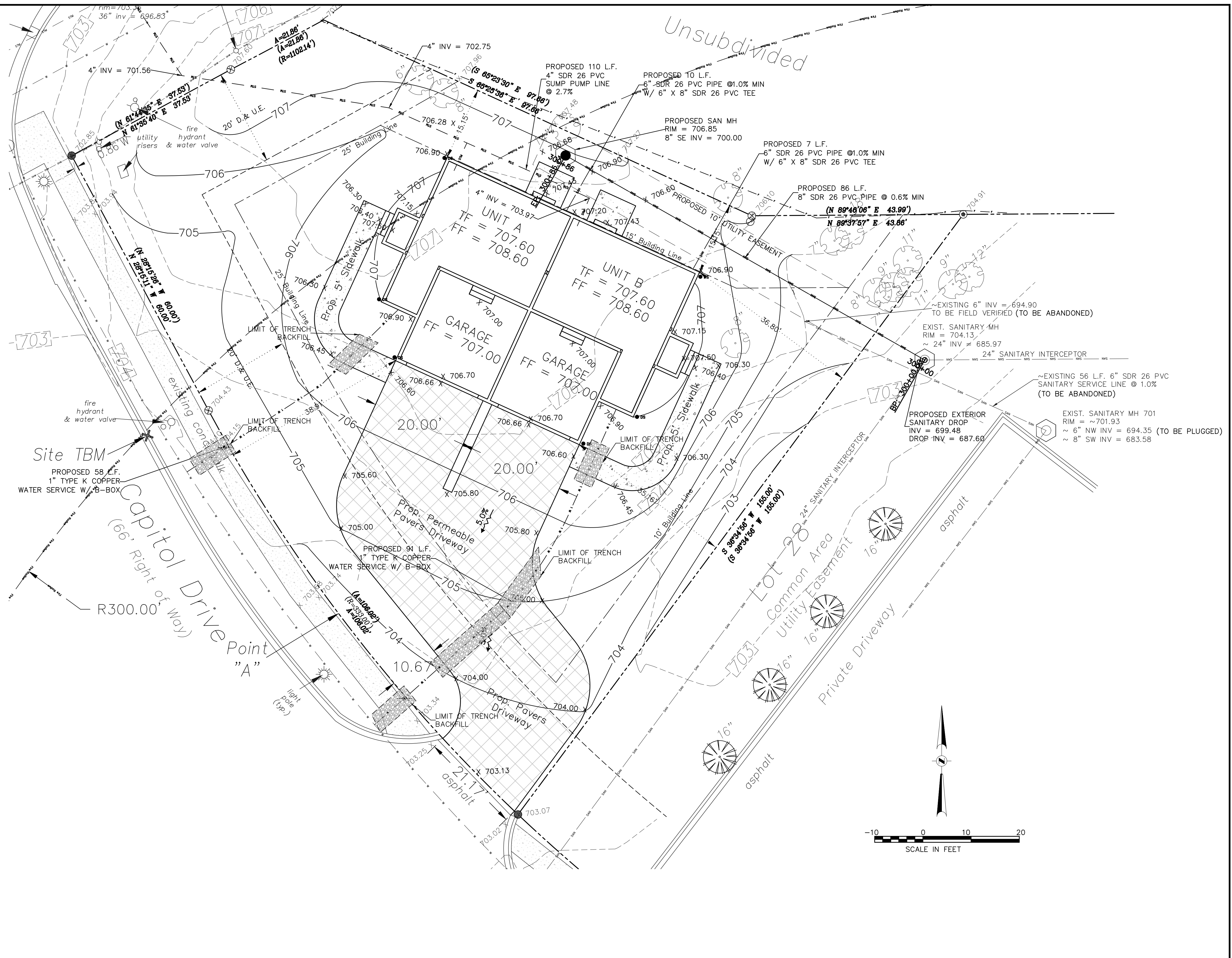
TEBRUGGE ENGINEERING
 410 E. CHURCH STREET - SUITE A • SANDWICH, IL 60548
 PHONE: (815) 786-0195 TEBRUGGEENGINEERING.COM

NO.	DATE	NOTES
1	2.22.26	SUGAR GROVE REVIEW LETTER 1.5.26
2	3.25.26	SUGAR GROVE REVIEW LETTER 3.24.26
3	4.20.26	SUGAR GROVE REVIEW LETTER 4.17.26

PREPARED FOR:
PHIL KUHN
 133 VALE AVE, SUGAR GROVE, IL

391 CAPITOL DRIVE SITE PLAN
CIVIL SITE PLAN

PROJECT NO. 24 565 01
 SCALE: 1" = 10'
 DATE: MAR 25, 2024
 SHEET NO. 3
 OF 7 SHEETS



8" SANITARY MAIN PROFILE
 HORZ. SCALE: 1" = 20'
 VERT. SCALE: 1" = 2'

NO.	DATE	NOTES
1	2.2.26	SUGAR GROVE REVIEW LETTER 1.5.26
2	3.25.26	SUGAR GROVE REVIEW LETTER 3.24.26
3	4.20.26	SUGAR GROVE REVIEW LETTER 4.17.26

GENERAL NOTES

Rev: 7/6/23

- All sanitary sewer construction shall be performed in accordance with "Fox Metro Water Reclamation District Sewer Use Ordinance No. 885", the "Standard Specifications for Water and Sewer Main Construction in Illinois", and "77 Illinois Administrative Code, part 890, Illinois Plumbing Code", latest edition.
- Final-approved set of plans must be on the job site. Failure to do so may result in a fine and can be considered as cause to stop the job.
- Contractors for all sanitary public sewer extension projects shall notify the District's Engineering Department twenty-four (24) hours before the start of work. Notification shall be done via telephone at (630) 301-6882 or by email at submit@foxmetro.org.
- For service connection inspections, call 630-301-6811 by 3:00 p.m. the day before the requested inspection time.
- To prevent any possible infiltration, inflow, or debris from entering the downstream sanitary system, a factory-made plug shall be placed in the manhole by the contractor as indicated on the final-approved plans. The placement of the plug(s) shall not interrupt the service of any user. This plug is to be removed only upon approval by the District or the city/village, and only after any construction drainage and/or debris has been properly removed. Under no circumstances is overland surface drainage allowed to drain into the sanitary system.
- All sanitary sewers shall be tested by Section 31-1.12 of the "Standard Specifications for Water and Sewer Main Construction in Illinois", including all manholes shall be vacuum tested (manhole testing will be in accordance with ASTM-1244-93 or in accordance with District requirements). In case of testing specification conflict, where deeper manholes are constructed, the more stringent requirement will apply.
- When connecting to an existing public sewer where a tee or yee is not provided, an "Inserta Tee" fitting must be installed. The minimum distance between fittings is four (4) feet center to center.
- Installation of a tee/yee on an existing main is prohibited. The angle of any new connection shall not exceed 1/1 to 45 degrees.
- Only "Infi-Shield", "Adaptor-Seal", "Cretex X-85" and "Wrapal Seal" or approved equal chimney seals shall be installed on all manholes.
- Only PVC transition fittings shall be used in all new construction when joining PVC pipes that are damaged, disturbed during construction, or have different outside diameters. Refer to Fox Metro's "Manhole/Sewer Pipe Specifications" for information relating to repairs of mains damaged during construction.
- All existing sanitary interceptor (15" in diameter or greater) manhole frames located within any proposed development to be required to be adjusted to grade. Under no circumstances may the vertical height of the adjusting rings exceed eight (8) inches (two total). Extreme care should be taken when working near all sanitary manholes.
- Approved cast iron or concrete cleanout enclosures are required over the top of all cleanout covers in areas deemed necessary by the District.
- Ductile iron and cast-iron pipe are not allowed for the use of gravity sewers in the District.
- Landscape with any District easement is prohibited without review and subsequent plan approval.
- District easements shall be graded so that the ground surface does not exceed a six (6) percent gradient in all directions.
- All building drains/sewers shall be overhead or "hung" through the basement wall of any new building.
- All sanitary risers shall be a depth of no greater than six (6) to seven (7) feet at the right of way/property line. If a conflict arises between a sanitary sewer and a water line, IEPA water & sewer separation requirements take precedence.
- Whether any grease removal system is newly constructed or "retrofitted" to an existing building, a minimum of 1% slope and 3.5' of cover for pipes are required.
- Minimum design slopes shall be 1.00% for six (6) inch building sewers, .40% for eight (8) inch sewers, and .28% for ten (10) inch sewers with all other design slopes conforming to the requirements of the "Standard Specifications for Water and Sewer Main Construction in Illinois".
- All manhole barrel sections (including those sections of existing manholes that have been exposed during construction) shall be required to be externally sealed with a 6" or 8" wide (min.) wrap meeting the requirements of ASTM C-877, "Type II" or "Type III".
- All sags, leaks, pipe defects, or other related issues with any newly televised sanitary sewer shall be repaired by the contractor at the discretion of the District. Approval of repairs must be in writing from the appropriate municipality, or televised by the District. At the District's discretion, connection permits may be withheld if confirmation of completed repairs cannot be obtained.
- Any contractor, who consistently fails to perform by the District's standards and specifications as provided on the plans, may be prohibited from performing work in the District. The District reserves the right to revoke or disallow any contractor's bond.
- The District shall televise all sewers eight (8) inches in diameter or greater. To access each manhole, the developer is responsible for providing a smooth, level area of sufficient width along the sanitary sewer system.
- During televising, if any newly constructed public sewer requires "heavy cleaning", additional charges may be incurred by the developer.
- Full-sized cleanouts are required on all building sewers.

FOX METRO WATER RECLAMATION DISTRICT MANHOLE/SEWER PIPE MATERIALS AND INSTALLATION SPECIFICATIONS MATERIALS

Rev: 7/6/23

- PIPE & FITTINGS**
Pipes and fittings used in sanitary sewer construction shall be poly(vinyl chloride) (PVC) pipe and fittings dated over one year old shall not be permitted for use. No solvent-welded joints shall be allowed outside of the foundation wall of any building.
The types of PVC pipe and fittings that shall be used in the District include:
 - Poly Vinyl Chloride (PVC) Sewer Pipe and Fittings (ASTM - SDR series):
 - Conforming to ASTM Numbers D-1784 (cell classification), D-3204, D-3212 (joint spec), and F-477 (gaskets).
 - Poly Vinyl Chloride (PVC) Pressure Rated Pipe and Fittings (ASTM - SDR series):
 - Conforming to ASTM Numbers D-1784 (cell classification), D-2241, D-2199 (joint spec), and F-477 (gaskets).
 - Poly Vinyl Chloride (PVC) Pressure Rated Pipe and Fittings (AWWA DR series):
 - Conforming to AWWA C-900 and ASTM Numbers D-1784 (cell classification), D-1319 (joint spec), F-477 & F-113 (gaskets).
 - All PVC plastic pipe and fittings shall have a cell classification of 12454 as defined in ASTM D1784 and shall have minimum pipe stiffness as shown below in Table 1. The required Standard Dimension Ratio (SDR) or Dimension Ratio (DR) for PVC pipe and fittings shall be selected based on the depth of cover, as shown in the table below:

Depth of Cover	Pipe Diameter	Minimum Thickness	National Standard	Minimum Pipe Stiffness
3.5' - <29'	6" - 12"	SDR 26	ASTM D-3034	115
>29' - 25'	6" - 12"	SDR 21	ASTM D-2241	224
>26' & up	6" - 14"	DR-18	AWWA C-900	364
 - Fittings in sizes through fourteen (14) inches shall have elastomeric joints and minimum socket depths as specified in each respective section shown above. The District reserves the right to approve/reject all pipes and fittings on a case-by-case basis.
 - BEDDING, HAUNCHING, AND INITIAL BACKFILL**
Bedding stone shall be thoroughly haunched to provide uniform support under the new pipe. Said bedding material, as outlined in ASTM D-2321, shall be certified by the manufacturer and approved by the District before installation, and possess the following characteristics:
 - Gradation: Shall meet the IDOT gradation of CA-7, Class 1A, or any material(s) preapproved by the District during the plan-review process ("See job below).
 - Description: Shall be crushed stone or crushed gravel, containing no more than 5% fine material, as produced by mechanical means.
 - Plasticity Index of Undisturbed Earth/Trench Base Soil: Shall meet a plasticity index of 0 to 4 percent as determined by the method given in AASHTO T-90.
 - Specific Gravity of Undisturbed (dry) Trench Base Material: Shall have a specific gravity greater than 2.45.
 - Initial Trench Backfill Material: Please refer to the requirements of the municipality having first jurisdiction over all applicable above or below-grade infrastructure.

LABORATORY TEST

The District reserves the right to require a contractor to submit certified copies of all reports of tests conducted by an independent laboratory before the installation of PVC plastic pipe. Tests shall be conducted in accordance with the Standard Method of Test for "External Loading Properties of Plastic Pipe by Parallel-Plate Loading," per ASTM D2412.

PIPE INSTALLATION AND FIELD TESTING

- INSTALLATION**
 - If the invert of any overhead sewer exceeds two (2) feet above the building's footing, plate compaction of the CA-7 Class 1A aggregate shall be required to twelve (12) inch lifts.
 - Trench widths should be stable or supported, and provide a width sufficient, but no greater than necessary to ensure working room to properly and safely place haunching and other embedment materials. The minimum trench width shall be 32" plus the outside diameter of the pipe and the maximum trench width shall be 48" plus the outside diameter of the pipe.
 - Pipe sizes shall be a minimum of eight (8) inches for public sewers and six (6) inches for building sewers.
 - Pipes shall be laid in a manner that provides uniform support over the entire length. No blocking of any kind shall be used to adjust the pipe to grade except when embedment concrete is used. The bedding shall be a minimum of six (6) inches in depth. The bedding material shall be placed and worked all around the pipe by hand (haunched) to provide uniform support, then around and over the crown of the pipe by a minimum of twelve inches (12"). The bedding material shall be placed and consolidated along the full width of the trench. The contractor shall be required to install the pipe in such a manner that the diametric deflection of the pipe shall not exceed five (5) percent.
 - PVC transition fittings shall be used in all new construction when joining PVC pipes of different outside dimensions, or for pvc to pvc connections, where no necessary hub and/or bell exists.
 - All new construction service connections to new mains shall be with a tee/yee fitting with a six (6) inch branch. Where no tee/yee exists, an Inserta Tee brand fitting shall be required. All connections to the main shall be constructed at a (max.) forty-five (45) degree angle or 1/1 rise/run pitch.
 - Cast iron enclosures shall be required for all sanitary sewer service cleanouts located in any paved surface or in any location where cleanouts may be damaged by heavy equipment.
 - All cleanouts shall be full-sized, be located 5' from the building's foundation, and spaced no greater than one hundred (100) feet apart.
 - Either 4" x 6" rubber or non-shear couplings shall be used to connect the building drain to the building sewer. If using a rubber fitting, the four-inch pipe shall be installed six (6) to twelve (12) inches inside of the building sewer.
 - Whether any grease removal system (GRS) is newly constructed or retrofitted to an existing building, all District guidelines about the minimum slope and cover depth for sanitary construction shall be strictly adhered to.
 - All building drains/sewers shall be overhead or "hung" through the wall of any basement.
- TESTING**
 - Before final acceptance, all public sewers shall be tested in accordance with Section 31-1.12 of the "Standard Specifications for Water and Sewer Main Construction in Illinois".
 - The cost of all testing shall be borne by the developer or the contractor.
 - All pipelines shall be constructed of poly(vinyl chloride) (PVC) and shall be subject to air exfiltration, deflection, and Closed-Circuit Televising testing.
 - Air exfiltration testing shall be performed using the State of Illinois' guidelines and shall be directed and witnessed by an inspector for the municipality having first jurisdiction.
 - The deflection test shall be performed using an approved mandrel or other device permitted by the District. Testing shall occur no sooner than thirty (30) days after backfilling and shall consist of measuring the pipe for vertical ring deflection. Maximum ring deflection of the pipeline under load shall be limited to five (5) percent of the interior pipe diameter. All pipes exceeding this deflection shall be considered to have reached the limit of serviceability and shall be replaced by the contractor at their sole expense.
 - All sanitary sewer (public or private) with a diameter of eight (8) inches or greater shall be televised by the District. Said televising work is scheduled once all air & vacuum testing has been received by the District. Any defects in said sewer shall be excavated, then repaired at the contractor's or developer's expense. Caution should be taken before constructing roads, curbs, sidewalks, or any other infrastructure, whether it is above or below the ground surface. It is the responsibility of the utility contractor and the developer to contact the District before installing any of these utilities or infrastructure. Repairs to defective sanitary sewers shall be performed regardless of the status of other construction or extraneous expenses.

MANHOLE INSTALLATION AND FIELD TESTING

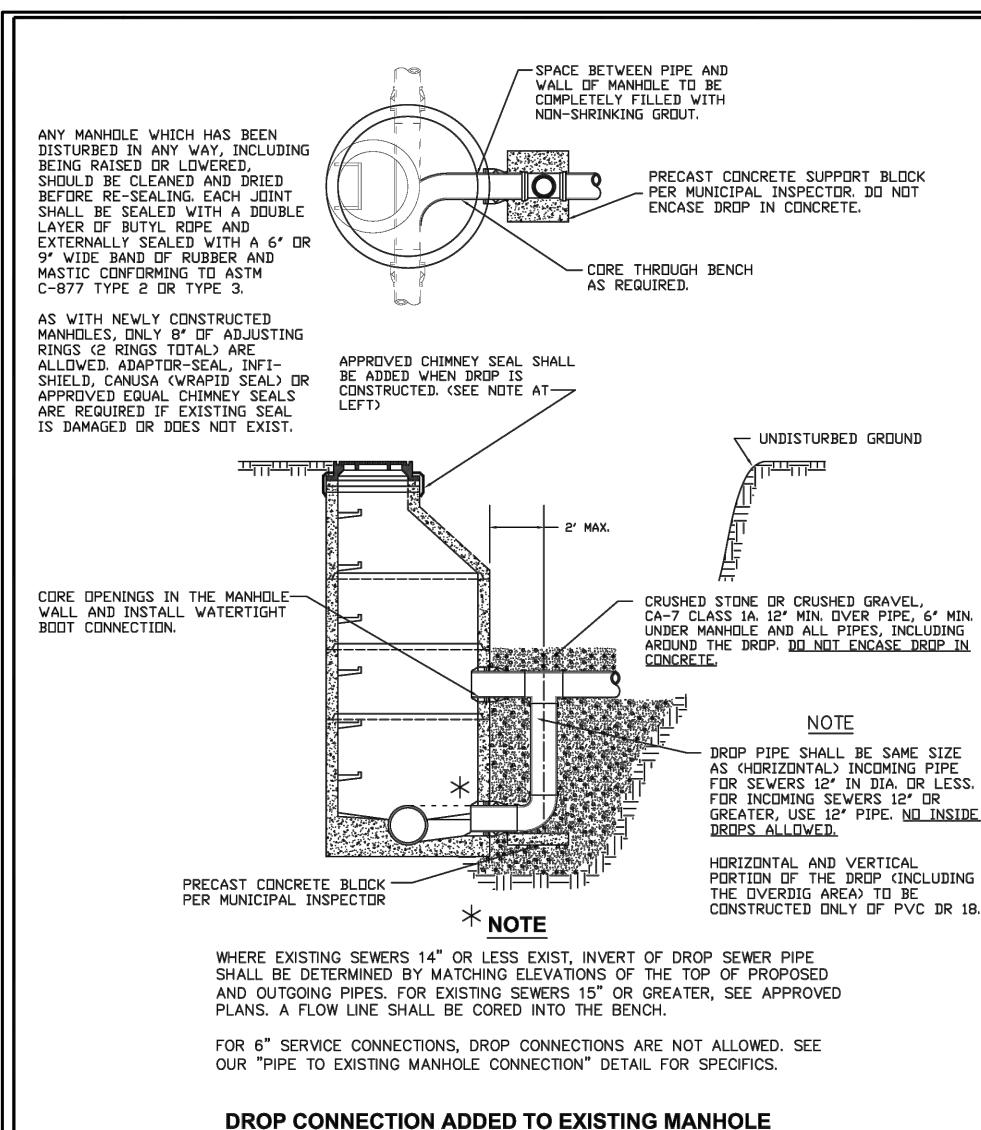
- INSTALLATION**
All manhole castings, adjusting rings, and manhole sections shall be set in butyl rope. The inside barrel section of the manhole, adjusting rings, and frame shall not be mortared. However, the area between the pipe and flow channel shall be filled with cement mortar to provide a flush smooth surface.
Each manhole cone and barrel section joint also be externally sealed with a 6" or 8" wide (min.) sealing band of rubber and mastic (see "REPAIRS" below). The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective film), meeting the requirements of ASTM C-877, "Type II" or "Type III".
Pvc connections to all manhole openings (casted or core-drilled) shall be constructed with a flexible rubber watertight connector conforming to ASTM C-923, "Standard Specifications for Resilient Connectors Between Reinforced Concrete Manhole Structures and Pipes".
A maximum of eight (8) inches of adjusting rings (2 total rings) are allowed. The frame, chimney, and top "lip" of the cone section shall be required to be sealed with a chimney seal. Only "Infi-Shield", "Adaptor-Seal", Cretex X-85, or an approved equal will be allowed.
When a new manhole is approved to be constructed on an existing public sewer, only non-shear couplers shall be installed. This work shall be inspected by the municipality having first jurisdiction or by the District.
After any manhole is at finished grade, and with adjusting rings and chimney seals in place, each structure shall be vacuum tested from the top of the casing. Any lift holes shall be plugged with a non-shrinking grout. No grout shall be placed in any horizontal joint of any manhole for any reason. All pipes entering the manhole shall be plugged, taking care to securely brace the plugs from being drawn into the manhole. A vacuum of ten (10) inches of mercury shall be drawn and the vacuum pump shut off. With the valves closed, the time shall be measured for the vacuum to drop to nine (9) inches of mercury (Hg) for the following time periods for each size manhole:
 - Forty-eight (48) inches Diameter - sixty (60) seconds
 - Sixty (60) inches Diameter - seventy-five (75) seconds
- Manhole testing will be in accordance with ASTM-1244-93 or in accordance with District requirements. In case of conflict, the more stringent requirement will apply (e.g. where deeper manholes are constructed). Should the manhole fail the vacuum test, the structure shall be disassembled to a point that said leak can be repaired with butyl rope. After the repair is complete, the manhole shall be re-tested until a satisfactory result is obtained.

REPAIRS & REHABILITATION OF EXISTING PIPES AND MANHOLES

- PIPPS**
Pipe connections of those made from dissimilar materials or of pvc with differing outside diameters where no hub exists shall be made with a non-shear coupling.
Existing non-pvc building sewers or "stubs" shall not be used in connection with new buildings where a District connection permit is requested. In such cases, said building sewer or "stub" will either need to be removed to within one foot (1') of the public sewer and then replaced with appropriate pvc material or lined with a cured-in-place pipe (CIPP) meeting the requirements of ASTM F1216, D5813, D790, and D2900. Said CIPP shall be installed using the inversion method only, utilizing hot water or steam to cure all liners.
Building sewers shall be permanently abandoned using one of the following two methods:
 - Removed to within one (1) foot of the public sewer and plugged using a mechanical plug and mortar. This is the preferred method. If this is not feasible, see item two below.
 - The building sewer connection shall be sealed within the public sewer with a four foot minimum length cured-in-place pipe (C.I.P.P.) liner with hydrophilic gaskets.
Where a newly constructed public sewer needs to be repaired due to damage having occurred during construction, only pvc transition fittings shall be required (no non-shear couplings). Only repair clamps conforming to ANSI/NSF-61 shall be allowed. When the damage occurs within thirty (30) feet of a manhole, the contractor shall remove and replace the damaged main from the nearest joint to the manhole.

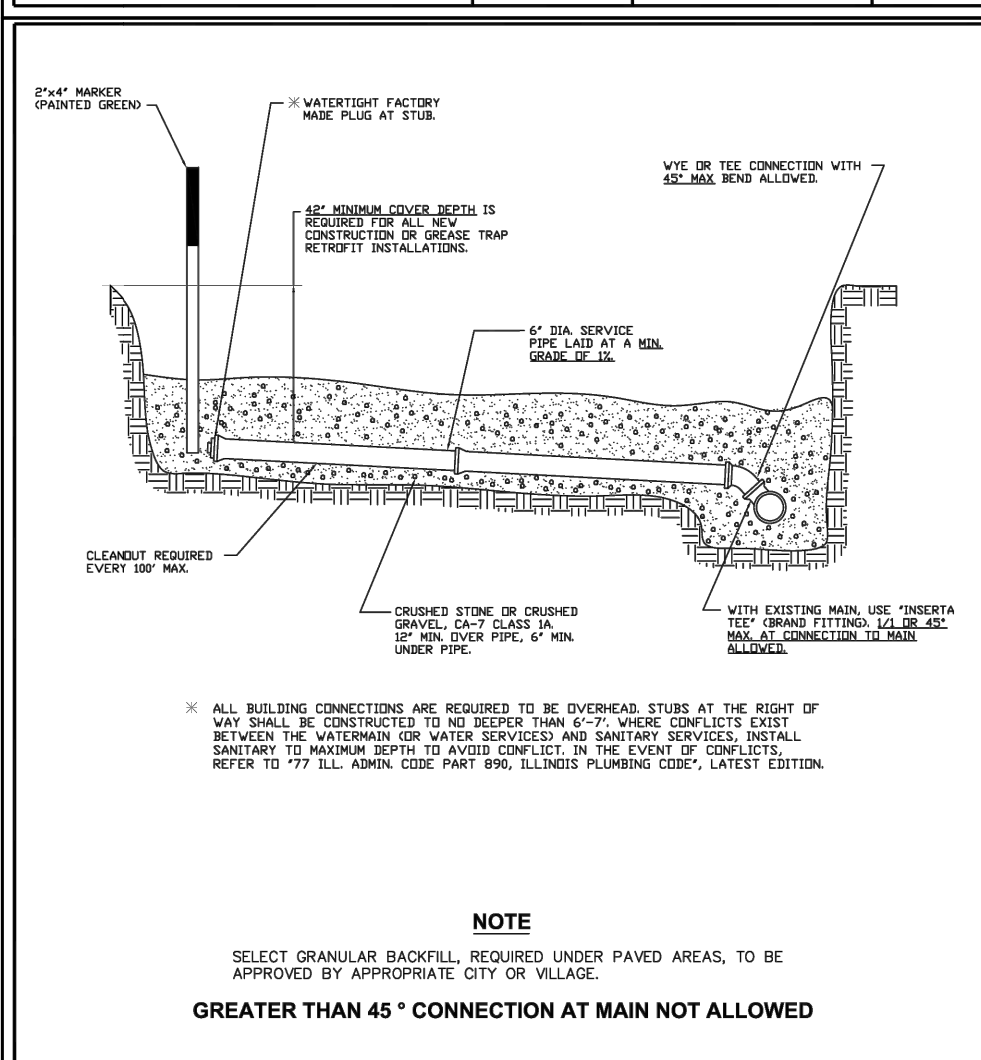
2. MANHOLES

Each manhole which has been disturbed around the full circumference of the structure, including being raised or lowered, should be cleaned and dried before re-sealing. Each cone and barrel section joint shall require a double-layer of butyl rope and also be externally sealed with a 6" or 8" wide (min.) sealing band of rubber and mastic. The band shall have an outer layer of rubber or polyethylene with an under layer of rubberized mastic (with a protective meeting the requirements of ASTM C-877, "Type II" or "Type III".
A maximum of eight (8) inches of adjusting rings (2 total rings) is allowed in any repair. The frame and chimney of the cone section shall be required to be sealed with a chimney seal. Only "Infi-Shield", "Adaptor-Seal", Cretex X-85, or approved equal will be allowed. A maximum of eight (8) inches of adjusting rings (2 total rings) is allowed in any repair. The frame and chimney of the cone section shall be required to be sealed with a chimney seal. Only "Infi-Shield", "Adaptor-Seal", Cretex X-85, "Wrapal Seal", or approved equal will be allowed.



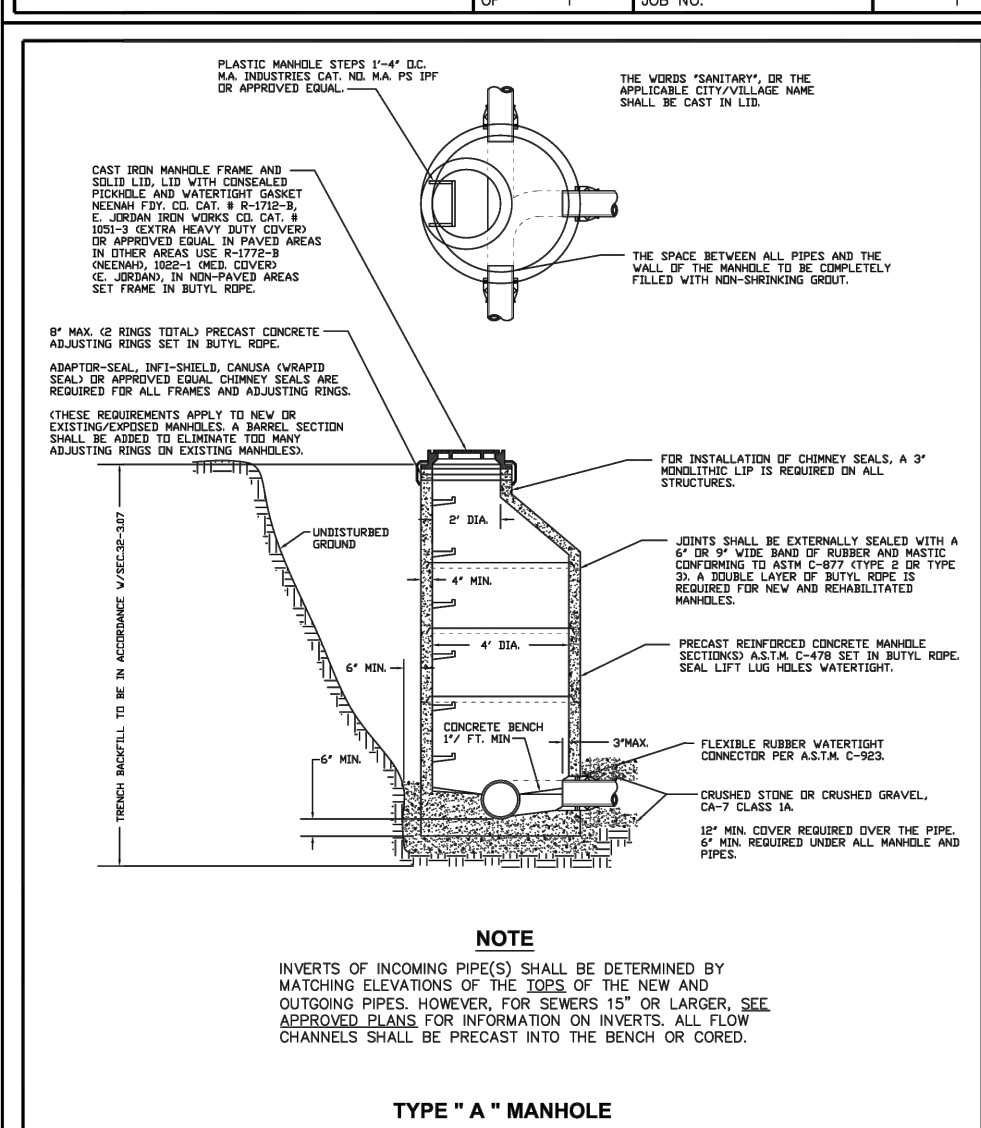
Fox Metro Water Reclamation District

DESIGNED	FWRDR	REVISION	2023
DRAWN	KZ	C:Chimney Seal Note	AWWMA
APPROVED	KZ, MF	D:Designation Note added	AWWMA
DATE	02-12-2023	E:Permitting & Misc. Note Revisions	AWWMA
SCALE	N.T.S.	F:Full-Size C.O. Scale Note	AWWMA
SHEET	1	G:Permanent Abandonment Note Revision	AWWMA
OF	1	JOB NO.	REVISION



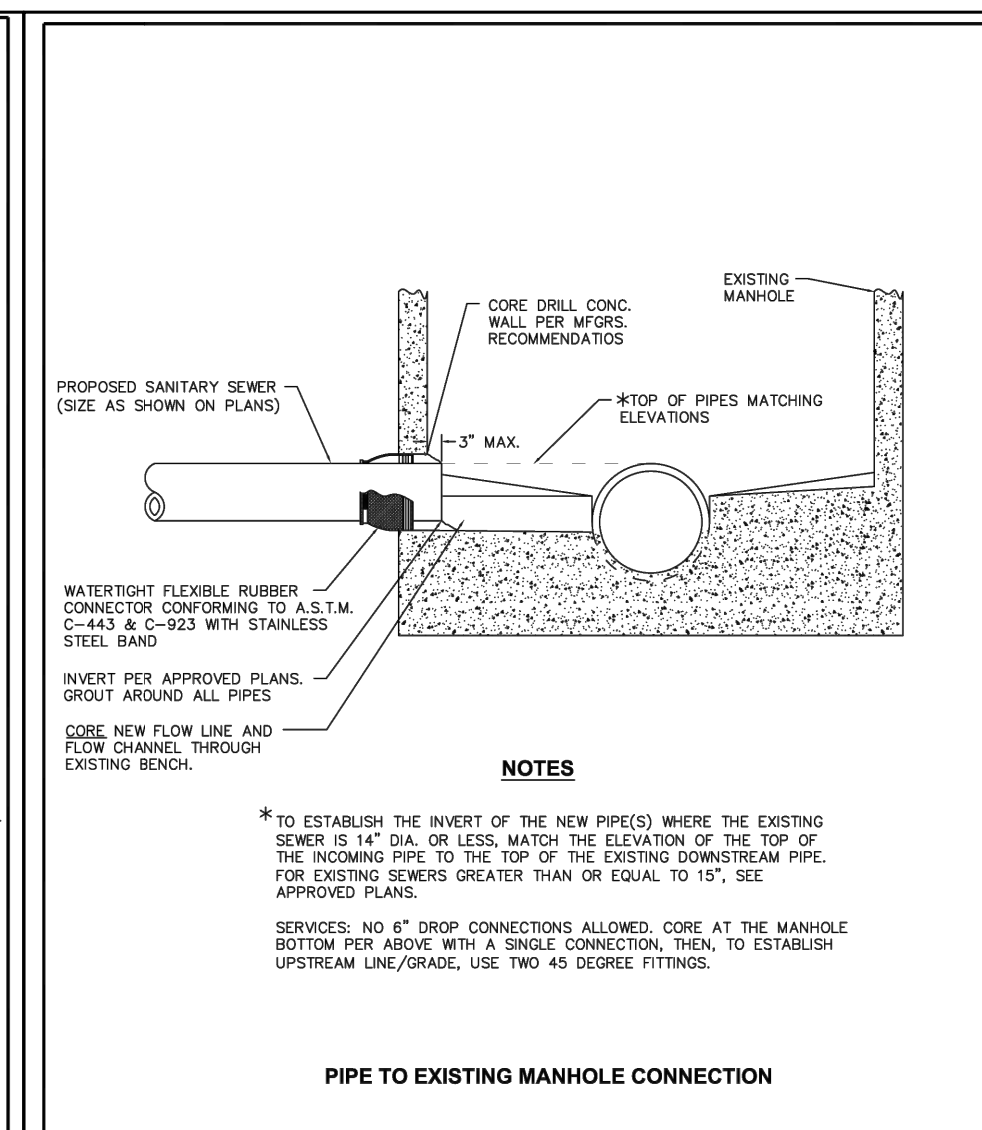
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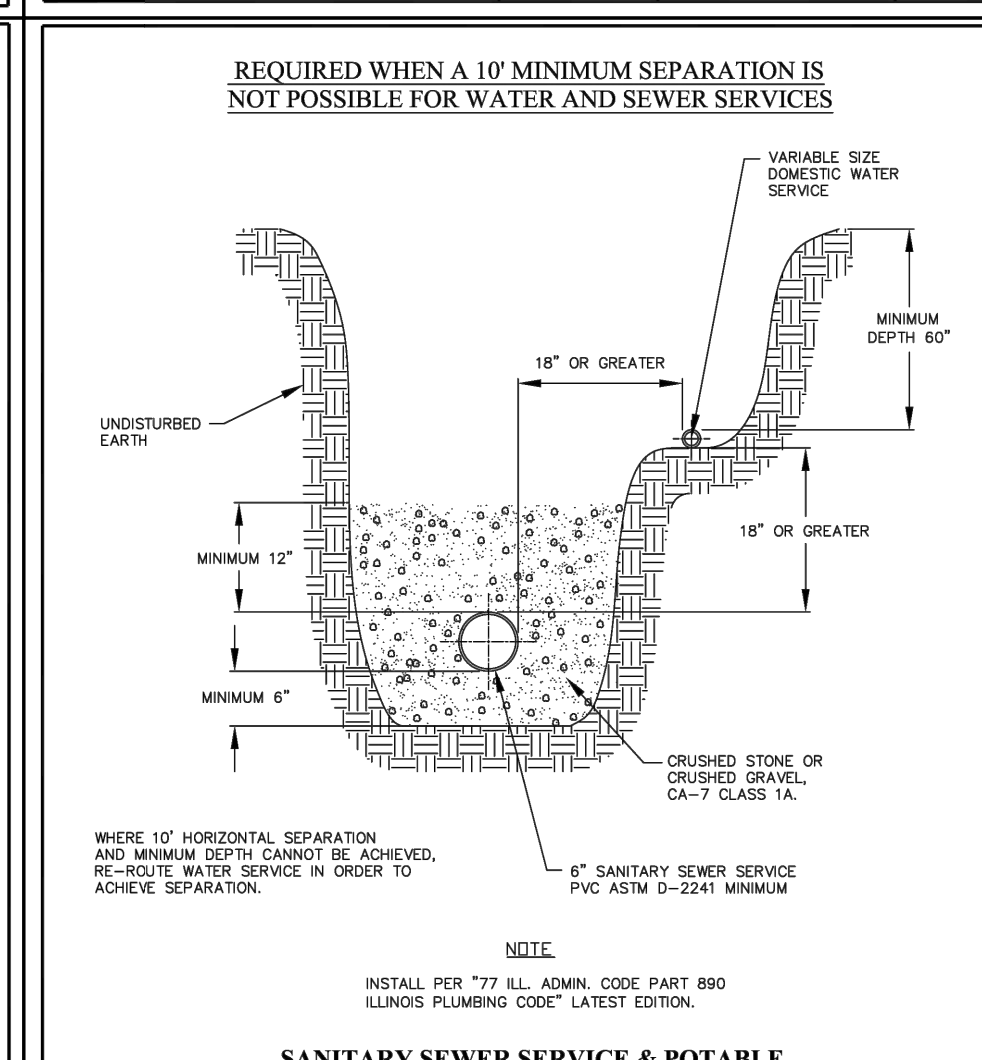
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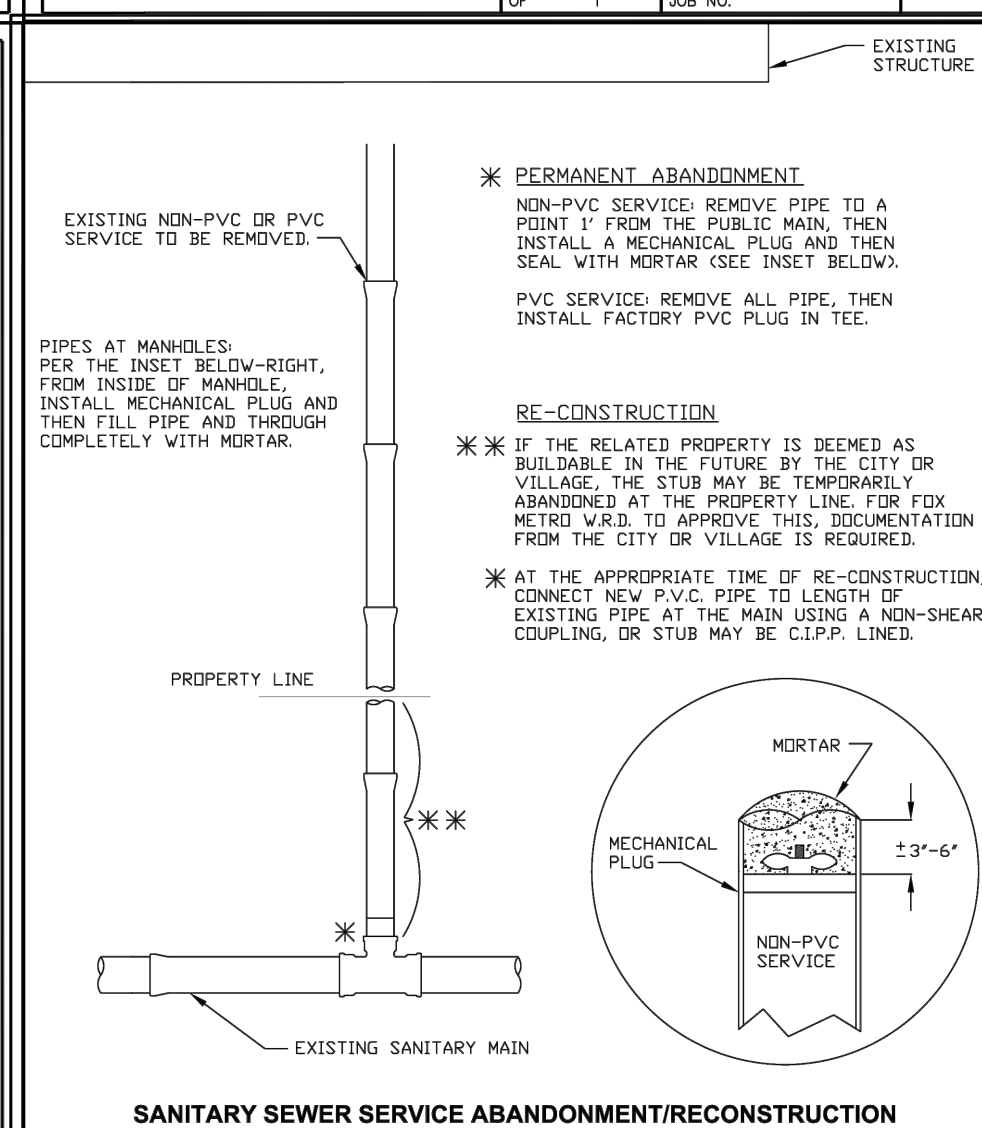
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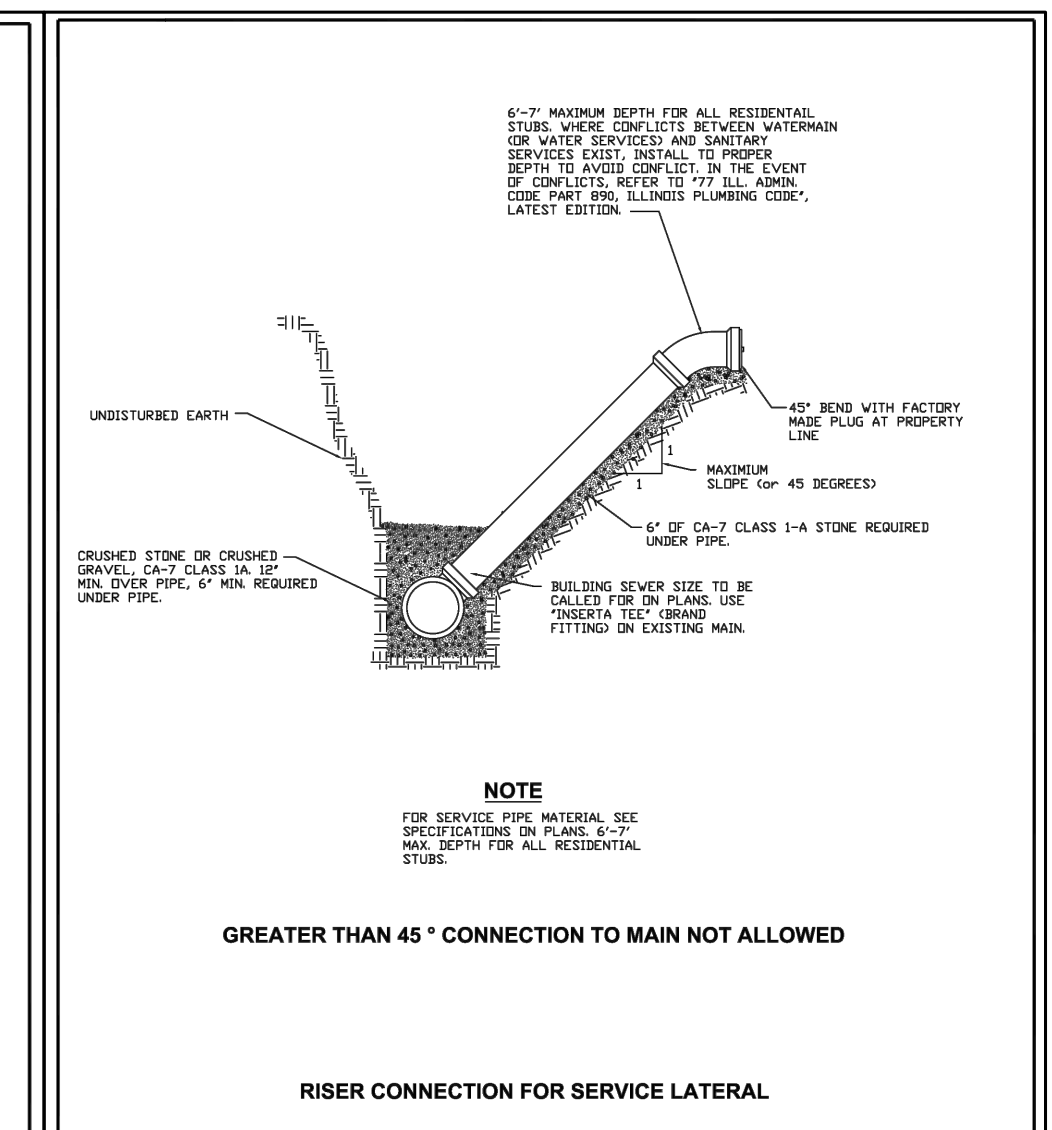
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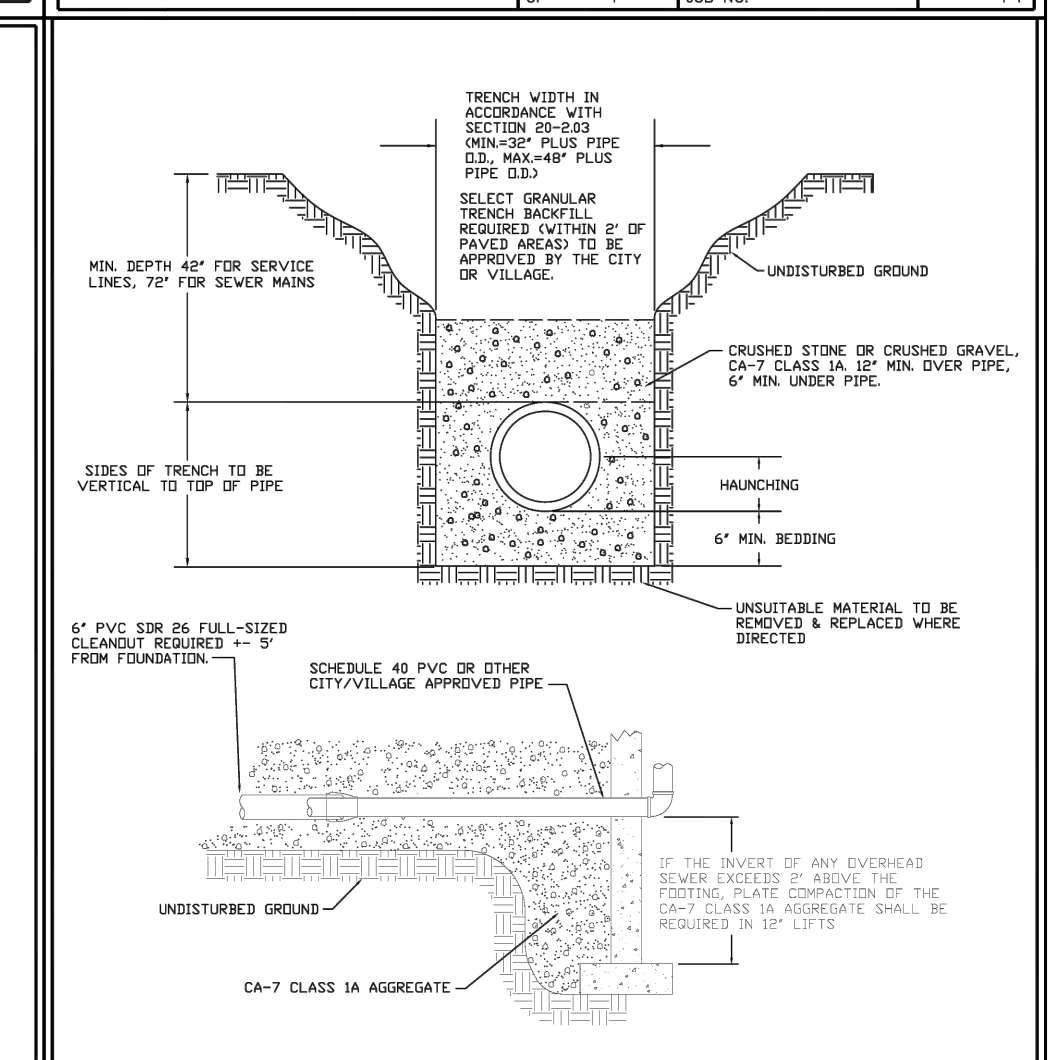
Fox Metro Water Reclamation District

DESIGNED	FWRDR	REVISION	2023
DRAWN	KZ	C:Rev. notes to reflect abandon at main	AWWMA
APPROVED	KZ, MF	D:Documentation note added	AWWMA
DATE	02-09-2023	E:Permanent Abandonment Note Revision	AWWMA
SCALE	N.T.S.	F:Permanent Abandonment Note Revision	AWWMA
SHEET	1	G:Permanent Abandonment Note Revision	AWWMA
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Fox Metro Water Reclamation District

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SHEET	1	G:Permanent Abandonment Note Revision	AWWMA
OF	1	JOB NO.	REVISION

REVISIONS	NO.	DATE	NOTES
#	1	2.2.26	SUGAR GROVE REVIEW LETTER 1.5.26
#	2	3.25.26	SUGAR GROVE REVIEW LETTER 3.24.26
#	3	4.20.26	SUGAR GROVE REVIEW LETTER 4.17.26
#			
#			

STRATEGIC PROCEDURES FOR MAINTAINING INFILTRATION WITH PERMEABLE PAVERS

Observe and implement the following habitual procedures to ensure longevity of the system.

1. Weekly – prevent contamination from routine landscape maintenance such as grass clippings from mowing, hedge trimming, mulching plant beds, etc. by implementing the following joint opening cleaning procedures immediately after contamination occurs:

- Hand broom debris from the paver surface.
- Blow debris from the paver surface with backpack blower type device, collect and dispose.

2. Monthly – observe any collection areas of debris, dirt, topsoil, mulch, etc. after season events such as snowfall, rain storms, leaf litter, etc.

- Break up any crust covering the joint aggregate material with hand broom, collect and dispose.
- Replenish any joint aggregate material to “lip” of paver.

3. Yearly – establish a seasonal maintenance schedule that includes the following:

- Sweep entire permeable paving surface with appropriate preventative sweeping devices.
- Replenish joint aggregate material to “lip” of paver.

4. Ten years plus – plan long term maintenance to rejuvenate infiltration rates: • Complete restoration of the joint aggregate material. • Replenish joint with cleaned or new aggregate material to “lip” of paver.

ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR	EJ	EXPANSION JOINT
ALUM	ALUMINUM	EL or ELEV	ELEVATION
ACT	ACOUSTICAL CEILING TILE	EQ	EQUAL
B/	BOTTOM OF	EQUIP	EQUIPMENT
BLDG	BUILDING	EXIST	EXISTING
BLK	BLOCK	FD	FLOOR DRAIN
BD	BOARD	GF1	GROUND FAULT INTERRUPTER
CPT	CARPET	GYP	GYP SUM
CMU	CONCRETE MASONRY UNIT	HB	HOSE BIB
CJ	CONTROL JOINT	HM	HOLLOW METAL
CG	CORNER GUARD	HT	HEIGHT
CL	CENTER LINE	INSUL	INSULATION
CLG	CEILING	MIN	MINIMUM
COL	COLUMN	NIC	NOT IN CONTRACT
CONC	CONCRETE	OC	ON CENTER
CONT	CONTINUOUS	OH	OVERHEAD
CT	CERAMIC TILE	PL	PLATE
DET	DETAIL	RM	ROOM
DIA	DIAMETER	SS	STAINLESS STEEL
DR	DOOR	STL	STEEL
DS	DOWNSPOUT	TYP	TYPICAL
DWG	DRAWING	UNO	UNLESS NOTED OTHERWISE
EF	EXHAUST FAN	VIF	VERIFY IN FIELD
		W/	WITH
		WD	WOOD

NEW TWO UNIT TOWNHOMES MR. & MRS. PHIL KUHN

391 CAPITAL
SUGAR GROVE, ILLINOIS

GENERAL NOTES

ANY DISCREPANCIES IN SITE CONDITIONS, FIELD MEASUREMENTS AND OR PLAN CONFIGURATIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY!

DO NOT SCALE DRAWINGS

ALL WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE BUILDING CODES, ORDINANCES REGULATIONS AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK OR BE RESPONSIBLE FOR SAME

ALL MATERIALS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.

THE OWNER AND / OR GENERAL CONTRACTOR RECOGNIZE AND AGREE THAT THE ARCHITECT AND OR DESIGNER IS NOT TO PROVIDE ANY ON-SITE SERVICES AND WILL NOT EXERCISE ANY CONTROL, NOR PROVIDE ANY SUPERVISION OF SITE CONDITION NOR WORKING CONDITIONS OR CONSTRUCTION PRACTICES.

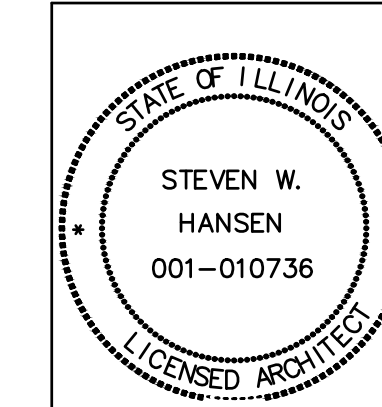
THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE COMPLY TO ALL APPLICABLE CODES AND ORDINANCES IN FORCE AT THE TIME PLANS WERE ISSUED.

CODES & BUILDING DATA

2015 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS
2014 ILLINOIS PLUMBING CODE
2015 INTERNATIONAL MECHANICAL CODE W/ AMENDMENTS
2015 INTERNATIONAL FUEL AND CODE W/ AMENDMENTS
2021 ILLINOIS ENERGY CONSERVATION CODE
2014 NATIONAL ELECTRICAL CODE
2018 ILLINOIS ACCESSIBILITY CODE

USE GROUP R – RESIDENTIAL
CONSTRUCTION TYPE 5B COMBUSTIBLE
LIVE LOADS 1 ST FLR 40 PSF
DEAD LOADS 1 ST FLR 10 PSF
LIVE LOADS ROOF 30 PSF
LIVE LOADS CEILING 10 PSF

ARCHITECT
STEVEN W. HANSEN, ARCHITECT.
890 LONGVIEW CT.
SUGAR GROVE, ILLINOIS 60554
630.466.8021



I HEREBY CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE MEET ALL FEDERAL, STATE, AND LOCAL CODES.

I HAVE PREPARED, OR CAUSED TO BE PREPARED UNDER MY DIRECT SUPERVISION, THE ATTACHED PLANS AND SPECIFICATIONS AND STATE THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND TO EXTENT OF CONTRACTUAL OBLIGATION, THEY ARE IN COMPLIANCE WITH ALL APPLICABLE CODES INCLUDING THE ENVIRONMENTAL BARRIERS ACT (410 ILCS) AND THE ILLINOIS ACCESSIBILITY CODE (71 ILL. ADM. CODE 400).

SIGNED: STEVEN W. HANSEN 5-08-2024

KANE COUNTY DESIGN CRITERIA

GROUND SNOW LOAD INLBS/SF	WIND SPEED	SEISMIC DESIGN CATEGORY	WEATHERING	FROST DEPTH IN INCHES	TERMITE	DECAY	WINTER DESIGN TEMP. (F.)	ICE SHIELD	FLOOD HAZARD	AIR FREEZING INDEX	MEAN AVERAGE TEMPERATURE
30 PSF	115 MPH TOPO EFFECT NO	B	SEVERE	42"	MODERATE HEAVY	SLIGHT MODERATE	-5 DEG.	YES	BY OTHERS	2,000	48.5 DEG.

INDEX

- CS COVER SHEET
- A1.0 FIRST FLOOR PLAN
- A2.0 SECOND FLOOR PLAN
- A3.0 FOUNDATION PLAN
- A4.0 FRONT & REAR ELEVATIONS
- A4.0 LEFT & RIGHT ELEVATIONS
- A5.0 ROOF PLAN
- A6.0 TYPICAL WALL SECTION
- A7.0 PLUMBING RISERS DIAGRAMS
- E1.0 FIRST FLOOR ELECTRICAL PLAN
- E2.0 SECOND FLOOR ELECTRICAL PLAN

NEW DUPLEX FOR:
MR. PHILLIP KUHN
391 CAPITAL DRIVE
SUGAR GROVE, ILLINOIS

STEVEN W. HANSEN
ARCHITECT
890 LONGVIEW CT.
SUGAR GROVE, ILLINOIS 60554
630.4204-8615

#	DATE	DESCRIPTION
1	3-27-2024	REVIEW
2	4-15-2024	REVIEW
3	4-24-2024	REVIEW
4	5-08-2024	PERMITS

PROJECT NO. 2024-391

PROVIDE ARC-FAULT PROTECTION IN ALL SLEEPING ROOMS

FLEXIBLE DUCT
 MAX. 6' LENGTH MEETING NFPA STANDARDS 90A AND 90B AND IS UL LISTED 181-CLASS 1, WITH A MINIMUM POSITIVE PRESSURE RATING OF 6" WATER GAGE.
 HEAT SUPPLY DUCTS ARE NOT PERMITTED IN EXTERIOR WALLS OR HOUSE-TO-GARAGE COMMON WALLS

FIRESTOPPING
 FIRESTOP MECHANICAL PENETRATION, STUD, JOIST, AND RAFTER SPACERS TO MEET CODE REQUIREMENTS.

NOTES:
 ALL FLOOR JOISTS, CEILING JOISTS AND RAFTERS SHALL BE S.P.F. #2 OR BETTER (CANADIAN) Fb = 875 PSI, E = 1,400,000 PSI

ALL ML LVL SHALL BE TRUSS JOIST CORPORATION Fb = 2,600 psi, E = 1,900,000 psi

ALL FLOOR LOADS 40 psf LIVE LOAD
 10 psf DEAD LOAD
 SLEEPING ROOMS 40 psf LIVE LOAD
 10 psf DEAD LOAD
 CEILING LOAD 20 psf LIVE LOAD
 10 psf DEAD LOAD
 ROOF RAFTER 30 psf LIVE LOAD
 10 psf DEAD LOAD

DOUBLE ALL JOISTS UNDER ALL PARALLEL PARTITIONS ABOVE

DOUBLE ALL JOISTS @ WHIRLPOOL TUB

ALL GLAZING SHALL FOLLOW IRC CODE AS REQ'D.

PROVIDE BRIDGING AS REQUIRED IRC CODE AS REQ'D.

IF PROVIDED CONVENTIONAL BIRD'S MOUTH NOTCH AT ALL RAFTERS. ANY OVER CUT OF RAFTERS WILL BE REJECTED AND RECONSTRUCTED AT COST TO THE FRAMER. SET ALL TOP/TOP PLATES HEIGHTS ACCORDINGLY PRIOR TO ANY INCORRECT RAFTER CUTS

TYPICAL EGRESS SYMBOL WHERE INDICATED OPERABLE WINDOWS SHALL MEET THE FOLLOWING OPENING REQUIREMENTS FOR EGRESS
 20" MIN. CLEAR WIDTH
 24" MIN. CLEAR HEIGHT
 5.7 SF MIN OVERALL CLEAR SASH OPENING
 OPENING SHALL BE ACCOMPLISHED BY NORMAL OPERATION OF THE WINDOW

INSULATION MATERIALS INSTALLED WITH-IN FLOOR CEILING ASSEMBLIES CRAWL SPACES AND ATTICS SHALL A FLAME-SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84

HANDRAIL NOTE:
 ALL STAIRWAYS WITH MORE THAN ONE RISER SHALL HAVE HANDRAILS AS REQUIRED PER LOCAL CODE

VENT CALCULATION:
 PROVIDE ATTIC VENTILATION TOTALING 1,678 SF X 1/300 = 5.59 SF MIN.
 ALLOW 50 SI (.35 SF) PER VENT
 PROVIDE 50% AT EAVE - 50% ROOF VENTS
 5.59 SF / 2 = .35 SF = 7.98 VENTS REQUIRED

ALL WINDOWS SHALL HAVE A MAXIMUM "U" VALUE OF .35 OR BETTER (LOWER THE NUMBER THE BETTER).
 STICKER MUST REMAIN ON WINDOW FOR INSPECTOR TO SEE PRIOR TO REMOVAL

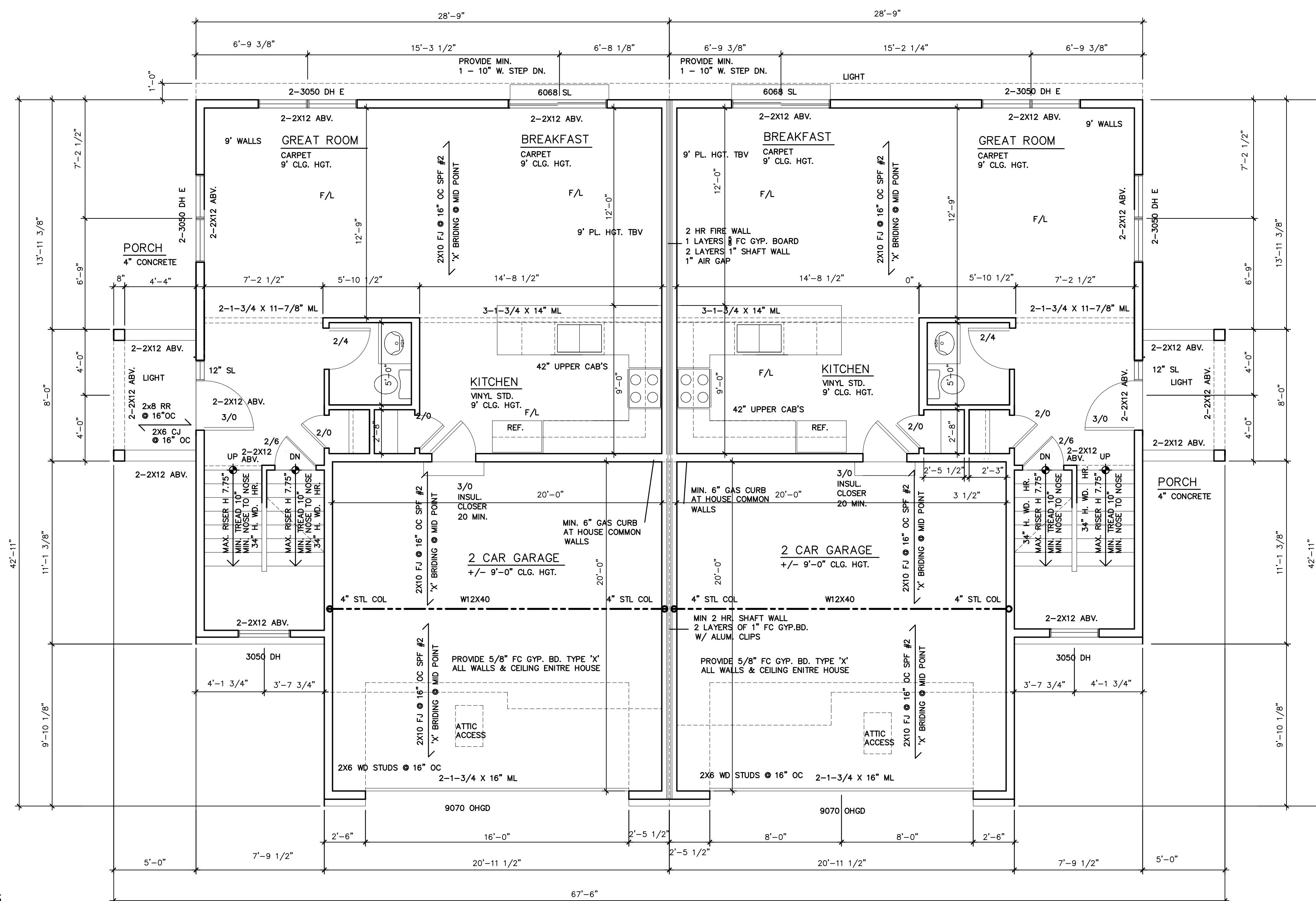
2018 IECC ENERGY REQUIREMENTS

FENESTRATION MAX. "U" = .30
 SKYLIGHT MAX. "U" = .55
 CEILING MIN. "R" = 49
 WALL R-20 OR R13 + R5 CONTINUOUS
 FLOOR R-30
 BASEMENT MIN. 4" DOWN R-15 CONT. OR R-19 HEATED SLAB R-10 2 FT. FROM EXTERIOR CRAWL SPACE R-15 CONTINUOUS OR R-19

PROVIDE 2-2X12'S ABV. ALL OPENINGS UNLESS NOTED OTHERWISE

ALL EXTERIOR WALLS ON CONDITIONED SPACE TO BE 2X8'S @ 16" OC.

TYPICAL BEARING HEADERS TO BE 2 - 2X12'S



1 ST. FLOOR PLAN UNIT LEFT
 SCALE = 1/4" = 1'-0"

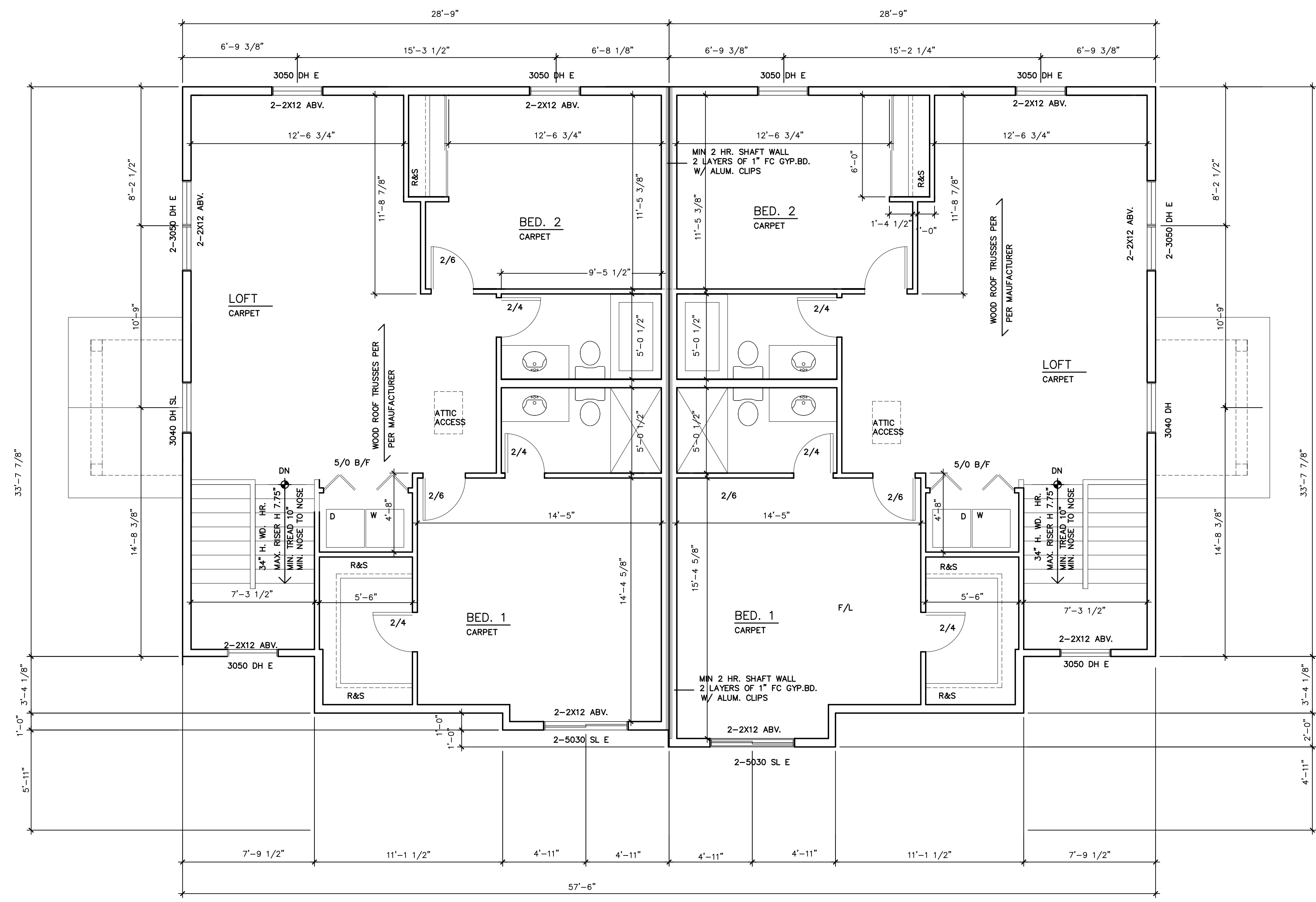
1 ST. FLOOR PLAN UNIT RIGHT
 SCALE = 1/4" = 1'-0"

NEW DUPLEX FOR:
 MR. PHILLIP KUHN
 391 CAPITOL DRIVE
 SUGAR GROVE, ILLINOIS

STEVEN W. HANSEN
 ARCHITECT
 880 LONGVIEW CT.
 SUGAR GROVE, IL
 630.4204-8613

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PROJECT NO. 2024-391



2 ND. FLOOR PLAN UNIT LEFT
SCALE = 1/4" = 1'-0"

2 ND. FLOOR PLAN UNIT RIGHT
SCALE = 1/4" = 1'-0"

NEW DUPLEX FOR:
MR. PHILLIP KUHN
391 CAPITOL DRIVE
SUGAR GROVE, ILLINOIS

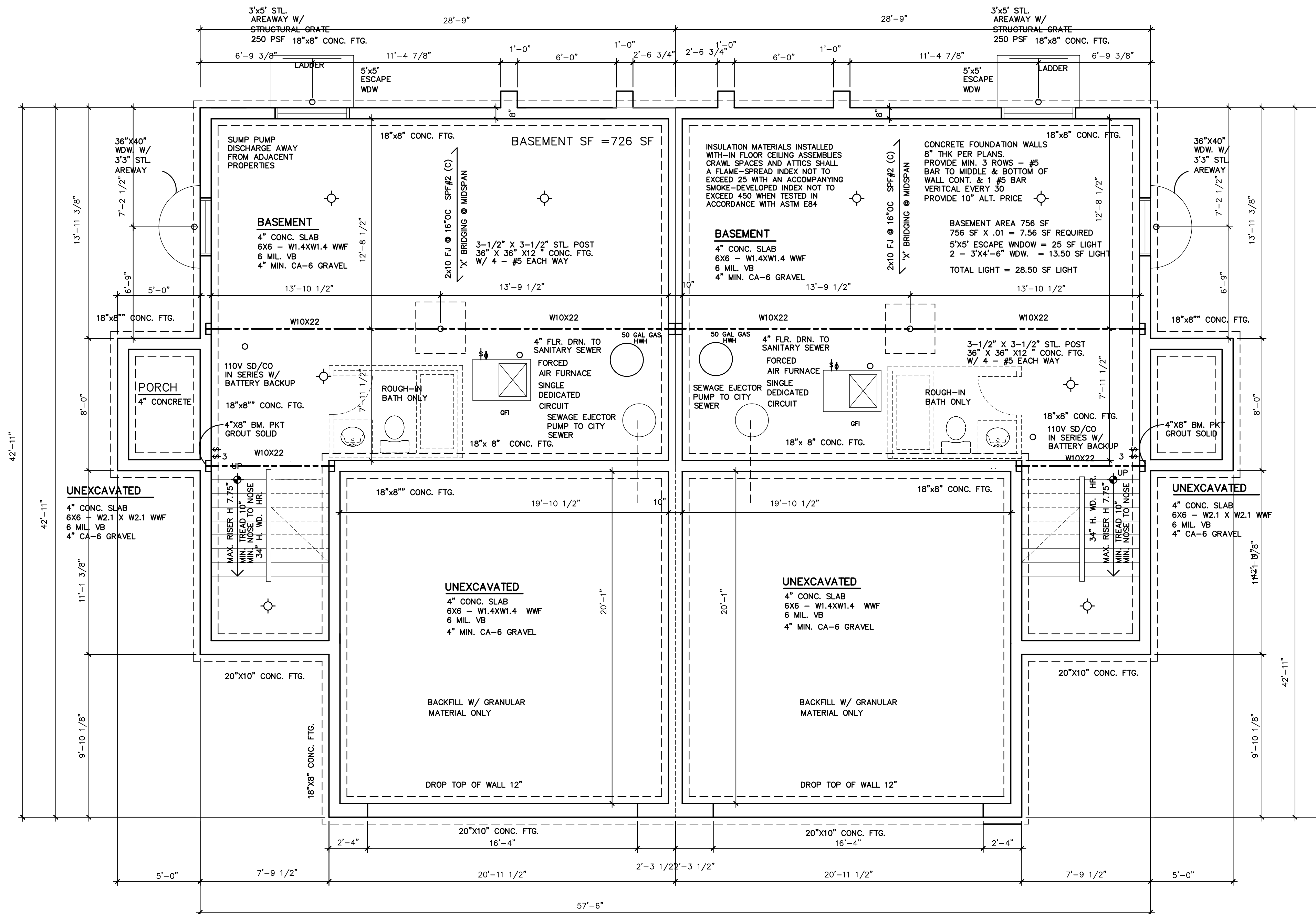
STEVEN W. HANSEN
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880 LONGVIEW CT.
SUGAR GROVE,
IL. 630.4204-8613

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A2.0



FOOTING & FOUNDATION PLAN
SCALE = 1/4" = 1'-0"

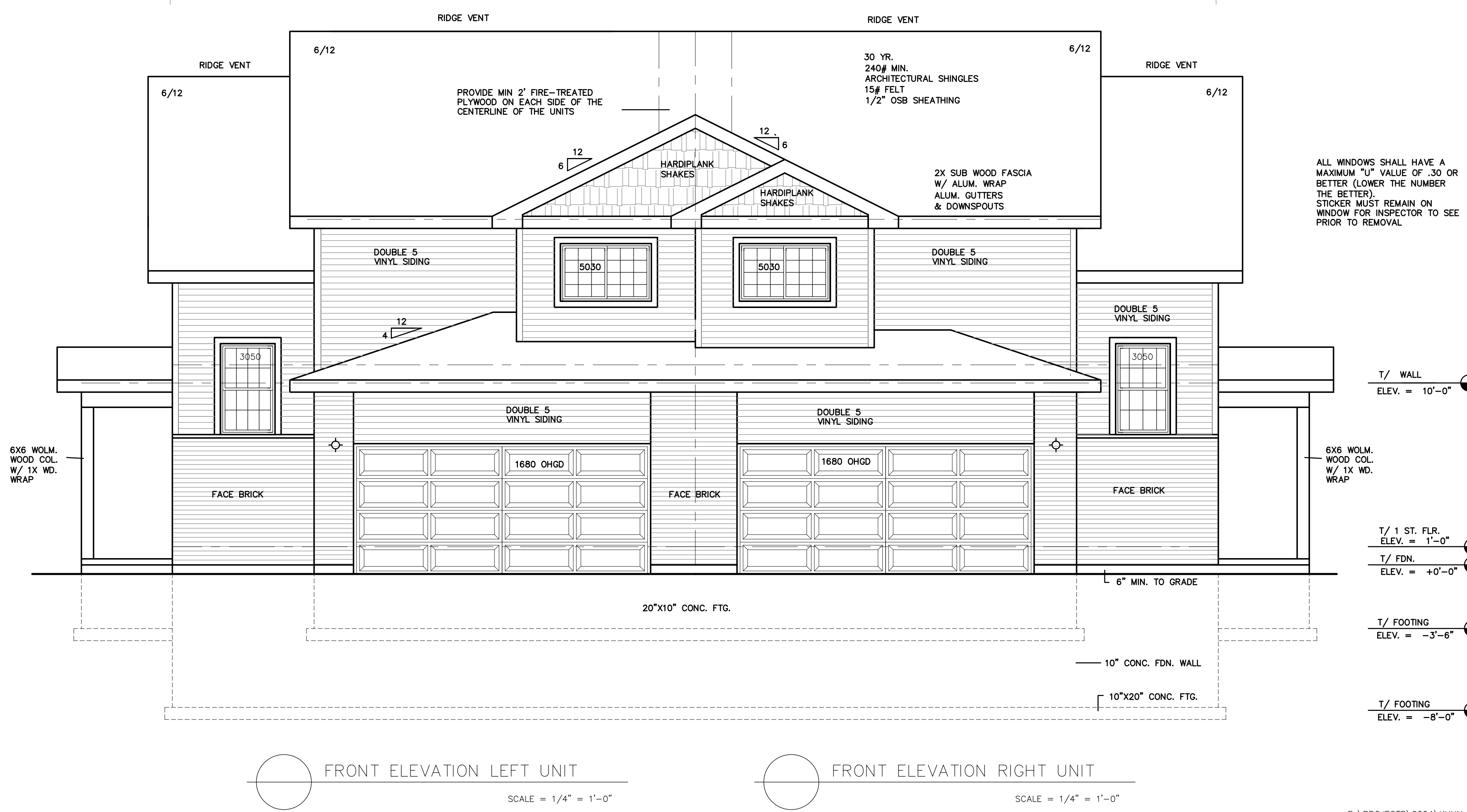
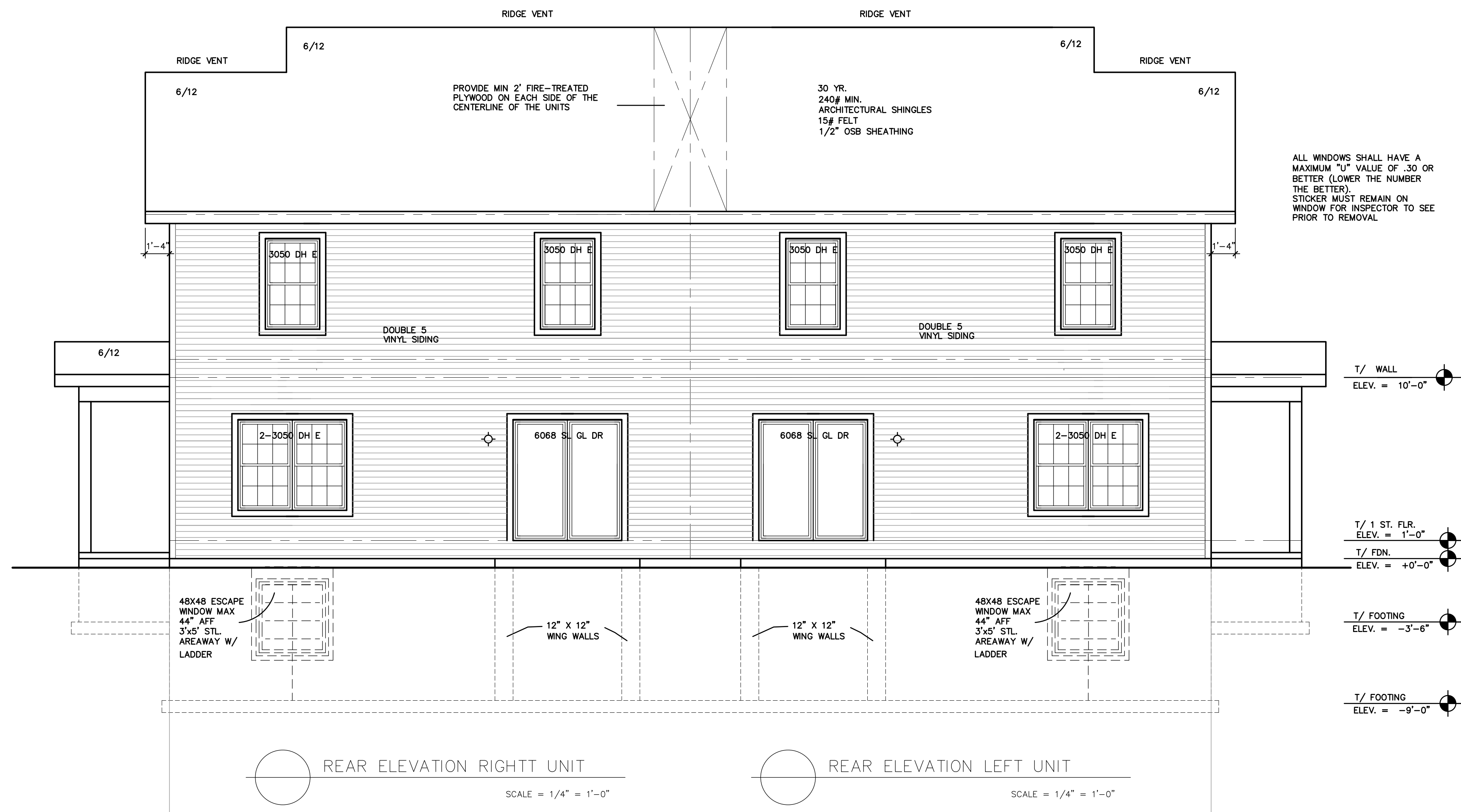
NEW DUPLEX FOR:
MR. PHILLIP KUHN
391 CAPITOL DRIVE
SUGAR GROVE, ILLINOIS

STEVEN W. HANSEN
ARCHITECT
880 LONGVIEW CT.
SUGAR GROVE, IL
630.4204-8613

#	DATE	DESCRIPTION
1	3-27-2024	REVIEW
2	4-15-2024	REVIEW
3	4-24-2024	REVIEW
4	5-08-2024	PERMITS

PROJECT NO. 2024-391

A3.0



ALL WINDOWS SHALL HAVE A MAXIMUM "U" VALUE OF .30 OR BETTER (LOWER THE NUMBER THE BETTER). STICKER MUST REMAIN ON WINDOW FOR INSPECTOR TO SEE PRIOR TO REMOVAL.

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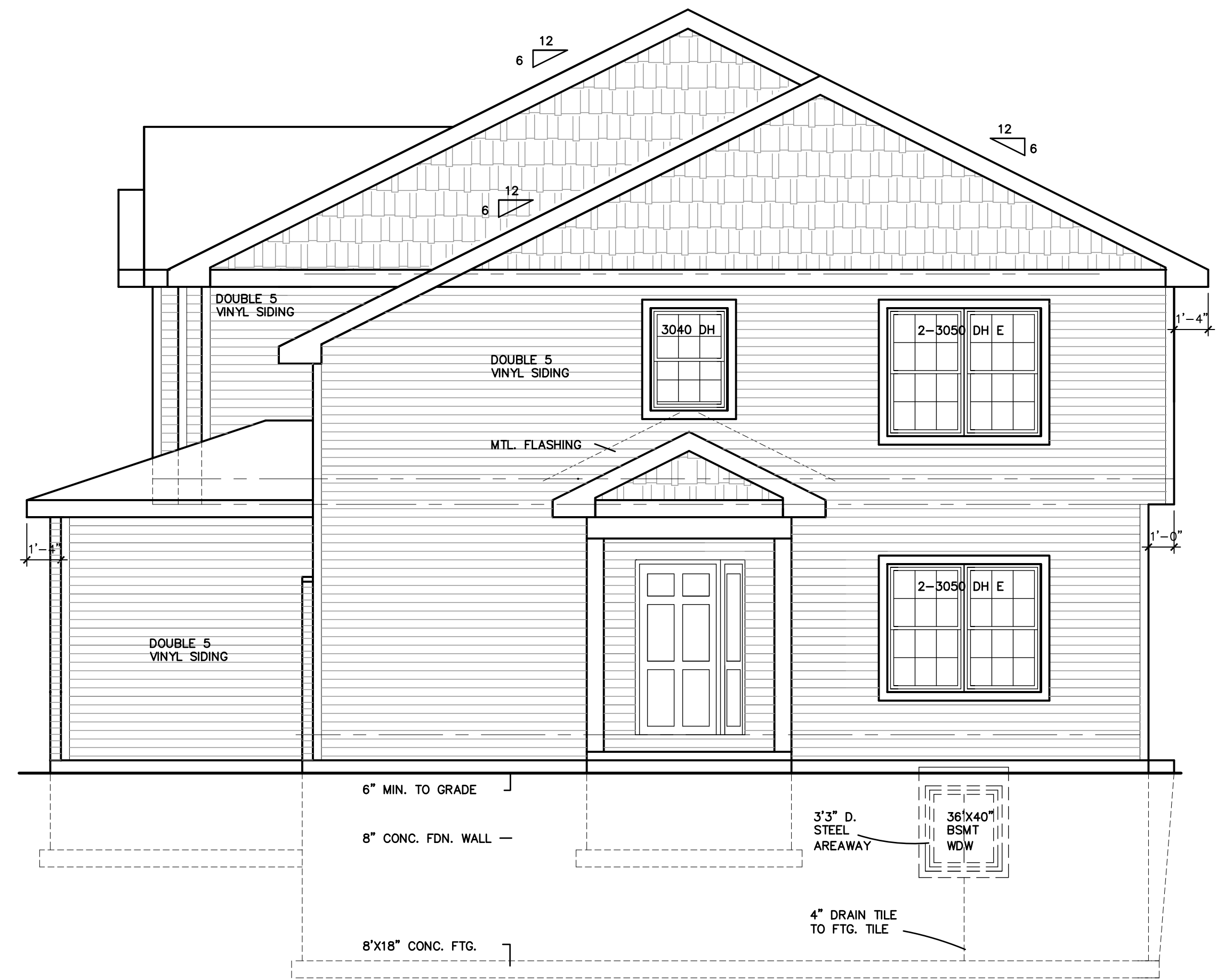
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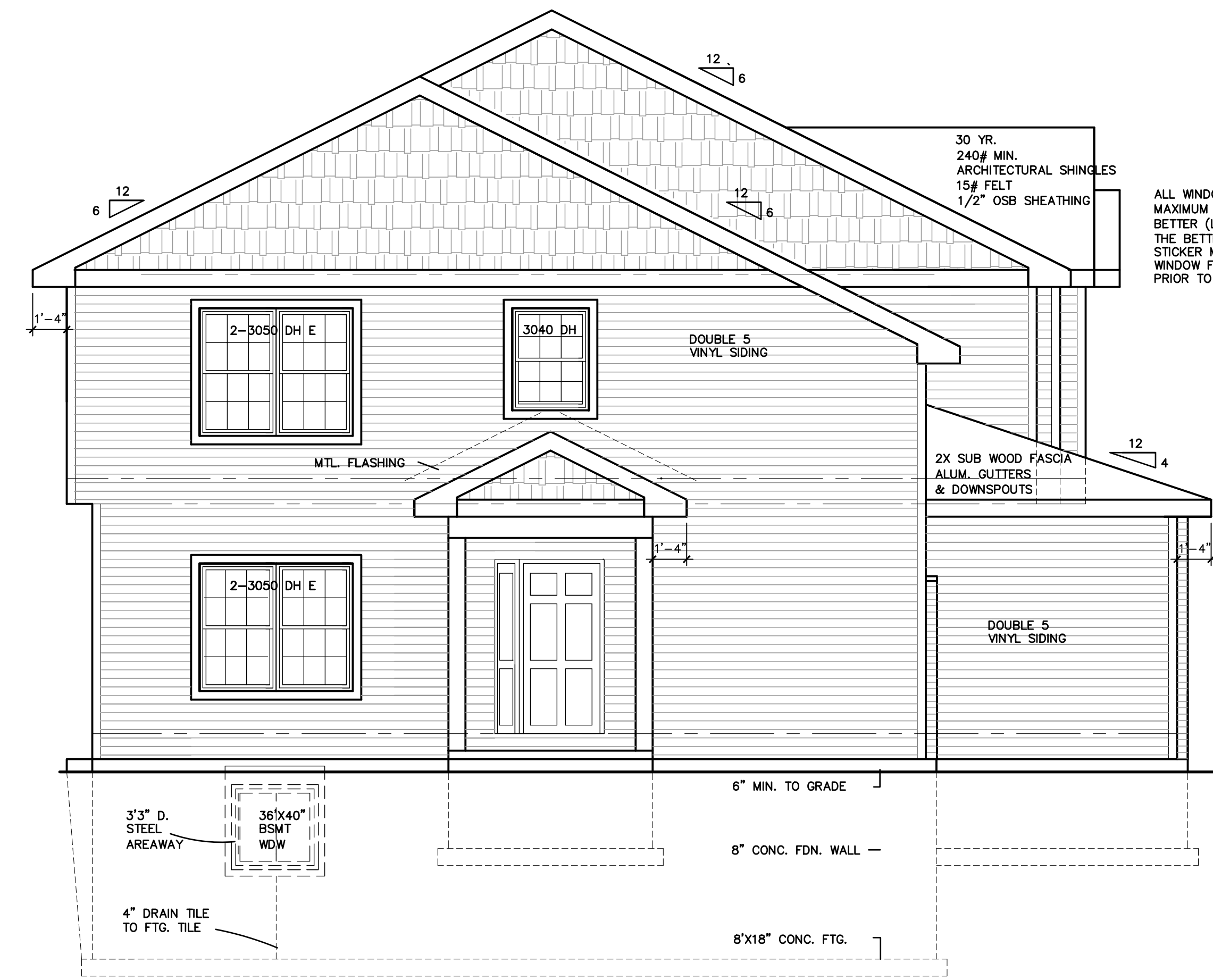
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ALL WINDOWS SHALL HAVE A MAXIMUM "U" VALUE OF .30 OR BETTER (LOWER THE NUMBER THE BETTER). STICKER MUST REMAIN ON WINDOW FOR INSPECTOR TO SEE PRIOR TO REMOVAL.

- T/ WALL
ELEV. = 10'-0"
- T/ 1 ST. FLR.
ELEV. = 1'-0"
- T/ FDN.
ELEV. = +0'-0"
- T/ FOOTING
ELEV. = -3'-6"
- T/ FOOTING
ELEV. = -8'-0"

RIGHT ELEVATION
SCALE = 1/4" = 1'-0"



ALL WINDOWS SHALL HAVE A MAXIMUM "U" VALUE OF .30 OR BETTER (LOWER THE NUMBER THE BETTER). STICKER MUST REMAIN ON WINDOW FOR INSPECTOR TO SEE PRIOR TO REMOVAL.

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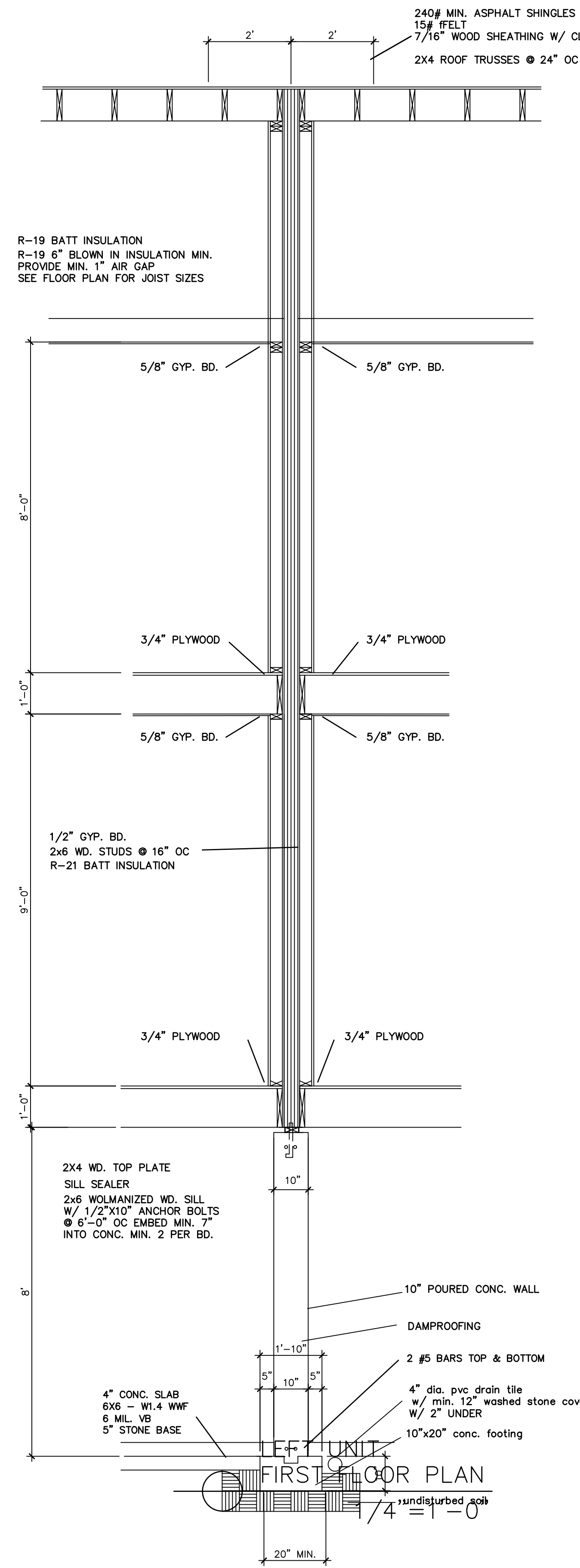
light & vent schedule					
room	area	GREY BOX		LAUNDRY TR	
		lite	vent	lite	vent
living rooth	266 sf	21.3 sf	10.65 sf	72 sf	36 sf
dining room	210 sf	16.8 sf	8.4 sf	36 sf	18 sf
kit/din/fam.rm	652 sf	52.2 sf	26.1 sf	157.5 sf	78.75 sf
den	36 sf	10.6 sf	5.3 sf	36 sf	18 sf
powder room	42 sf	n.a.	50 cfm	n.a.	50 cfm
laundry room	50 sf	n.a.	50 cfm	n.a.	50 cfm
master bedroom	335 sf	26.8 sf	13.4 sf	75 sf	37.5 sf
master bath	15 sf	n.a.	15 cfm	n.a.	50 cfm
bedroom #2	150 sf	12.0 sf	6.0 sf	30 sf	15 sf
bedroom #3	161 sf	12.9 sf	6.45 sf	30 sf	15 sf
bedroom #4	156 sf	12.5 sf	6.3 sf	30 sf	15 sf
basement	1750 sf	35 sf	n.a.	100 sf	n.a.

header schedule	
ALL HEADERS GREATER THAN 20" DEEP SHALL COMPLY WITH TABLE UNLESS NOTED ON DRAWING	
header size	max. allowable opening
2 - 2 x 6	4'-6" max. span
2 - 2 x 8	6'-9" max. span
2 - 2 x 10	7'-6" MAX. SPAN
2 - 2 x 12	8'-0" MAX. SPAN
3 - 2 x 12	8'-6" MAX. SPAN
2 - 2 x 14	8'-4" MAX. SPAN
3 - 2 x 14	8'-9" MAX. SPAN

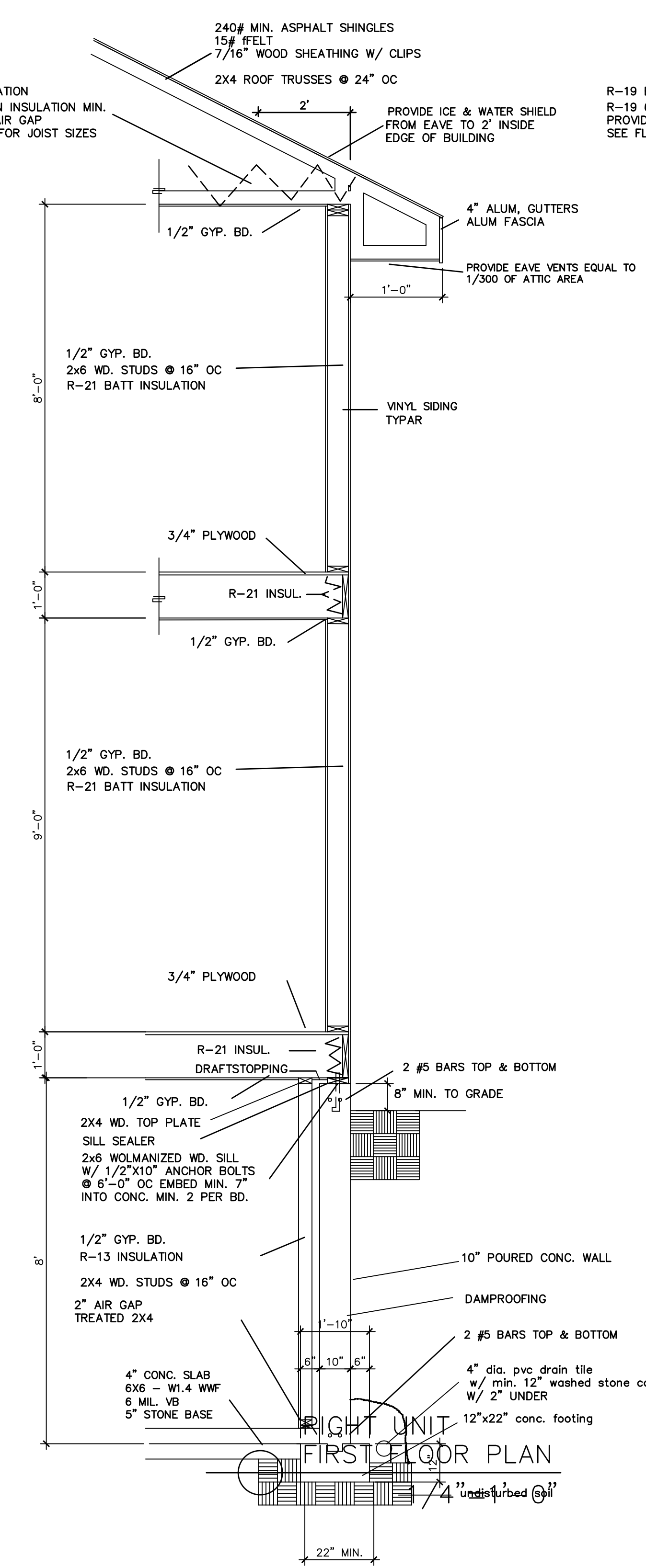
roof rafter schedule		
ALL roof rafters SHALL COMPLY with this table UNLESS NOTED ON DRAWING l.l. = 30 psf, d.L. = 15 psf min. MIN. Fb = 875 psi, E = 1,400,000 s.p.f. #2 or better (CAN.)		
rafter size	NO CEILING	CEILING
2 x 6 @ 12" OC	12'-11"	12'-11"
2 x 6 @ 16" OC	11'-9"	11'-3"
2 x 8 @ 12" OC	17'-0"	16'-5"
2 x 8 @ 16" OC	15'-1"	14'-3"
2 x 10 @ 12" OC	21'-4"	20'-1"
2 x 10 @ 16" OC	18'-5"	17'-5"
2 x 12 @ 12" OC	24'-8"	23'-3"
2 x 12 @ 16" OC	21'-5"	20'-2"

FLOOR JOIST schedule	
ALL FLOOR JOISTS SHALL COMPLY WITH TABLE UNLESS NOTED ON DRAWING l.l. = 40 psf, d.L. = 15 psf min. MIN. Fb = 875 psi, E = 1,400,000 s.p.f. #2 or better (canadian)	
floor joist size	max. allowable span
2 x 10 @ 12" OC	17'-3" max. span
2 x 10 @ 16" OC	15'-5" max. span
2 x 12 @ 12" OC	20'-7" MAX. SPAN
2 x 12 @ 16" OC	17'-10" MAX. SPAN

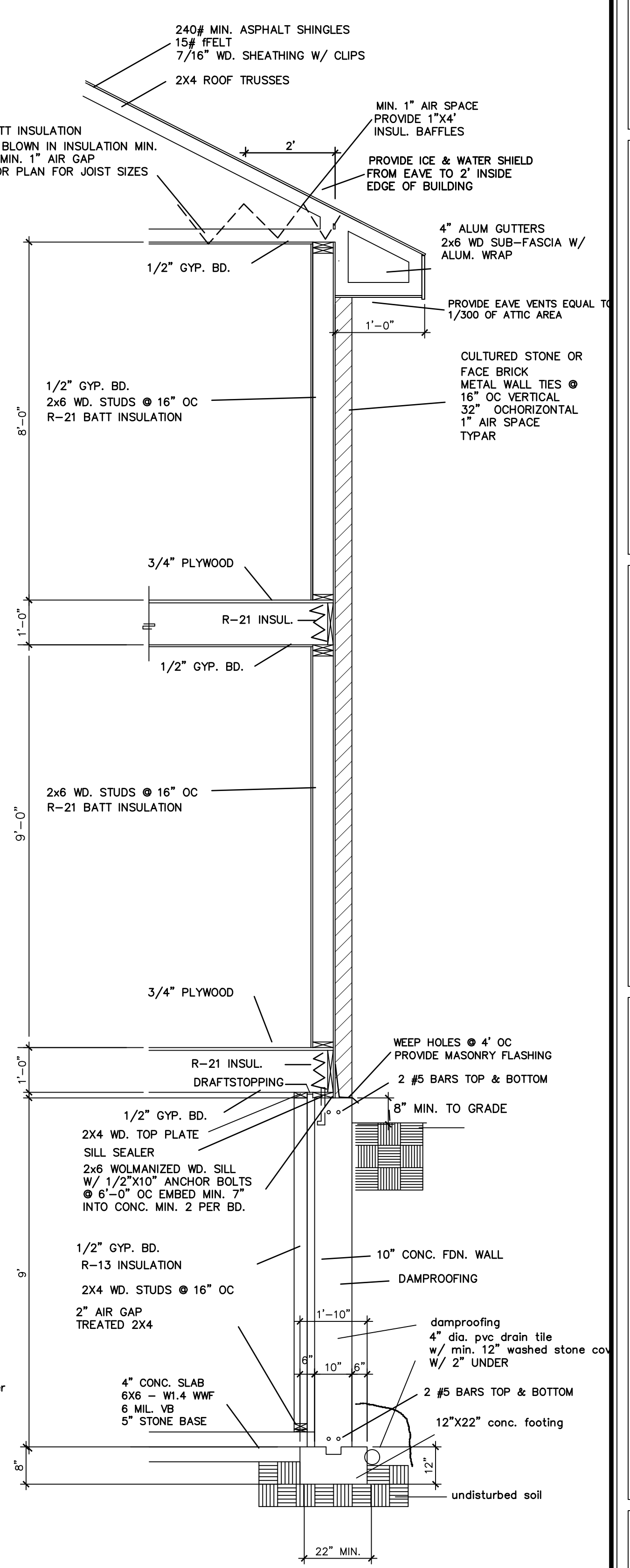
CEILING JOIST schedule	
ALL roof rafters SHALL COMPLY with this table UNLESS NOTED ON DRAWING l.l. = 20 psf, d.L. = 10 psf min. MIN. Fb = 875 psi, E = 1,400,000 s.p.f. #2 or better (canadian)	
CEILING JOIST size	MAX. SIZE
2 x 6 @ 12" OC	14'-9"
2 x 6 @ 16" OC	12'-10"
2 x 8 @ 12" OC	18'-9"
2 x 8 @ 16" OC	16'-3"
2 x 10 @ 12" OC	22'-11"
2 x 10 @ 16" OC	19'-10"



3
A5 TYPICAL FRAME WALL SECTION
1/2" = 1'-0"



2
A5 TYPICAL FRAME WALL SECTION
1/2" = 1'-0"



1
A5 TYPICAL BRICK VENEER WALL SECTION
1/2" = 1'-0"

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A6.0

LIGHT & VENT SCHEDULE (2 UNITS)

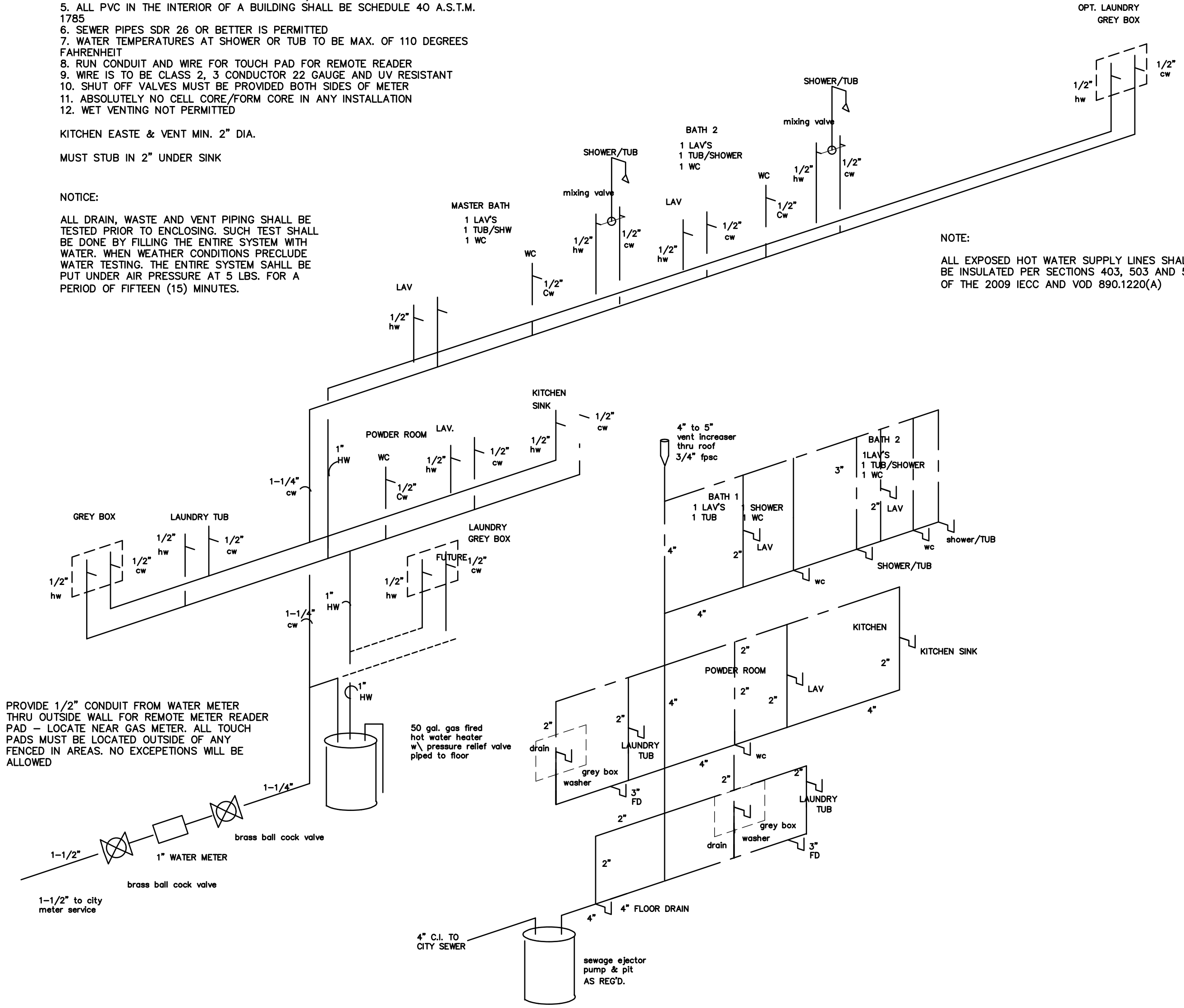
ROOM	SQUARE FOOTAGE	8% LIGHT		4% VENT	
		REQUIRED	ACTUAL	REQUIRED	ACTUAL
KITCHEN/DIN/GREAT ROOM	471	38.00	66.00	19.00	33.0
POWDER ROOM	30	na	na	30 CFM	75 CFM
BEDROOM	224	17.92	30	8.96	15
MASTER BATH	133	NA	NA	133 CFM	133 CFM
BEDROOM 2	190	12.48	30	6.24	15
BATH TWO	56.80	NA	na	56.80 CFM	110 CFM
BEDROOM 3	151	12.08	15	6.04	7.5
BEDROOM 4	123.38	9.87	15	4.94	7.5
LAUNDRY	42.73	NA	na	42.73 CFM	75CFM
BATH THREE	151	NA	na	151 CFM	151 CFM
BASEMENT	1213 @ 2%	NA	108	24.26	36.75

- RESIDENTIAL PLUMBING NOTES:
1. ALL UNDERGROUND WASTE SHALL BE MIN. 4" DIA.
 2. ALL UNDERGROUND VENT SHALL BE A MINIMUM OF 2" DIA.
 3. ALL FLOOR DRAINS SHALL BE INDIVIDUALLY VENTED.
 4. SUPPLY: "L" TYPE COPPER ABOVE GROUND, "K" TYPE COPPER BELOW GROUND
 5. ALL PVC IN THE INTERIOR OF A BUILDING SHALL BE SCHEDULE 40 A.S.T.M. 1785
 6. SEWER PIPES SDR 26 OR BETTER IS PERMITTED
 7. WATER TEMPERATURES AT SHOWER OR TUB TO BE MAX. OF 110 DEGREES FAHRENHEIT
 8. RUN CONDUIT AND WIRE FOR TOUCH PAD FOR REMOTE READER
 9. WIRE IS TO BE CLASS 2, 3 CONDUCTOR 22 GAUGE AND UV RESISTANT
 10. SHUT OFF VALVES MUST BE PROVIDED BOTH SIDES OF METER
 11. ABSOLUTELY NO CELL CORE/FORM CORE IN ANY INSTALLATION
 12. WET VENTING NOT PERMITTED

KITCHEN EASTE & VENT MIN. 2" DIA.
MUST STUB IN 2" UNDER SINK

NOTICE:
ALL DRAIN, WASTE AND VENT PIPING SHALL BE TESTED PRIOR TO ENCLOSING. SUCH TEST SHALL BE DONE BY FILLING THE ENTIRE SYSTEM WITH WATER. WHEN WEATHER CONDITIONS PRECLUDE WATER TESTING, THE ENTIRE SYSTEM SHALL BE PUT UNDER AIR PRESSURE AT 5 LBS. FOR A PERIOD OF FIFTEEN (15) MINUTES.

NOTE:
ALL EXPOSED HOT WATER SUPPLY LINES SHALL BE INSULATED PER SECTIONS 403, 503 AND 504 OF THE 2009 IECC AND VOD 890.1220(A)



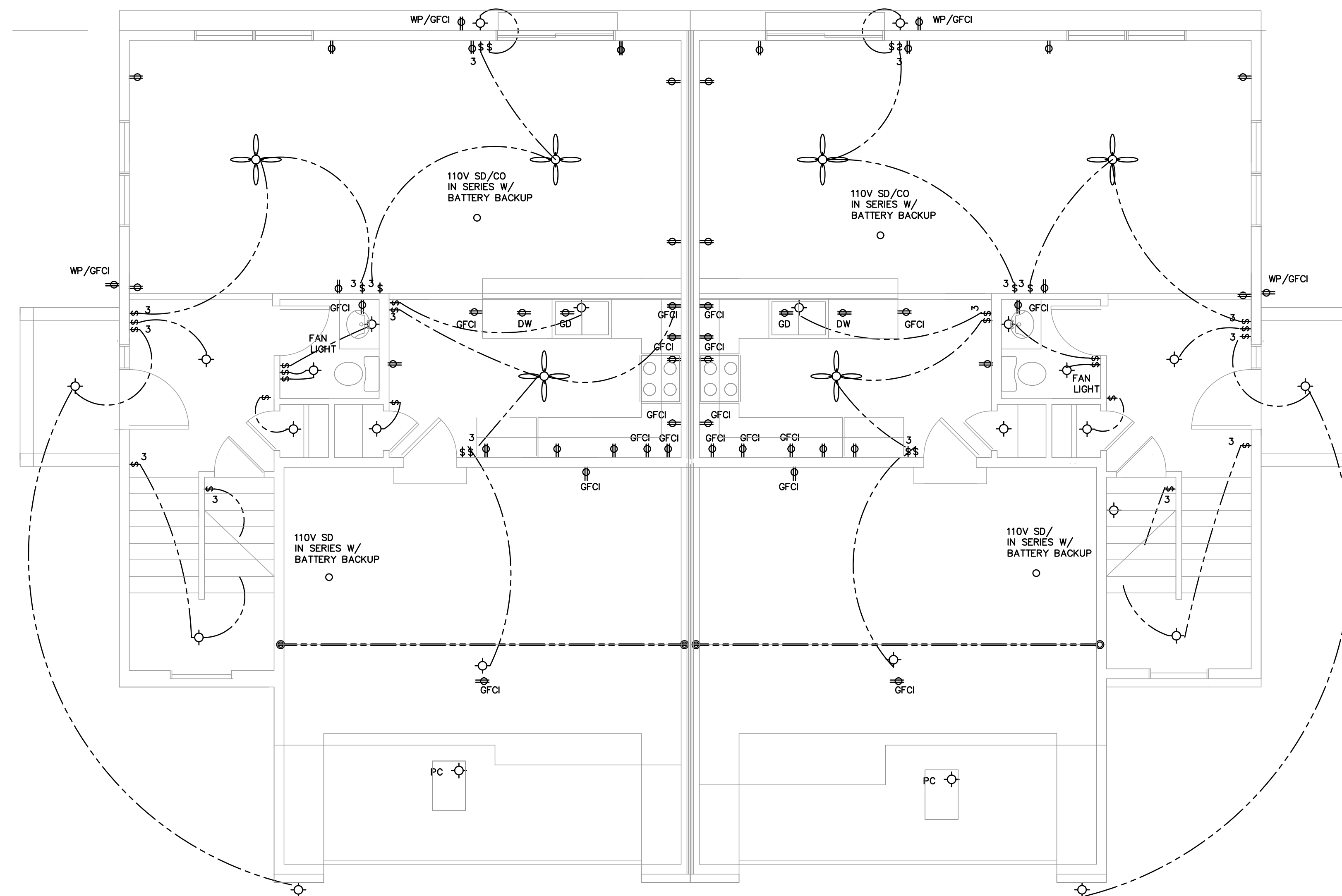
PROVIDE 1/2" CONDUIT FROM WATER METER THRU OUTSIDE WALL FOR REMOTE METER READER PAD - LOCATE NEAR GAS METER. ALL TOUCH PADS MUST BE LOCATED OUTSIDE OF ANY FENCED IN AREAS. NO EXCEPTIONS WILL BE ALLOWED

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ELECTRICAL OUTLETS SHALL BE SPACED AND LOCATED IN COMPLIANCE WITH ART. 210-52 OF THE NEC CODE

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CLOSET LIGHTS SHALL BE ONE OF THE FOLLOWING
 1. WITH GLOBES
 2. RECESSED
 3. FLOUORESCENT

A MINIMUM OF 50% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS 2009 IECC 404.1

ALL 125V, SINGLE PHASE, 15A-2-A RECEPTACLES INSTALLED IN BEDROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS SHALL BE INSTALLED WITH ARC-FAULT INTERRUPTER. 2008 NEC #210.12(B).

NO LIVE SERVICE ENTRANCE SHALL EXTEND OVER FIVE (5) FEET WITHIN THE BUILDING WITHOUT A MAIN DISCONNECT AT THE METER. VODG 10.28(A)

AUTOMATIC GARAGE DOOR OPENERS SHALL BE LISTED IN ACCORDANCE WITH UL 325 AND WIRED IN ACCORDANCE WITH THE PROVISIONS OF THE 2008 NEC.

IN ALL AREAS SPECIFIED IN 2008 NEC 210.52 (DWELLING UNIT RECEPTACLE OUTLETS), AL 125 VOLT, 15 AMP - 20 AMP, RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES 2008 NEC 406.11

THERE MUST BE A MIN. OF 30 CIRCUITS FOR THE NEW 200 AMP PANEL. VODG 220.40(A)

1 ST. FLOOR ELECTRIC PLAN

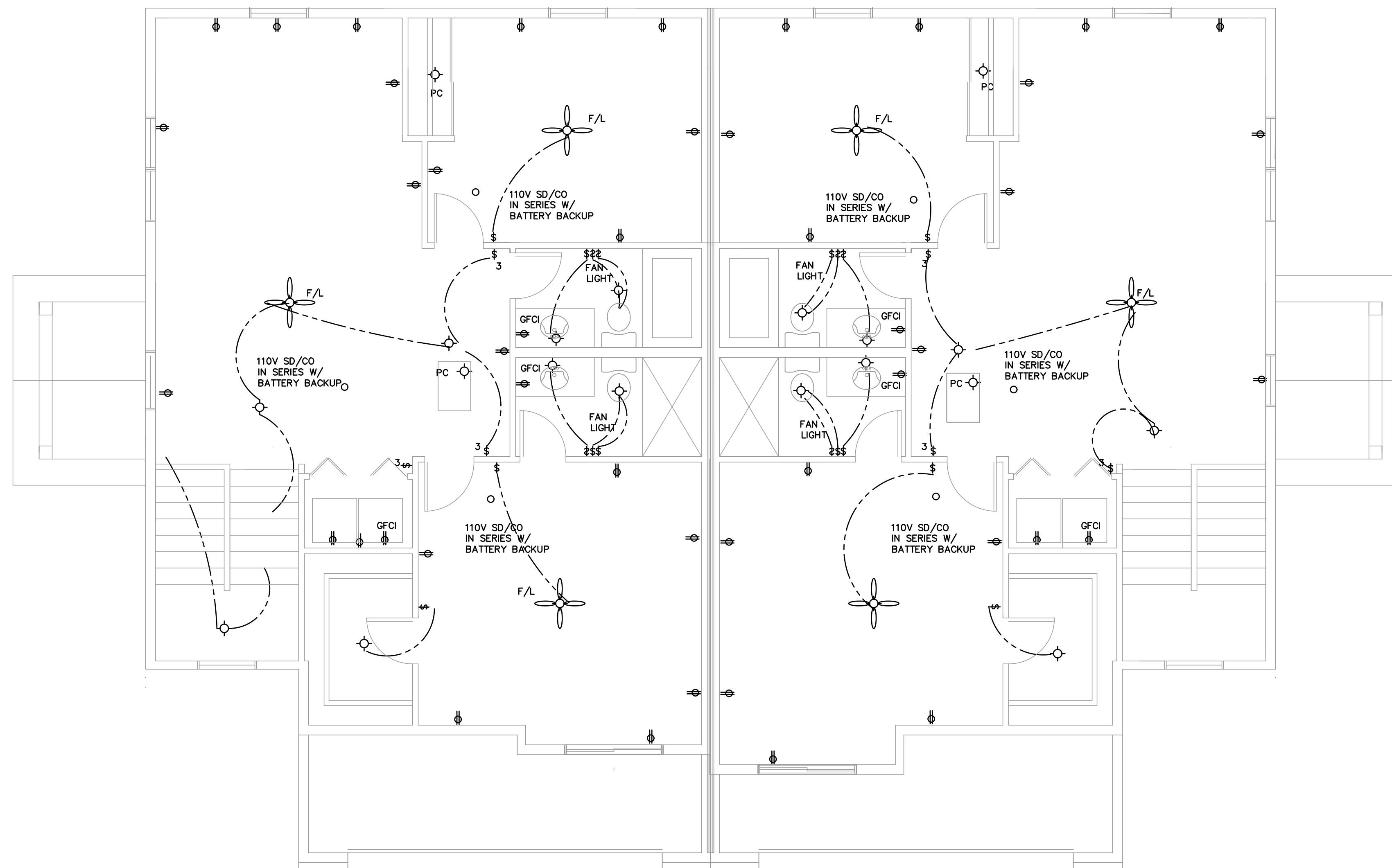
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2 ND. FLOOR ELECTRIC PLAN

SCALE = 1/4" = 1'-0"

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