



BOARD REPORT

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES

FROM: DANIELLE MARION, COMMUNITY DEVELOPMENT DIRECTOR

SUBJECT: DISCUSSION: KANELAND SCHOOL DISTRICT FINAL PUD – TRANSPORTATION BUILDING

AGENDA: April 7, 2026

DATE: March 24, 2026

ISSUE

Shall the Village Board discuss an application from Kaneland School District for approval of a Final Planned Unit Development (PUD) for a transportation building?

DISCUSSION

The subject property is currently vacant land immediately south of Harter Middle School off of Esker Drive. In 2010, an Ordinance was approved granting a Preliminary and Final PUD for educational facilities and related campus appurtenances for Lot 1, which is the lot the middle school currently sits on. This Ordinance also granted preliminary PUD approval for Lot 2, which is the subject property that the school is proposing to build a new transportation building on. In order to move forward, a Final PUD must be approved for Lot 2.

The School District is proposing to construct an approximately 11, 000 square foot building on the subject property, which will consist of the transportation offices and maintenance bays. The site will also include a staff parking area, a bus parking area, and a transportation fueling island with fuel tanks. Lot 2 is approximately 100 acres in total, the proposed transportation use will be developed on roughly 9 acres of this 100 acre lot. There are 2 entrances proposed, both off of Esker Drive. The transportation building will be constructed primarily of prefinished metal panels and brick. The entire development will be surrounded by a 6 foot fence, and landscaping will be provided around the parking lot as required by Village Code.

The following deviations are being requested:

Zoning Deviations:

1. The petitioner is requesting a deviation to allow a six-foot tall fence in the front yard for security purposes.

2. The petitioner is requesting a deviation to allow for decorative metal fencing in the front yard and six-foot tall black coated chain link fencing in the side yards and rear yard.
3. The petitioner is requesting a deviation to not require foundation landscaping.
4. The petitioner is requesting a deviation to no require a bike rack.
5. The petitioner is requesting a deviation to allow the south driveway entrance to exceed 35 feet in width a the front lot line.

The following is an additional requested deviation from the Engineering Manual:

1. The Village uses a minimum pavement structural number of 3.0 for automobile traffic and 3.65 for truck/bus traffic. The Village also requires a minimum 4" of aggregate base course and a minimum 2" thickness for the surface course to be included in the structural calculations. The petitioner is requesting a deviation to allow a pavement structural number of 2.5 instead of 3.0, and 2.16 instead of 3.65.

The Village Engineers and Public Works believe the Village Standards are the best option for the minimum pavement surface, the School District disagrees, therefore, this request has been included as a deviation for review and approval by the Village Board. While engineering oversight is outside of their jurisdiction, the Planning Commission provided comments on the requested deviation. Several of the Commissioners made comments that the parking lot should be built to the required Village standard.

This petition went before the Plan Commission on March 18, 2026. Commissioner's discussion included if this site is the best location for the bus barn for Kaneland School District and the landscaping, such as how much of the turf grass will be mowed and suggestions to add more trees to the front of the property. The commissioners also discussed traffic concerns, they expressed concerns over traffic with the buses entering and leaving the site all at once. Commissioners questioned if more Sugar Grove Police would be needed to direct traffic at these times and if that cost would fall on the Village. The deviation for not requiring a bike rack was discussed at length, overall the Commissioners came to the conclusion that they were ok with this deviation as long as the School District was open to installing one in the future if it was determined one would be needed. Commissioners also discussed the deviation request regarding the chain link fence surrounding the property, the Commissioners were split 3 to 3 on this requirement with half of them wanting the decorative metal fence all the way around the property and the other half of them fine with the decorative metal fence just in the front of the property.

The Plan Commission recommended that the Village Board approve the proposed PUD and adopt the Findings of Fact subject to the following conditions:

1. The Village Engineers must approve the engineering plans prior to the case being scheduled for Village Board review.
2. Any landscaping items that are damaged or dead must be replaced within the same season.

3. Any damage to fencing must be repaired or replaced in a workmanlike manner within a reasonable time.

AYES: Airhart, Bieritz, Coia, Guddendorf, Rockwell, Sabo

NAYES: None

ABSENT: Dubina

COST

All outside Village Costs are the responsibility of the applicant.

ATTACHMENTS

- PC Recommendation 26-02
- Cover Letter
- Engineering Plans

RECOMMENDATION

That the Village Board discuss the proposed Final PUD, including the requested deviations and provide staff with direction on preparing the necessary ordinance.

VILLAGE PRESIDENT
Sue Stillwell

VILLAGE ADMINISTRATOR
Scott Koepfel

VILLAGE CLERK
Tracey R. Conti



VILLAGE TRUSTEES
Heidi Lendi
Matthew Bonnie
Sean Michels
Anthony Speciale
Nora London
Michael Roskopf

R E C O M M E N D A T I O N

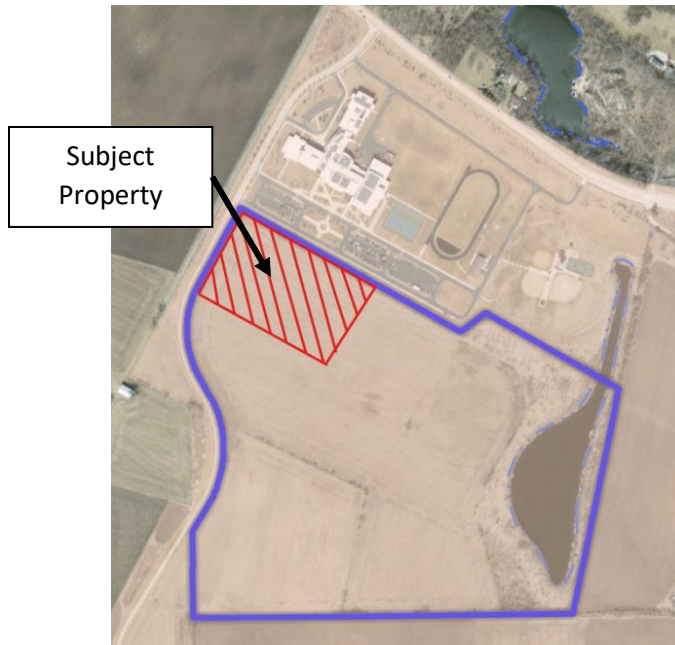
PC26-02

TO: Village President and Board of Trustees
FROM: Planning Commission
DATE: Meeting of April 7, 2026
PETITION: 26-001 Kaneland School District – Final Planned Unit Development

PROPOSAL

The applicant is requesting approval of a Final Planned Unit Development (PUD) for a Kaneland School District campus appurtenance in the BP District.

LOCATION MAP



BACKGROUND & HISTORY

The subject property is currently vacant and is immediately south of 1601 Esker Dr, which is the location of Kaneland Harter Middle School. Ordinance 2010-0921C granted a Preliminary and Final Planned Unit Development (PUD) for *educational facilities and related campus appurtenances* for Lot 1, 1601 Esker Dr, in the Kaneland Subdivision. This Ordinance also granted a Preliminary PUD for Lot 2, the subject property, but not a Final PUD. Kaneland School District has applied for a Final PUD to construct an approximately 11,000 square foot building on the subject property, which will be the new location of the transportation offices. Additionally, the site will include maintenance bays, staff parking, bus parking, and the transportation fueling island. Since the Preliminary PUD did not contain plans for Lot 2, the Final plans must comply with the Standards of the BP District, which is the subject property's zoning designation. The proposed site will be developed on roughly nine acres of the 100-acre property. The site will have two entrances; the north entrance will be for the main parking lot, and the south entrance will be for the buses. The transportation building will be primarily constructed with prefinished metal panels and a brick base. The fueling island will be located toward the south of the site. A six-foot-tall fence will enclose the entire southern parking lot, and the transportation building. Landscaping will be provided around the parking lot, as required by the Village Code. There will be no wall signage or monument signage, only directional signage. The proposal meets most of the Standards of the BP District and the Village Code; however, the petitioner is requesting deviations.

The requested zoning deviations are listed below:

1. The petitioner is requesting a deviation to allow a six-foot-tall fence in the front yard for security purposes.
2. The petitioner is requesting a deviation to allow for decorative metal fencing in the front yard and six-foot-tall black coated chain link fencing in the side yards and the rear yard.
3. The petitioner is requesting a deviation to not require foundation landscaping.
4. The petitioner is requesting a deviation to not require a bike rack.
5. The petitioner is requesting a deviation to allow the south driveway entrance to exceed 35 feet in width at the front lot line.

The following is an additional requested deviation from the Engineering Manual:

1. The Village uses a minimum pavement structural number of 3.0 for automobile traffic and 3.65 for truck/bus traffic. The Village also requires a minimum 4" of aggregate base course and a minimum 2" thickness for the surface course to be included in the structural calculations. The petitioner is requesting a deviation to allow a pavement structural number of 2.5 instead of 3.0, and 3.16 instead of 3.65.

The Village Engineers believe the Village Standards are the best option; therefore, this request has been included as a deviation for review and approval by the Village Board.

DISCUSSION

Commissioners discussed the Final PUD at the March 18, 2026 Plan Commission meeting. The Commissioners were generally supportive of the project. A few points of contention centered on the deviations – the Commissioners expressed concerns regarding the lack of a bike rack, and with maintenance and deterioration, such as with fencing and landscaping. The Commissioners were also concerned with traffic congestion. Commissioners Rockwell and Guddendorf opined that the engineering deviation request should be rejected.

FINDINGS OF FACT

When considering special use requests, the Zoning Ordinance provides certain standards to be considered. The Planning Commission hereby finds that the proposed Special Use:

- a) Will be harmonious with and in accordance with the general objectives of the Comprehensive Land Use Plan and/or this zoning ordinance.

The project complies with the objectives of the Comprehensive Land Use Plan.

- b) Will be designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, and that such use will not alter the essential character of the same area.

The site will be designed, constructed, operated, and maintained as required by the Village Code.

- c) Will not be hazardous or disturbing to existing or future neighborhood uses.

No issues will affect existing or future neighborhood uses.

- d) Will be adequately served by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water sewers and schools, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.

The site will be adequately served and will comply with Village Standards.

- e) Will not create excessive additional requirements at public cost for public facilities and services, and will not be detrimental to the economic welfare of the Village.

No additional requirements are expected from the Village.

- f) Will not involve uses, activities, processes, materials, equipment and/or conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

There will not be excessive production of the aforementioned.

- g) Will have vehicular approaches to the property which shall be so designed as to not create an undue interference with traffic on surrounding public streets or highways.

The site will have appropriate vehicular approaches.

- h) Will not increase the potential for flood damage to adjacent property, or require additional public expense for flood protection, rescue or relief.

None are expected.

- i) Will not result in the destruction, loss or damage of natural, scenic or historic features of major importance to the Village.

No.

EVALUATION

Staff has determined that the project generally meets the Standards and requirements of the Village Code and deem the zoning deviation requests to be acceptable.

Generally, this use is required to conform to the Village of Sugar Grove Special Use Standards. The following evaluation is based on the Special Use Standards.

1. Land Use/General – The use remains consistent with the Comprehensive Plan and the Zoning on the property.

2. Existing Conditions – The subject property is currently vacant; the proposed use is a School District campus appurtenance.

3. Lots & Buildings – The proposed transportation building meets the BP District Standards.

4. Parking – There will be sufficient parking provided for employees in the north lot, while the south lot will be for buses.

RECOMMENDATION

After carefully considering the facts, the Planning Commission recommends the Village Board **approve** the Final PUD for Kaneland School District, and to incorporate the findings of fact, subject to the following conditions;

1. The Village Engineers must approve the engineering plans prior to the case being scheduled for Village Board review.
2. Any landscaping items that are damaged or dead must be replaced within the same season.
3. Any damage to fencing must be repaired or replaced in a workmanlike manner within a reasonable time.

AYES: Airhart, Bieritz, Coia, Guddendorf, Rockwell, Sabo

NAYES: None

ABSENT: Dubina

Motion Passed



March 13, 2026

Bravo Berisha

Planning and Zoning Administrator

Community Development Department Village of Sugar Grove

601 Heartland Drive

Sugar Grove, Illinois 60554

Re: Kaneland Community Unit School District 302
Kaneland 2026 Building Relocation
Commission No. 253047

Dear Bravo:

We are submitting this cover sheet and updated Petition for Land Development document in support of the request by Kaneland Community Unit School District for finalizing the BP Business Park District PUD for educational facilities and related campus appurtenances for Lot Number 2 / Parcel Number 114-08-102-002 which is the lot south of Harter Middle School at Harter Road and Esker Drive. The intent of development at this location is a new transportation building equipped with vehicle maintenance and wash areas, staff offices, equipment/ parts storage, and a staff break room. The site development includes bus parking, staff parking and a dedicated fueling station.

The District is requesting the following variations from the Zoning Ordinances as outlined on the attached Petition for Land Development document:

1. Providing additional height to the parapet for equipment screening is cost prohibitive compared to the current screening show, A variance would be requested to allow for the current screening plan.
2. Variance to allow for decorative metal fencing in the front yard and black coated chain link fence in the side yards and the rear yard.
3. Variance to allow a 6'-0" fence at the front yard for security purposes.
4. Variance to not require a bike rack.
5. Variance to eliminate the foundation landscaping - all other landscaping requirements to be met.
6. Variance to provide maximum width at property line for the southern driveway.
7. Variance for proposed pavement minimum required structural number.

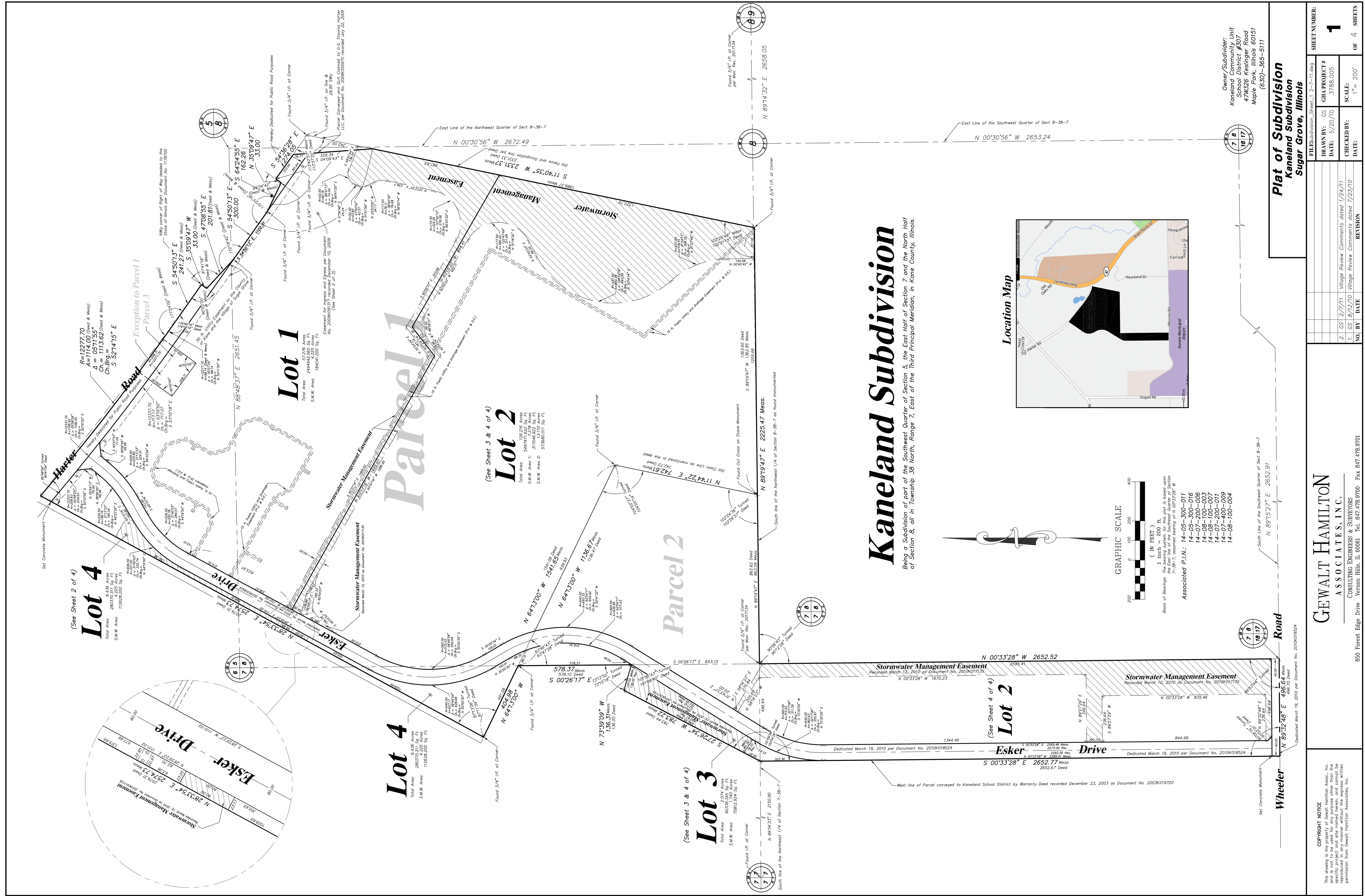
Additional grading and utility plan revisions are anticipated before final engineering approval. Remaining PUD review comments and plan updates related to variance requests will be addressed prior to Village Board approval.

Wold Architects and Engineers
220 North Smith Street, Suite 310
Palatine, IL 60067
woldae.com | 847 241 6100

**PLANNERS
ARCHITECTS
ENGINEERS**

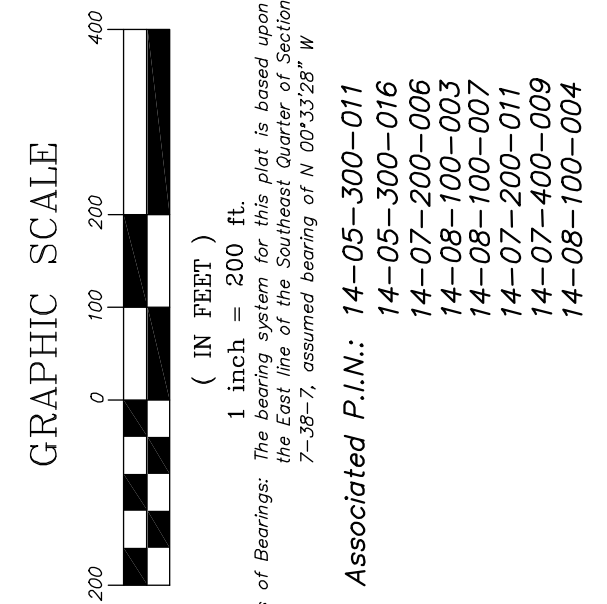
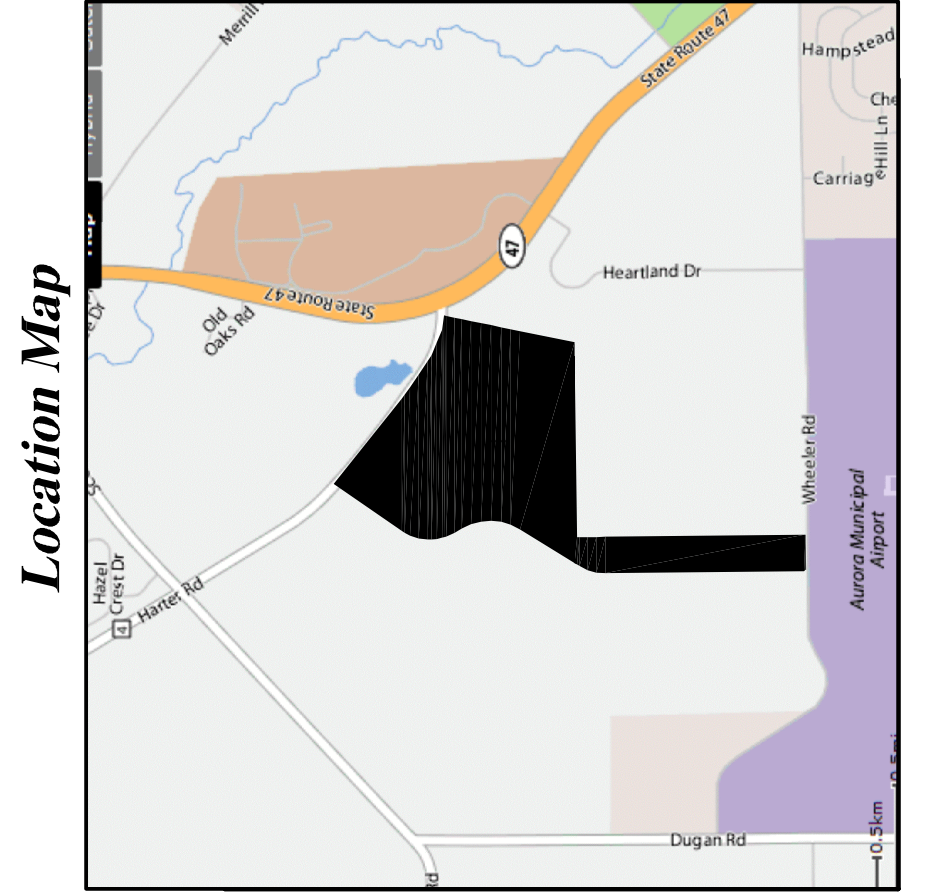
IL

A



Kaneland Subdivision

Being a Subdivision of part of the Southwest Quarter of Section 5, the East Half of Section 7 and the North Half of Section 8, all in Township 38 North, Range 7, East of the Third Principal Meridian, in Kane County, Illinois.



Plat of Subdivision
Kaneland Subdivision
Sugar Grove, Illinois

OWNER/SUBDIVIDER:
 Kaneland School District #207
 47W326 Keslinger Road
 Maple Park, Illinois 60151
 (630) 365-5111

FILE NUMBER: 27-11-146	SHEET NUMBER: 1
DATE: 5/20/10	OF 4 SHEETS
CHECKED BY: 7/24/11	SCALE: 1" = 200'
DATE: 7/23/10	REVISION:

GEWALT HAMILTON ASSOCIATES, INC.
 CONSULTING ENGINEERS & SURVEYORS
 850 Forest Edge Drive, Vernon Hills, IL 60061, Tel. 847.238.9700, Fax 847.478.9700

COPYRIGHT NOTICE
 This drawing is the property of Gewalt Hamilton Associates, Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission from Gewalt Hamilton Associates, Inc.

COMMITTEE: 253047
DATE: 2/20/2026
DRAWN BY: MC
CHECKED BY: KE

Kaneland 2026 Building Relocation
 1601 Esler Drive
 Sugar Grove, IL 60554
 Total Acreage: 100.09 Acres
 Proof of Ownership: Deed# 306027

Kaneland CUSD 302
 47W326 Keslinger Rd,
 Maple Park, IL 60151



WOLD ARCHITECTS AND ENGINEERS
 220 N. Smith Street, Suite 310
 Palatine, Illinois 60067
 woldae.com | 847 241 6100

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of ILLINOIS

DANIAL THOMAS KRITTA
 License Number: 001022317 Date: 11/30/26

Description	Revisions	Date	Num

SURVEY

Scale: 1/8" = 1'-0"

A0.1

**Kaneland 2026
Building Relocation**

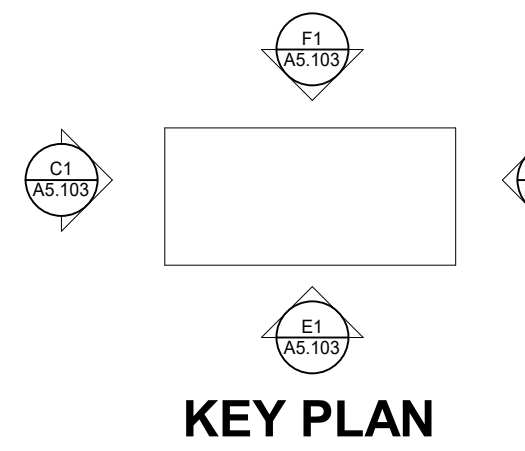
1601 Esker Drive
Sugar Grove, IL 60554

Total Acreage: 100.09 Acres
Proof of Ownership: Deed# 306027

Kaneland CUSD 302
47W326 Keslinger Rd,
Maple Park, IL 60151



**WOLD ARCHITECTS
AND ENGINEERS**
220 N. Smith Street, Suite 310
Palatine, Illinois 60067
woldaec.com | 847 241 6100



KEY PLAN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ARCHITECT under the laws of the State of ILLINOIS

DANIAL THOMAS KRITTA
License Number: 001022317 Date: 11/30/26

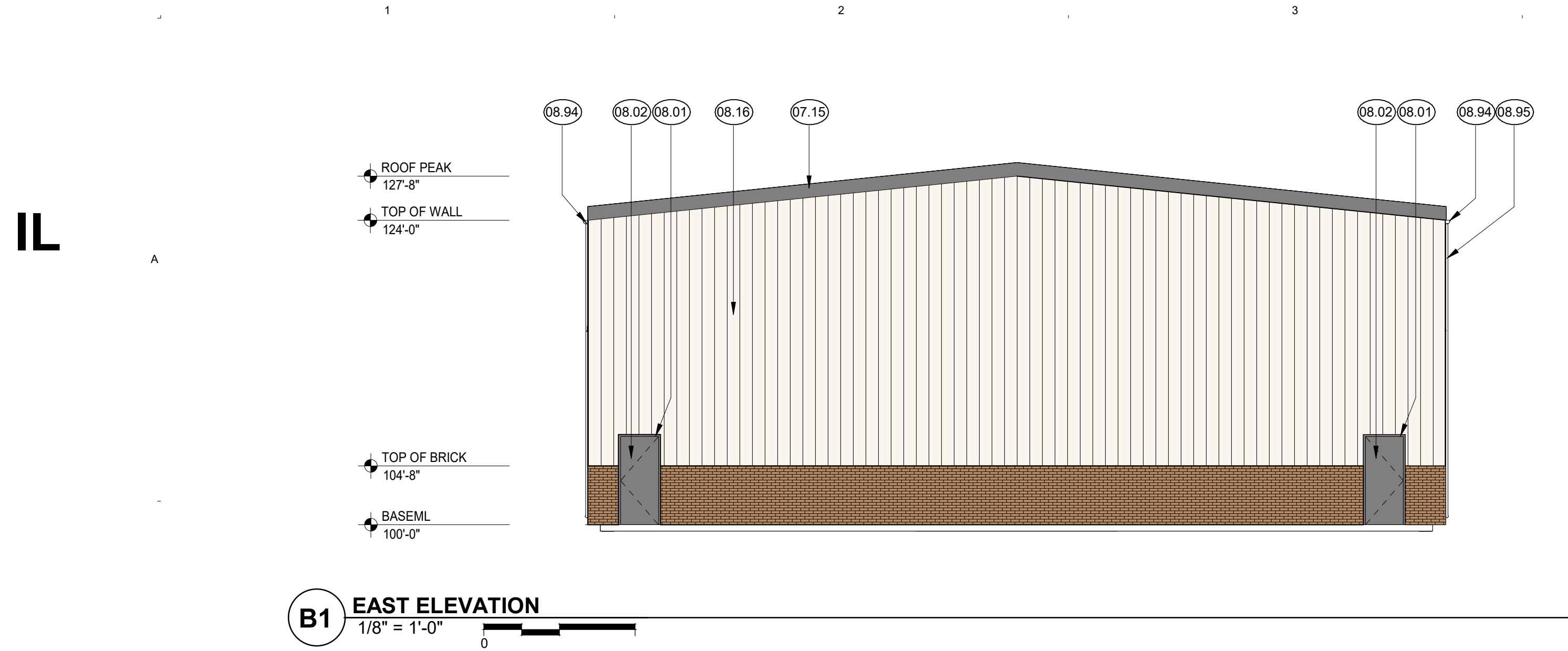
Description	Revisions	
	Date	Num

Comm: 253047
Date: 2/20/2026
Drawn: MC
Check: KE

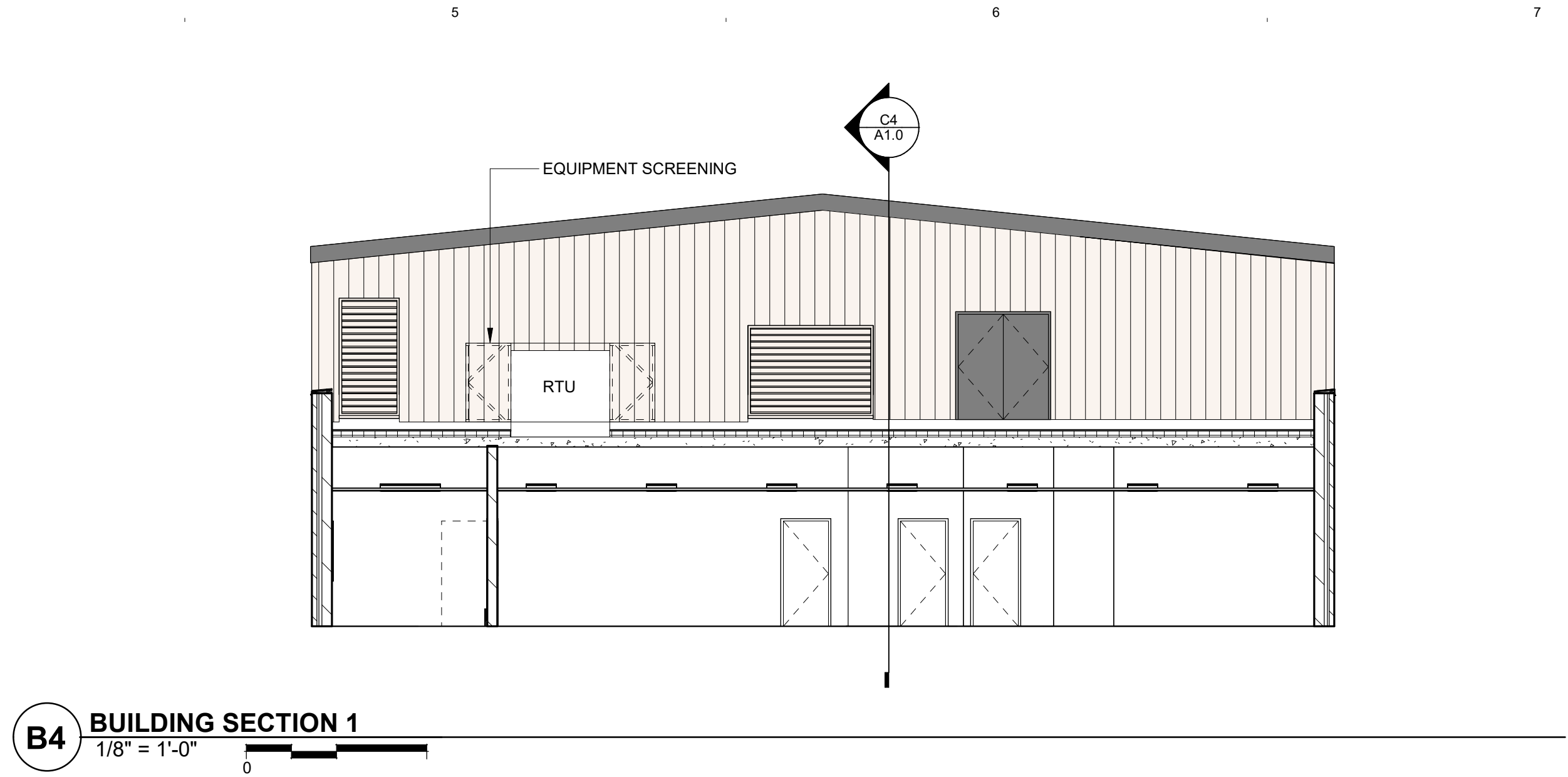
**EXTERIOR
ELEVATIONS AND
BUILDING
SECTIONS**

Scale: 1/8" = 1'-0"

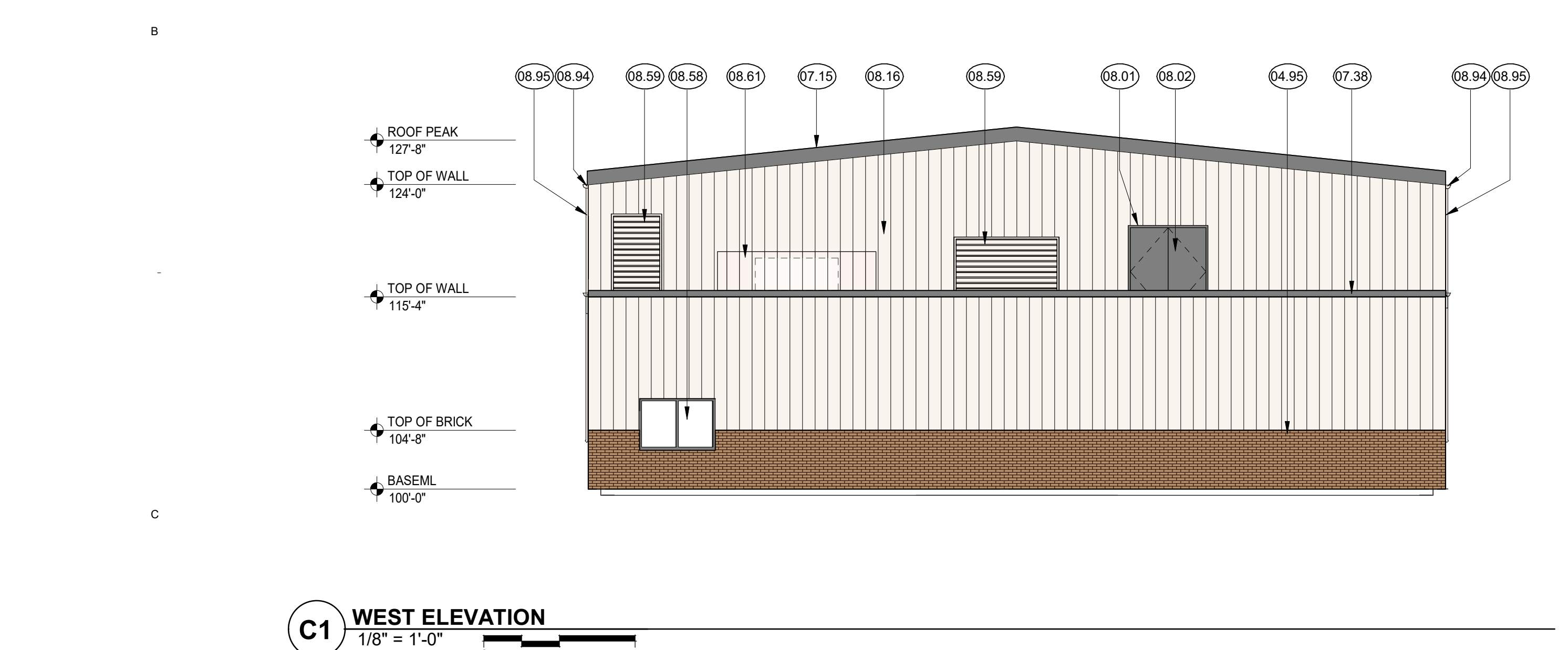
A1.0



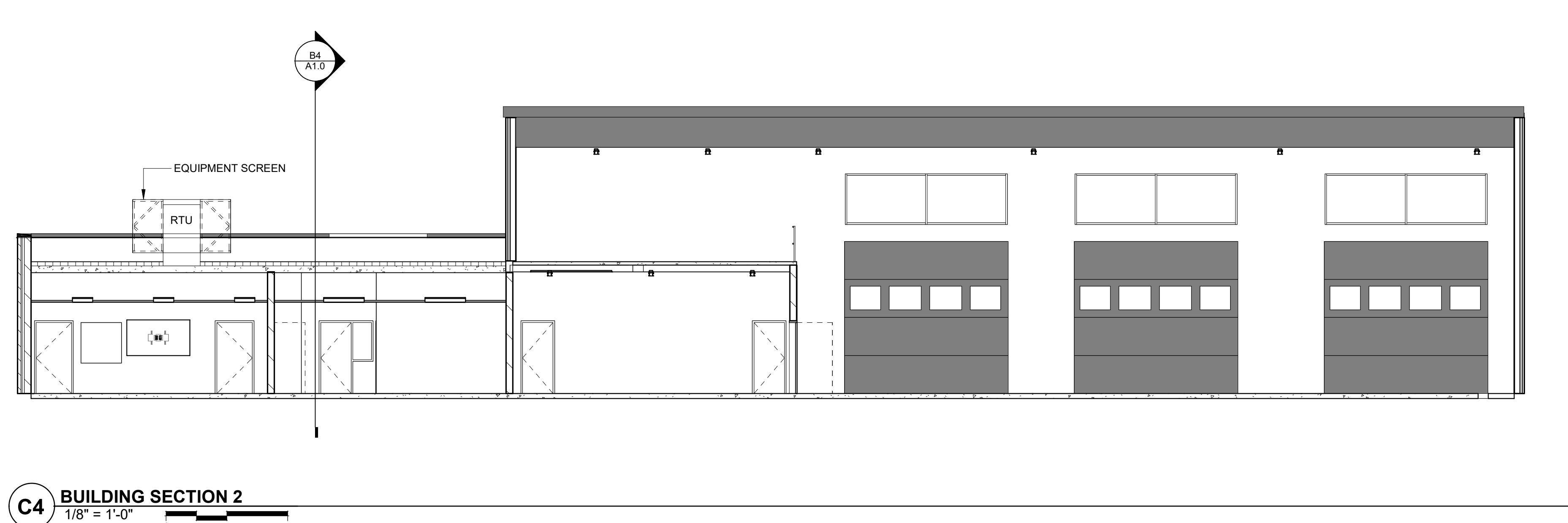
B1 EAST ELEVATION
1/8" = 1'-0"



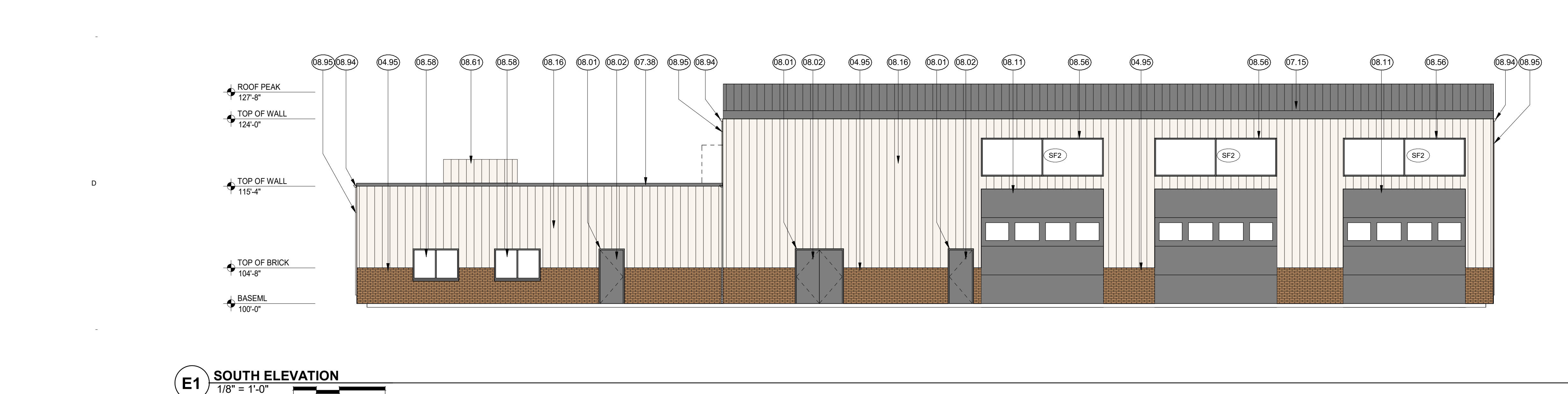
B4 BUILDING SECTION 1
1/8" = 1'-0"



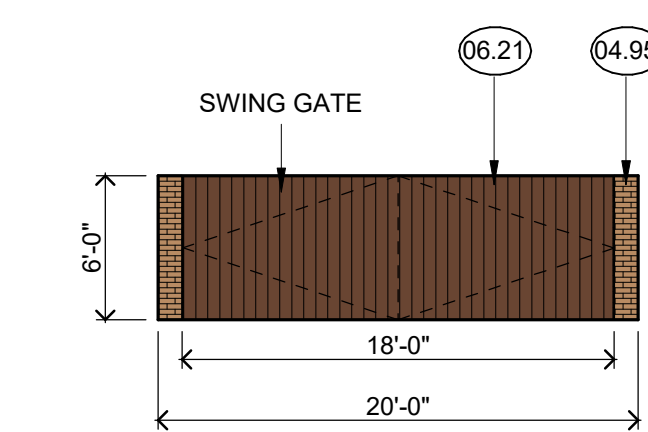
C1 WEST ELEVATION
1/8" = 1'-0"



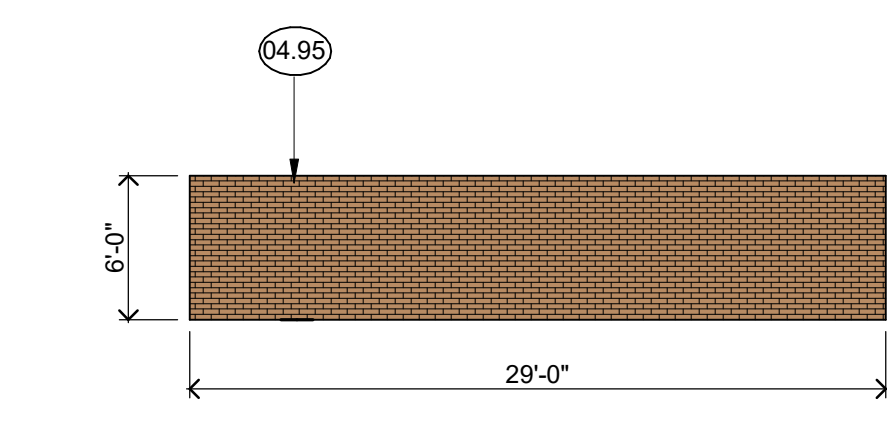
C4 BUILDING SECTION 2
1/8" = 1'-0"



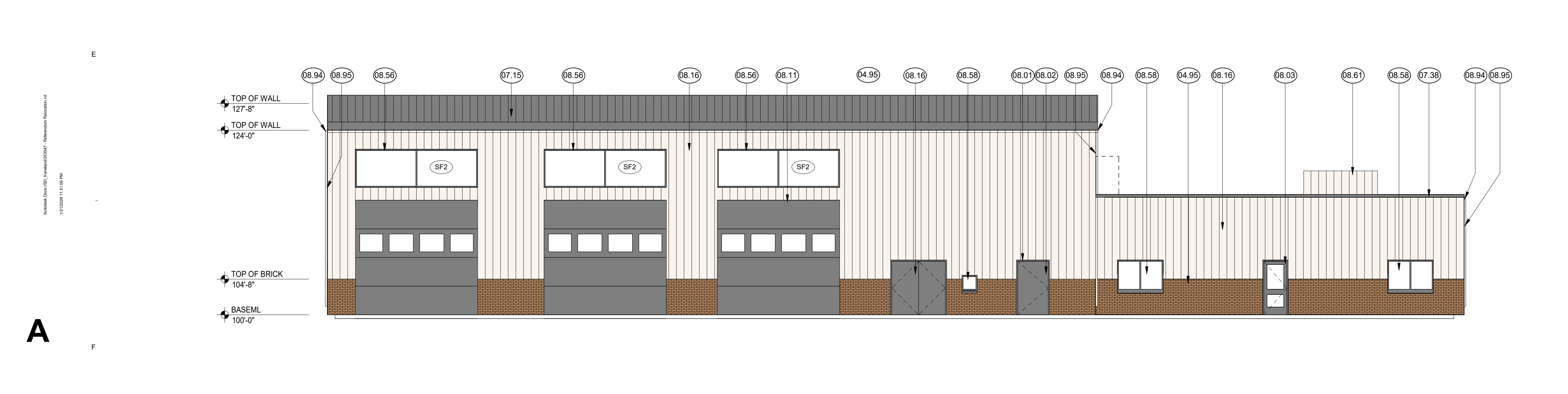
E1 SOUTH ELEVATION
1/8" = 1'-0"



E6 DUMPSTER ENCLOSURE - WEST ELEVATION
1/8" = 1'-0"
(EAST ELEVATION TO BE FULL BRICK)



E7 DUMPSTER ENCLOSURE - SOUTH ELEVATION
1/8" = 1'-0"



F1 NORTH ELEVATION
1/8" = 1'-0"

KEY	MATERIAL
04.95	FACE BRICK
06.21	WOOD PANELING
07.15	STANDING SEAM SHEET METAL ROOFING
07.35	PREFINISHED ALUMINUM COPING
08.01	HOLLOW METAL FRAME
08.02	HOLLOW METAL DOOR
08.03	PREFINISHED ALUMINUM DOOR
08.11	SECTIONAL METAL OVERHEAD DOOR
08.16	PREFINISHED METAL PANEL
08.56	STOREFRONT SYSTEM
08.58	ALUMINUM WINDOW
08.59	PREFINISHED METAL LOUVER
08.61	EQUIPMENT SCREEN
08.94	GUTTER
08.95	DOWNSPOUT

**PETITION FOR LAND DEVELOPMENT SUBMITTAL
VILLAGE OF SUGAR GROVE**

11/15/2025 11:15:28 AM
 C:\Users\mcc\OneDrive\Documents\253047 - Kaneland\253047.dwg

A

GEOMETRIC AND PAVING PLAN

- ALL PAVEMENT DIMENSIONS ARE TO EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. E=EDGE OF PAVEMENT, B=BACK OF CURB, F=FACE OF CURB. RADI DIMENSIONS ARE TO BACK OF CURB.
- INSTALL ALL CURB AND SIDEWALK AS SHOWN. NOTE SOME CURBS REQUIRE REVERSE PITCH GUTTER. DOWEL NEW SIDEWALK AND CURB TO EXISTING AND PROPOSED CURBS PER GENERAL NOTES. WHEN CONSTRUCTING A CARRIAGE WALK, THE PROPOSED SIDEWALK CONTRACTION AND EXPANSION JOINTS SHALL ALIGN WITH EXISTING CURB JOINTS.
- PROVIDE 1.90% CROSS SLOPE AND 4.5% MAXIMUM LONGITUDINAL SLOPE ON ALL SIDEWALKS AND PEDESTRIAN PATH WAYS UNLESS OTHERWISE INDICATED. ILLINOIS ACCESSIBILITY CODE REQUIRES A MAXIMUM CONSTRUCTED CROSS SLOPE OF 2.00% AND LONGITUDINAL SLOPE OF 5.00%.
- INSTALL BITUMINOUS PAVEMENT AS SHOWN. REFER TO DETAIL SHEET FOR SPECIFIC PAVEMENT SECTIONS AND GENERAL NOTE SHEET FOR CONSTRUCTION, TESTING AND COMPACTION REQUIREMENTS.
- INSTALL PCC PAVEMENT AS SHOWN. REFER TO DETAIL SHEET FOR SPECIFIC PAVEMENT SECTION AND GENERAL NOTES FOR CONSTRUCTION, TESTING AND COMPACTION REQUIREMENTS.
- ALL PARKING LOT STALL MARKINGS SHALL BE 4" YELLOW PAINT AND ALL OTHER PARKING LOT PAVEMENT MARKINGS SHALL BE PAINT, COLOR AS NOTED, IN ACCORDANCE WITH SECTION 780 OF THE IDOT STANDARD SPECIFICATIONS. (TWO SINGLE APPLICATIONS, 16 MILS EACH REQUIRED). SITE PAVEMENT MARKING SHALL BE COORDINATED WITH SITE ENGINEER. CONTRACTOR SHALL NOTIFY SITE ENGINEER 48 HRS PRIOR TO INSTALLING PAVEMENT MARKING.
- FOR HANDICAPPED STALL MARKINGS, REFER TO HANDICAPPED PARKING STALL AND SIGN DIMENSIONING DETAIL.
- INSTALL NEW SIGNS AND HANDICAPPED PARKING SIGNS USING 2" GALVANIZED SQUARE TUBE POST AND TELESCOPING POST SLEEVE PER IDOT STANDARD.
- INSTALL TRANSFORMER PAD AS SHOWN. PAD SHALL BE SET 6" ABOVE FINISHED GRADE. REFER TO MEP PLANS FOR FINAL PAD SIZE AND DESIGN REQUIREMENTS.
- CONTRACTOR SHALL INSTALL TEMPORARY EROSION CONTROL SEED AND BLANKET AS NECESSARY TO MEET SOIL

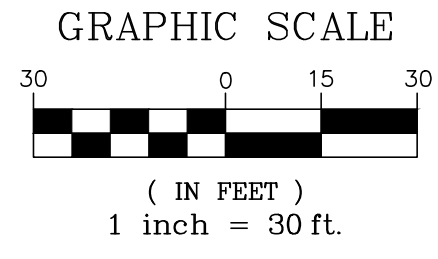
EROSION AND SEDIMENT CONTROL REQUIREMENTS. REFER TO NOTES AND DETAILS THROUGHOUT THE PLAN SET FOR SPECIFIC MATERIAL REQUIREMENTS.

- FOR FINAL RESTORATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL DISTURBED TURF AREAS AND PROPOSED TURF AREAS AS FOLLOWS:
 - REFER TO LANDSCAPE PLANS FOR PLANT AND TREE MATERIAL AND INSTALLATION REQUIREMENTS.
 - REFER TO LANDSCAPE PLANS FOR TOPSOIL, SEED AND SOD MATERIAL AND RESTORATION REQUIREMENTS.
 - PRIOR TO PLACEMENT OF TOPSOIL RESTORATION AREA SUBGRADE MATERIAL SHALL BE ROTOTILLED AND RE-COMPACTED TO A MAXIMUM OF 80% STANDARD PROCTOR TO A DEPTH OF 6".
 - SPREAD A MINIMUM OF 6" OF EXISTING SITE SALVAGED SCREENED TOPSOIL OR NEW PULVERIZED TOPSOIL ON ALL DISTURBED AREAS. COMPACT TO 80% STANDARD PROCTOR.
 - TOPSOIL MUST BE FREE OF LITTER, BRUSH, ROCKS AND EARTH CLODS OF GREATER THAN 1 INCH IN ANY DIMENSION. CONTAIN BETWEEN 1%-10% ORGANIC MATTER, 12%-50% CLAY, AND LESS THAN 55% SAND CONTENT. PH SHALL BE BETWEEN 6.0 AND 8.0.
 - SEED RESTORATION AREAS AS FOLLOWS:
 - IDOT CLASS 1 SEED (LAWN MIXTURE)
 - FERTILIZER SHALL BE APPLIED FOLLOWING IDOT REQUIREMENTS.
 - EROSION CONTROL BLANKET SHALL BE NORTH AMERICAN GREEN S75 OR APPROVED EQUAL INSTALLED FOLLOWING MANUFACTURER GUIDELINES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THE RESTORED AREA PER IDOT SPECIFICATIONS FOR A DURATION OF 30 DAYS PRIOR TO THE OWNER'S FINAL REVIEW AND ACCEPTANCE. IF RESTORATION HAS NOT SHOWN A "CATCH" OR UNIFORM STAND, THE CONTRACTOR SHALL REPEAT RESEEDING OR RESODDING UNTIL A UNIFORM STAND IS ACHIEVED.
- ONCE RESTORATION HAS BEEN COMPLETED, THE CONTRACTOR SHALL REMOVE EROSION CONTROL DEVICES. SILT FENCE TRENCHES SHALL BE BACKFILLED AND RESTORED IN KIND. STORM STRUCTURES SHALL BE CLEANED OF DEBRIS.
- HOT MIX ASPHALT (HMA) PAVING - AFTER PASSING PROOF ROLL, THE CONTRACTOR SHALL STRING LINE THE PARKING LOT. ANY AREAS THAT DO NOT MEET MINIMUM PAVEMENT CROSS SLOPE (1.0%) WILL BE CORRECTED, RE-COMPACTED AND RE-PROOF ROLLED.

PROPOSED LEGEND

- HEAVY DUTY BITUMINOUS PAVEMENT
- MEDIUM DUTY BITUMINOUS PAVEMENT
- PCC PAVEMENT
- PCC SIDEWALK
- CLASS D PATCH
- STONE RIP RAP, CLASS A1
- BUILDING
- B6.12 CURB & GUTTER (REGULAR)
- B6.12 CURB & GUTTER (DEPRESSED)
- B6.12 CURB & GUTTER (REVERSE PITCH)
- PAVEMENT SAWCUT
- MASONRY WALLS
- CHAIN LINK FENCE
- ORNAMENTAL FENCE
- WOOD FENCE
- DETECTABLE WARNINGS

SITE INFORMATION	
PROPERTY SIZE (AC)	100.09
CURRENT/PROPOSED ZONING DISTRICT	BP
PROPOSED BUS PARKING	65
PROPOSED PARKING (REGULAR)	70
PROPOSED PARKING (ADA)	4



Kaneland 2026 Building Relocation

1601 Esker Drive
Sugar Grove, IL 60554

Total Acreage: 100.09 Acres
Proof of Ownership: Deed# 306027

Kaneland CUSD 302

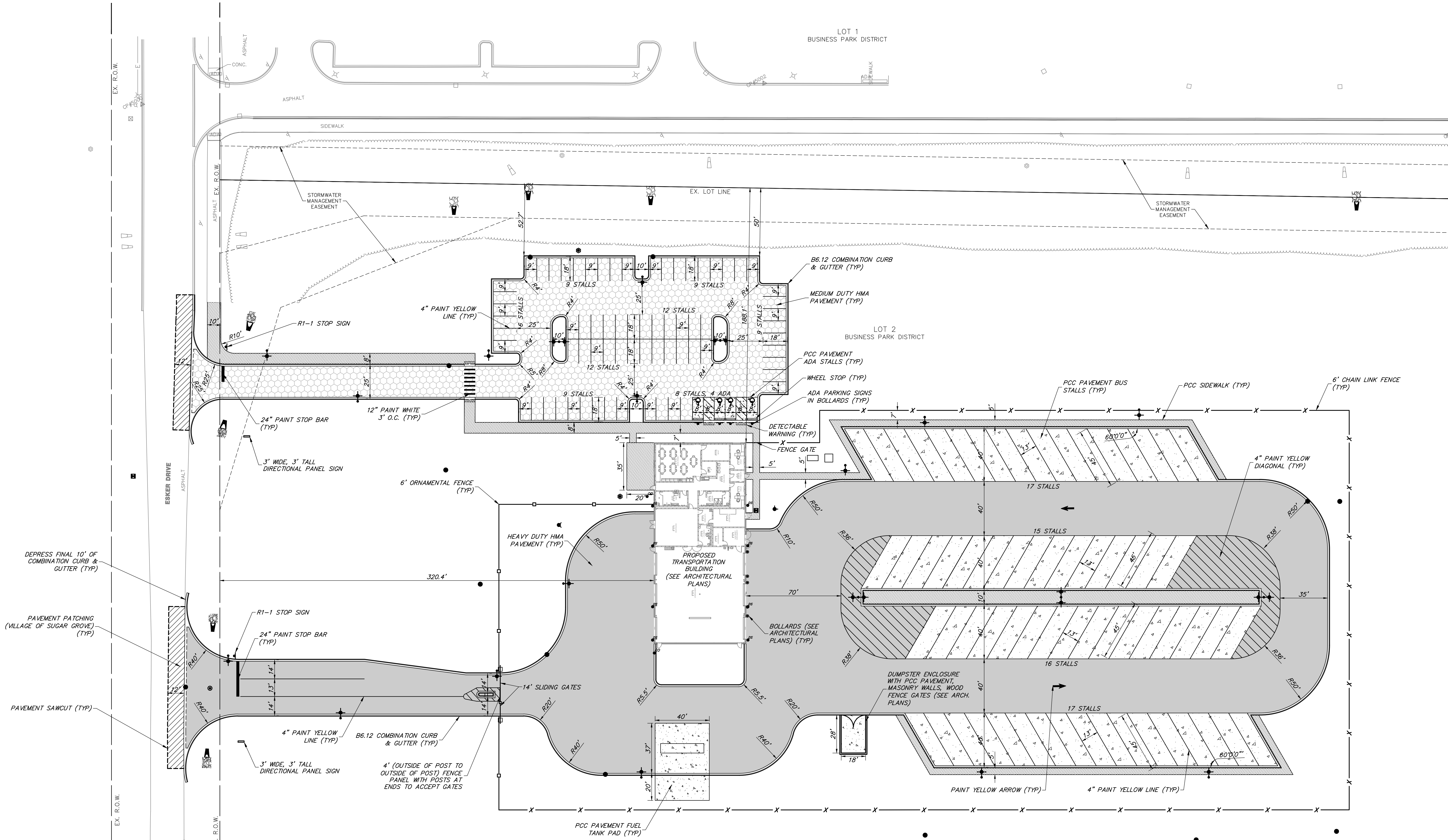
47W326 Keslinger Rd,
Maple Park, IL 60151



WOLD ARCHITECTS AND ENGINEERS

220 N. Smith Street, Suite 310
Palatine, Illinois 60067
wolda.com | 847 241 6100

GHA GEWALT HAMILTON ASSOCIATES, INC.
CONSULTING ENGINEERS



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ENGINEER under the laws of the State of ILLINOIS

BRIAN JOSEPH WESOLOWSKI
License Number: 062-066656 Date: 11/30/27

Description	Revisions	
	Date	Num

Comm: 283047
Date: 2/20/2026
Drawn: BRS
Check: BJW
North

GEOMETRIC PLAN

**PETITION FOR LAND DEVELOPMENT
SUBMITTAL - VILLAGE OF SUGAR GROVE**

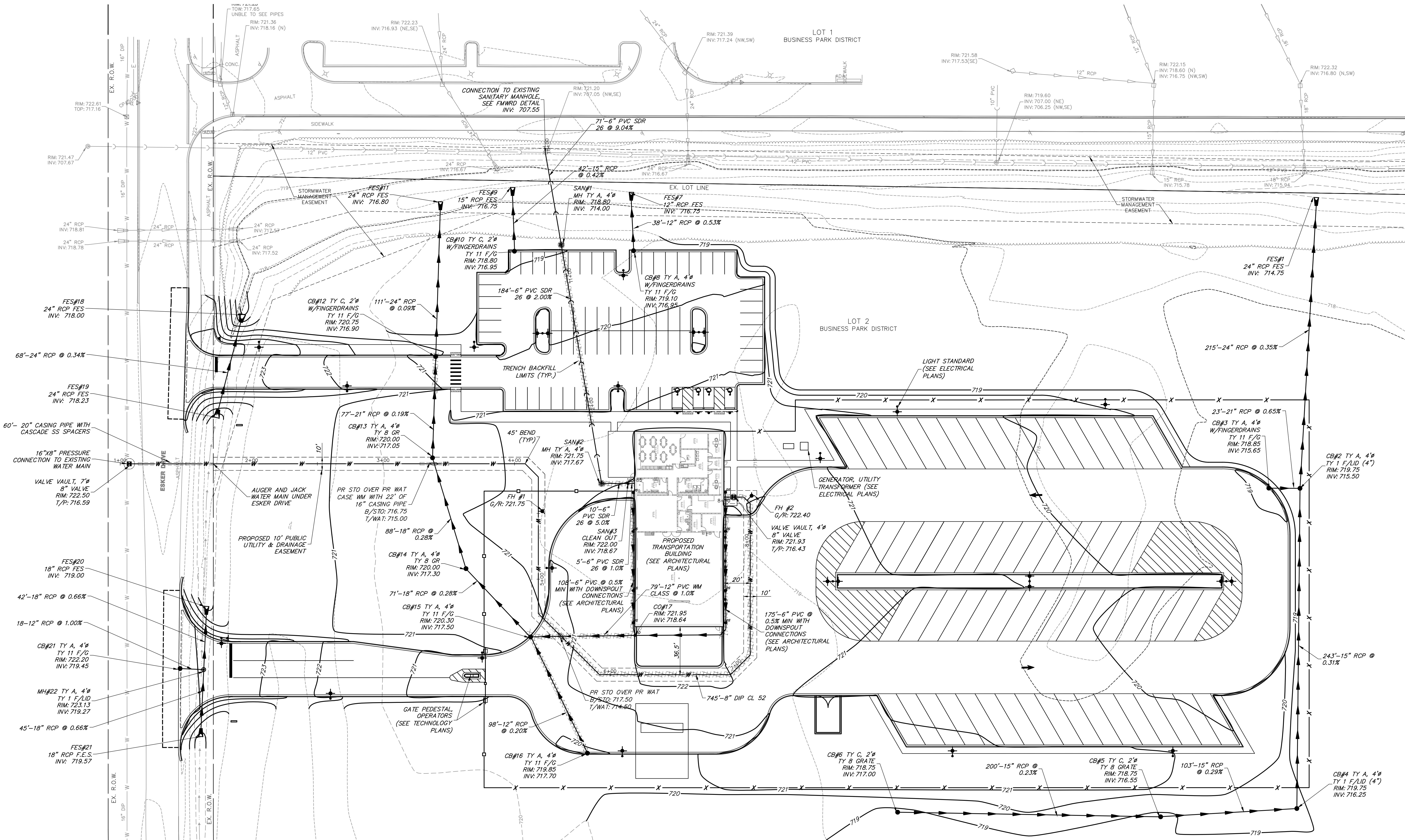
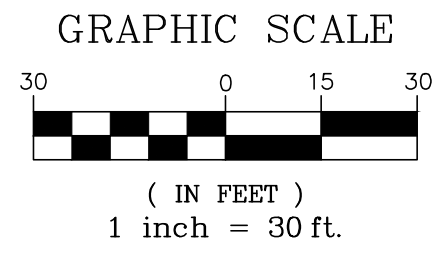
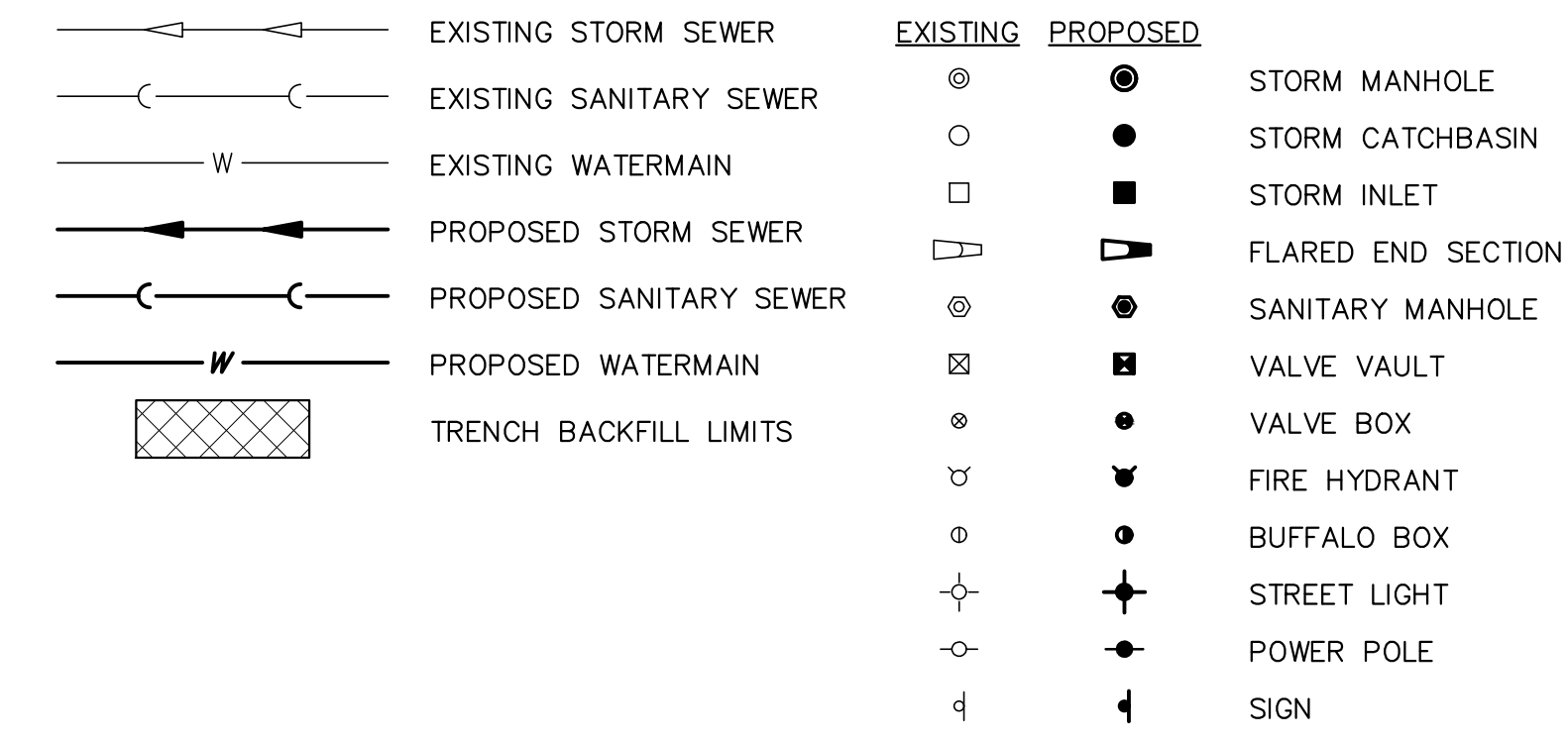
Scale:
C3.0

UTILITY PLAN NOTES

- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO INITIATING WORK. ANY DISCREPANCIES FOUND BETWEEN THE INFORMATION NOTED ON THE PLANS AND ACTUAL FIELD CONDITIONS, OR ANY CONFLICTS WITH PROPOSED IMPROVEMENTS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED ANY FURTHER UNTIL GIVEN WRITTEN CLARIFICATION ON HOW TO PROCEED.
- INSTALL STORM SEWER AS SHOWN. REFER TO STORM SEWER REQUIREMENT TABLE ON GENERAL NOTES SHEET FOR PIPE MATERIAL, JOINT, FRAME AND GRATE, STONE BEDDING AND TESTING REQUIREMENTS.
- INSTALL SANITARY SEWER AS SHOWN. REFER TO SANITARY SEWER REQUIREMENT TABLE ON GENERAL NOTES SHEET FOR PIPE MATERIAL, JOINT, FRAME AND GRATE, STONE BEDDING AND TESTING REQUIREMENTS.
- INSTALL WATERMAIN AS SHOWN. REFER TO WATER MAIN REQUIREMENT TABLE ON GENERAL NOTES SHEET FOR PIPE MATERIAL, JOINT, FRAME AND GRATE, VALVES, FIRE HYDRANT, STONE BEDDING AND TESTING REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING AS-CONSTRUCTED DOCUMENTS AT THE CONCLUSION OF THE PROJECT:
 - WATER MAIN
 - AS-CONSTRUCTED LOCATION OF ALL BENDS, TEES, VALVES, COPPER UNIONS, ETC. (MEASURED DIMENSION FROM RIM AND TOP OF PIPE ELEVATIONS FOR BURIED OBJECTS)
 - PROVIDE ALL TESTING DOCUMENTATIONS.
 - SANITARY SEWER
 - AS-CONSTRUCTED LOCATIONS OF STRUCTURES, SERVICE CONNECTIONS, CLEANOUTS.
 - RIM AND INVERT ELEVATIONS.
 - STORM SEWER
 - AS-CONSTRUCTED LOCATIONS OF STRUCTURES, SERVICE CONNECTIONS, CLEANOUTS.
 - RIM AND INVERT ELEVATIONS.
- REFER TO MEP AND ARCHITECTURAL PLANS FOR ELECTRIC AND GAS REQUIREMENTS AND FINAL ROUTING.

- THE CONTRACTOR SHALL INCLUDE ALL ASSOCIATED COSTS WITH THE REMOVAL, TRANSPORT, DISPOSAL, TESTING AND CERTIFICATION OF "UNCONTAMINATED SOIL" AS DEFINED UNDER 415 ILCS 5/3.160 INCLUDING ANY FEES, TAXES, OR SURCHARGES CHARGED BY OR THROUGH THE OPERATOR(S) OF CLEAN CONSTRUCTION OR DEMOLITION DEBRIS FILL OPERATIONS OR UNCONTAMINATED SOIL FILL OPERATIONS FOR THE ACCEPTANCE OF UNCONTAMINATED SOIL.
- ALL EXISTING STRUCTURES AS NOTED SHALL HAVE THE BOTTOM OF THE STRUCTURE AND SUMPS VACUUM CLEANED.
- ALL CONNECTIONS TO EXISTING STRUCTURES SHALL BE MACHINED CORED HOLES.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO ALL INLETS AND CATCHBASINS. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- DRAINAGE, SEWER AND VALVE VAULT RIMS SHALL BE FLUSH WITH ADJACENT FINISHED GRADES. ALL RIM ELEVATION OF STRUCTURES SHALL BE ADJUSTED TO FINISHED GRADE OF ROADWAYS, ISLAND, CURB LINES, ETC. IF A CONFLICT EXISTS, NOTIFY ENGINEER PRIOR TO FINAL ADJUSTMENT OF STRUCTURE ELEVATION.
- INSTALL SITE LIGHTING PER ELECTRICAL PLANS. REFER TO ELECTRICAL PLANS FOR LIGHT FIXTURE, POST, MAKE AND MODEL AND FOUNDATION DETAILS. ALSO REFER TO ELECTRICAL PLANS FOR FINAL WIRE ROUTING CONNECTIONS AND REQUIREMENTS.
- INSTALL POWER FEED CONDUITS AS SHOWN. REFER TO ELECTRICAL PLANS FOR CONDUIT AND MANHOLE DETAILS AND BUILDING TERMINATION CONNECTIONS.

UTILITY PLAN LEGEND

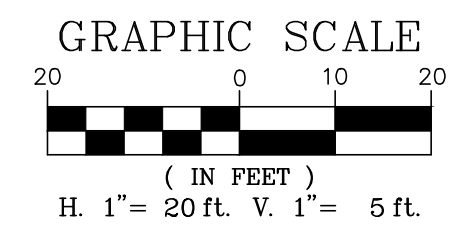


**Kaneland 2026
Building Relocation**

1601 Esker Drive
Sugar Grove, IL 60554

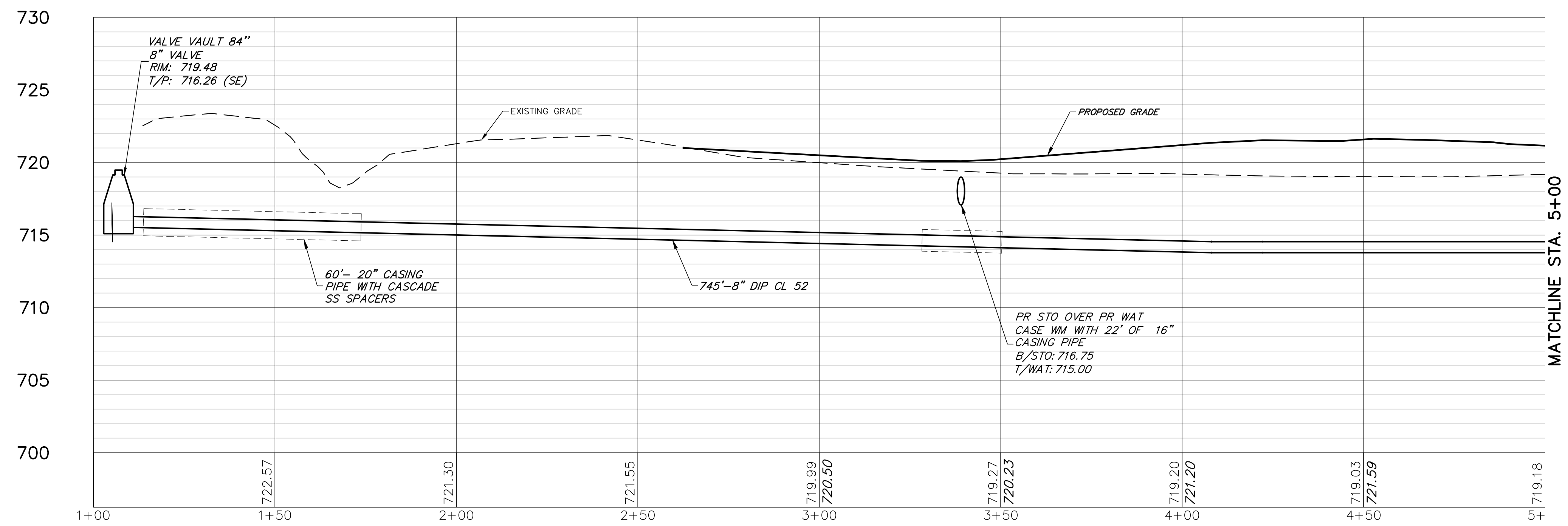
Total Acreage: 100.09 Acres
Proof of Ownership: Deed# 306027

Kaneland CUSD 302
47W326 Keslinger Rd,
Maple Park, IL 60151

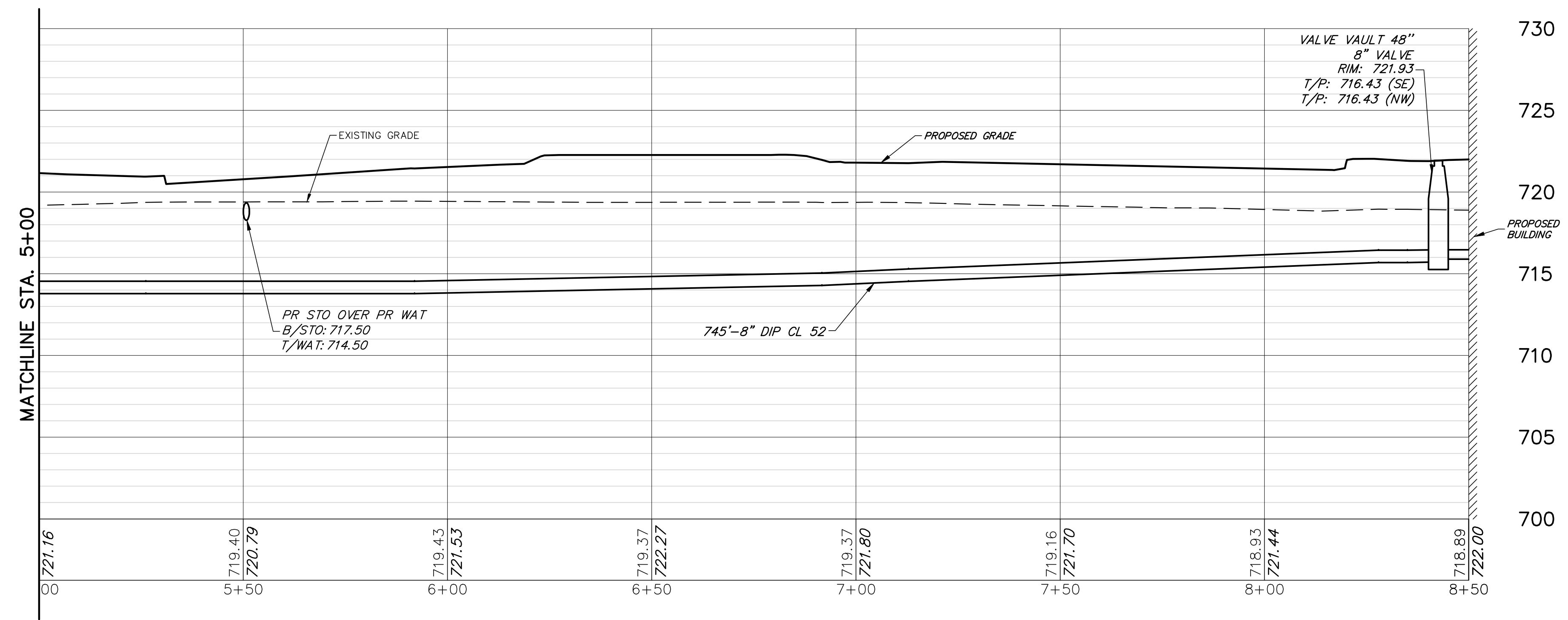


**WOLD ARCHITECTS
AND ENGINEERS**
220 N. Smith Street, Suite 310
Palatine, Illinois 60067
woldaec.com | 847 241 6100

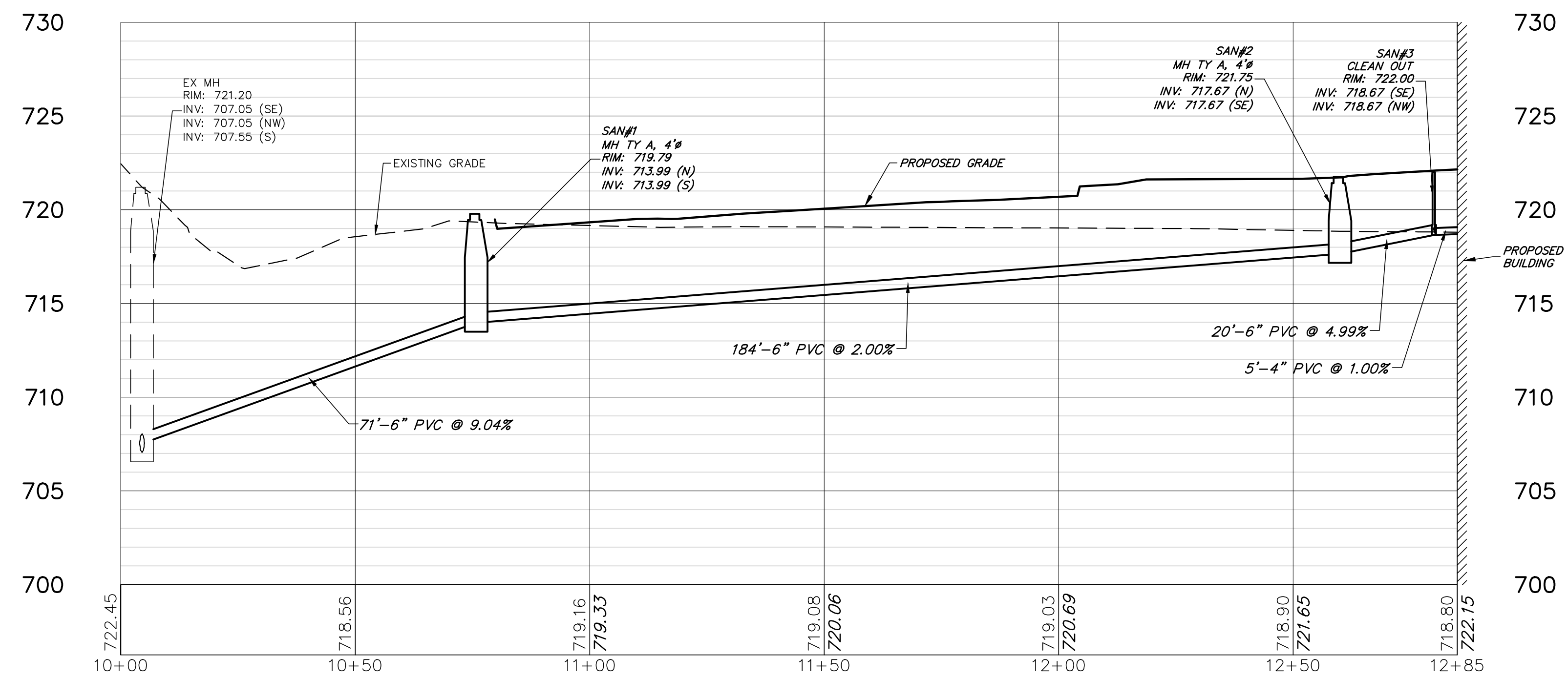
**GHA GEWALT HAMILTON
ASSOCIATES, INC.**
CONSULTING ENGINEERS



**WATER MAIN PROFILE
STA. 1+00 TO 5+00**



**WATER MAIN PROFILE
STA. 5+00 TO 8+50**



SANITARY SEWER PROFILE

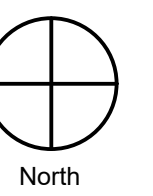
**PETITION FOR LAND DEVELOPMENT
SUBMITTAL - VILLAGE OF SUGAR GROVE**

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ENGINEER under the laws of the State of ILLINOIS

BRIAN JOSEPH WESOLOWSKI
License Number: 062-066656 Date: 11/30/27

Description	Revisions		▲
	Date	Num	

Comm: 253047
Date: 2/20/2026
Drawn: BRS
Check: BJW



**WATER MAIN &
SANITARY
PROFILE**

Scale:

C4.1

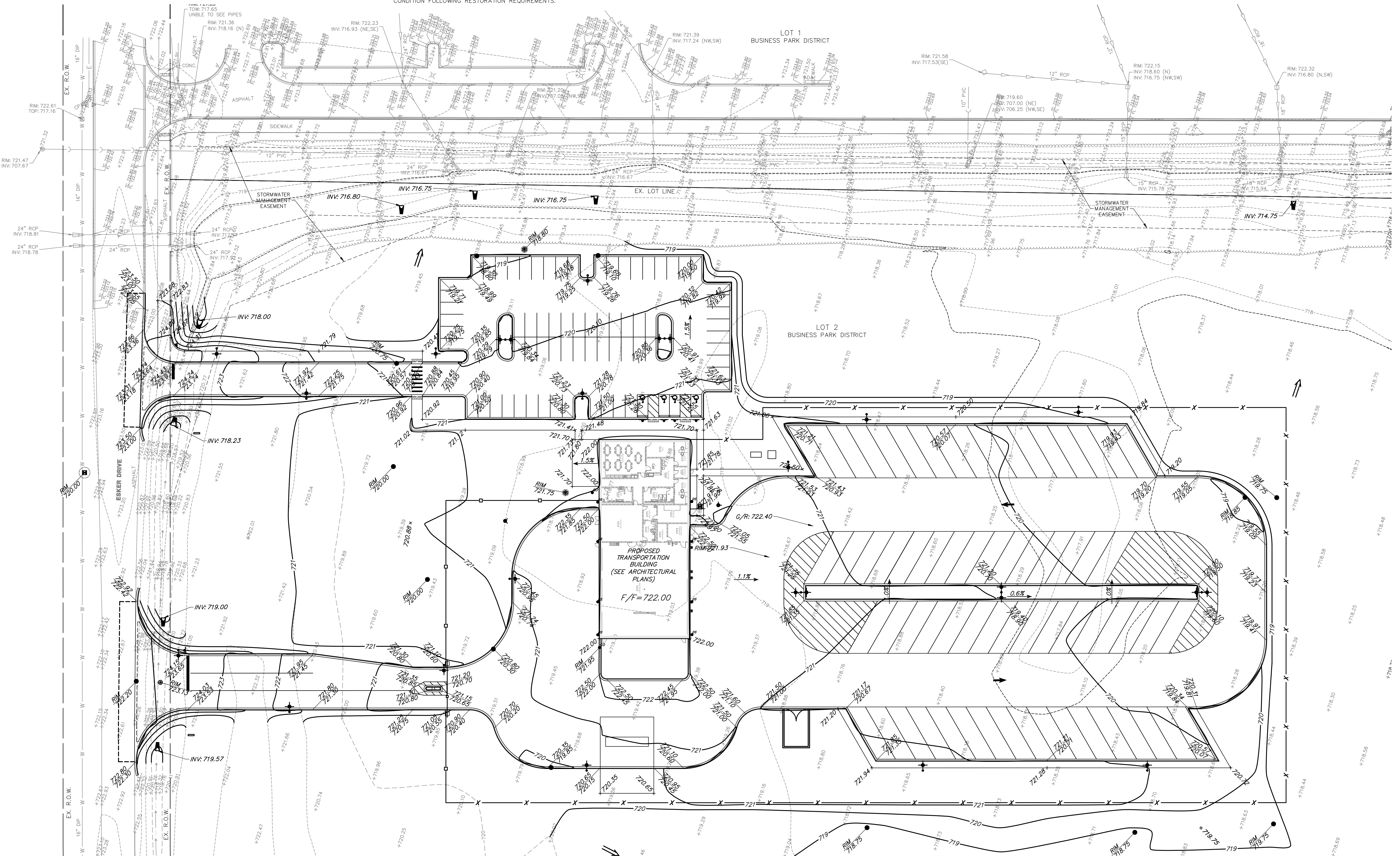
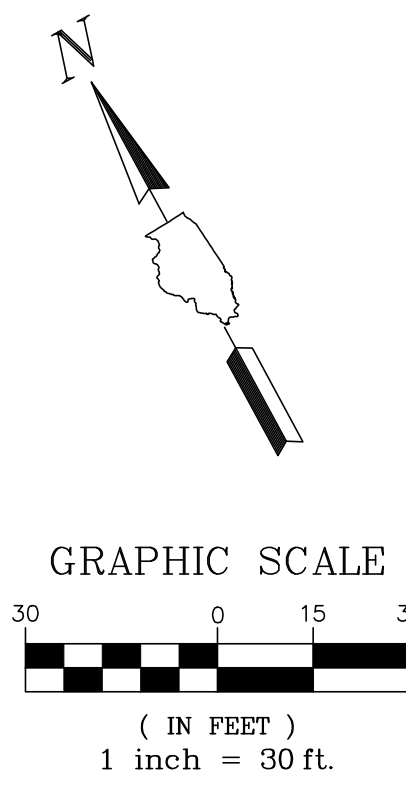
GRADING PLAN NOTES

- PRIOR TO STARTING ANY CONSTRUCTION, PROVIDE SOIL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLANS AND AS REQUIRED PER IEPA NPDES GUIDELINES. REFER TO NOTES AND DETAILS THROUGHOUT THE ENTIRE PLAN SET.
- PRIOR TO STARTING ANY EXCAVATION WORK, PROVIDE TREE PROTECTION, PRESERVATION AND ROOT PRUNING AS SHOWN ON THE PLANS AND NOTES THROUGHOUT THE ENTIRE PLAN SET.
- CONTRACTOR SHALL REFER TO SUBSURFACE SOIL EXPLORATION REPORT.
- REFER TO GENERAL NOTES FOR GRADING, COMPACTION AND PROOF ROLL REQUIREMENTS.
- HANDICAP ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED BETWEEN 1.0% AND 1.9% MAXIMUM SLOPES IN ANY ONE DIRECTION. ILLINOIS ACCESSIBILITY CODE PERMITS A MAXIMUM CONSTRUCTED SLOPE OF 2.00%.
- CRUSHED CONCRETE MEETING IDOT CERTIFICATIONS FOR THE DESIGN PLAN GRADATIONS FOR NON-POROUS PAVEMENT AND SIDEWALK STONE BASE, STRUCTURAL FILL, AND TRENCH BACKFILL WILL BE PERMITTED.
- CRUSHED CONCRETE MAY NOT BE USED FOR UNDERDRAIN TRENCH OR POROUS FILL CONDITIONS.
- THE CONTRACTOR SHALL IMPORT OR EXPORT SOIL AS NECESSARY TO CONSTRUCT THE SITE TO SPECIFIED PLAN GRADES. SUCH WORK IS CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR SUCH WORK. MINOR ADJUSTMENTS TO GRADES CAN BE ACCOMMODATED WITH PROJECT ENGINEER APPROVAL.
- THE CONTRACTOR SHALL INCLUDE ALL ASSOCIATED COSTS WITH THE REMOVAL, TRANSPORT, DISPOSAL, TESTING AND CERTIFICATION OF "UNCONTAMINATED SOIL" AS DEFINED UNDER 415 ILCS 5/3.160 INCLUDING ANY FEES, TAXES, OR SURCHARGES CHARGED BY OR THROUGH THE OPERATOR(S) OF CLEAN CONSTRUCTION OR DEMOLITION DEBRIS FILL OPERATIONS OR UNCONTAMINATED SOIL FILL OPERATIONS FOR THE ACCEPTANCE OF UNCONTAMINATED SOIL.
- ALL STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED TURF AND PAVEMENT GRADES.

- REFER TO SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS FOR SEED AND BLANKET REQUIREMENTS FOR TEMPORARY STABILIZATION.
- REFER TO GEOMETRIC PLAN OR LANDSCAPE PLAN FOR FINAL RESTORATION REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE THE FOLLOWING AS-CONSTRUCTED DOCUMENTS AT THE CONCLUSION OF THE PROJECT:
 - STORMWATER BASINS AND SWALES IMPOUNDING WATER
 - TOP OF BERM, OVERFLOW, AND BOTTOM OF BASIN ELEVATIONS
 - STRUCTURE AND FLARED END SECTIONS ELEVATIONS WITHIN BASIN
 - CONTROL STRUCTURE RESTRICTOR SIZE AND ELEVATION.
 - AS-CONSTRUCTED VOLUMES WITHIN RESPECTIVE BASINS UP TO OVERFLOW ELEVATION.
 - LAWN OR OPEN SPACE AREAS
 - SPOT ELEVATIONS AT A MAXIMUM 50 FOOT GRID.
 - SPOT ELEVATION TOP AND BOTTOM OF BERMS OR SWALES
 - SPOT ELEVATIONS AND RIDGE / HIGH AND LOW POINTS.
 - PARKING LOT AND HARD SURFACES
 - TOP OF CURB AND FLOWLINE ELEVATIONS AT SIMILAR LOCATIONS TO PROPOSED GRADING.
 - SPOT ELEVATIONS AT SUMMIT / HIGH AND LOW POINTS.
 - ADA PARKING STALLS, SIDEWALK RAMPS, AND ADA ROUTES
 - PROVIDE 6 SPOT ELEVATIONS WITHIN THE PARKING STALL 3 ALONG THE FRONT AND REAR OF THE STALL AT 8 FOOT SPACING ALONG THE STALL PAVEMENT MARKINGS.
 - PROVIDE 4 SPOT GRADES PER SQUARE AT LANDINGS AND ANY TAMPERS OR RAMPS.
 - PROVIDE SPOT ELEVATIONS ALONG ROUTE AT MAXIMUM 10 FOOT SPACING ON BOTH SIDES OF THE PATH TO CONFIRM CROSS AND LONGITUDINAL SLOPES REQUIREMENTS HAVE BEEN MET.
 - BUILDINGS
 - TOP OF FOUNDATION ELEVATIONS.
 - FINISHED FLOOR ELEVATIONS AT DOORWAYS.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO ALL INLETS AND CATCHBASINS. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ALL LAWN AREAS DISTURBED AS A RESULT OF CONSTRUCTION SHALL BE RESTORED TO PRECONSTRUCTION LAWN CONDITION FOLLOWING RESTORATION REQUIREMENTS.

GRADING LEGEND

- TOP OF CURB FLOW LINE
- PROPOSED SPOT ELEVATION
- CONTOUR
- STRUCTURE ADJUSTMENT
- SUMMITS
- SLOPES
- SWALES
- OVERLAND FLOW ROUTE
- B6.12 CURB & GUTTER (REGULAR)
- B6.12 CURB & GUTTER (DEPRESSED)
- B6.12 CURB & GUTTER (REVERSE PITCH)
- DETECTABLE WARNINGS



Kaneland 2026 Building Relocation

1601 Esker Drive
Sugar Grove, IL 60554

Total Acreage: 100.09 Acres
Proof of Ownership: Deed# 306027

Kaneland CUSD 302

47W326 Keslinger Rd,
Maple Park, IL 60151



WOLD ARCHITECTS AND ENGINEERS

220 N. Smith Street, Suite 310
Palatine, Illinois 60067
woldae.com | 847 241 6100

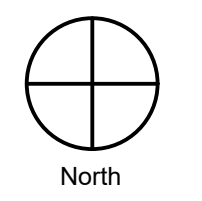
GHA GEWALT HAMILTON ASSOCIATES, INC.
CONSULTING ENGINEERS

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ENGINEER under the laws of the State of ILLINOIS

BRIAN JOSEPH WESOLOWSKI
License Number: 062-066656 Date: 11/30/27

Description	Revisions		▲
	Date	Item	

Comm: 253047
Date: 2/20/2026
Drawn: BRS
Check: BJW



GRADING PLAN

Scale:

C5.0

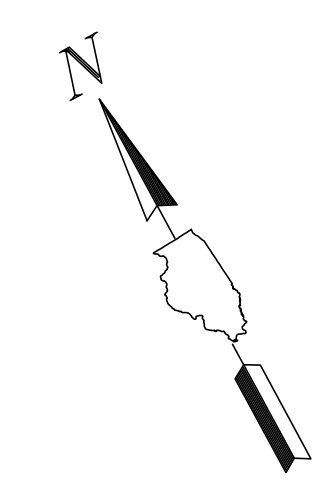
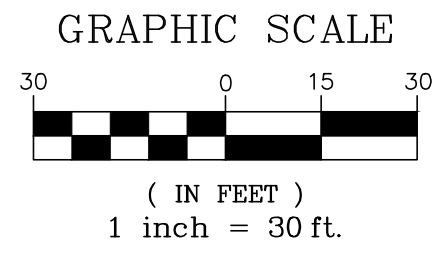
**PETITION FOR LAND DEVELOPMENT
SUBMITTAL - VILLAGE OF SUGAR GROVE**

IL

A
B
C
D
E
F

SESC LEGEND

- TOPSOIL FURNISH AND PLACE, VARIABLE DEPTH, 6" MIN. SEEDING, CLASS 1A
- EROSION CONTROL BLANKET NAG S75 (4:1 SLOPES)
- EROSION CONTROL BLANKET NAG S150 (3:1 SLOPES OR STEEPER)
- EROSION CONTROL BLANKET NAG C350 (EMERGENCY OVERFLOW)
- STONE RIP-RAP
- HYDROMULCH
- ROCK CONSTRUCTION ENTRANCE
- SILT FENCE INSTALLATION
- CONSTRUCTION FENCE INSTALLATION
- STORM SEWER INLET PROTECTION:
 - INLET FILTER BASKET
 - INLET FILTER BASKET & COIR LOG
- GEO-RIDGE DITCH CHECK
- TRIANGULAR SILT DIKE
- COIR LOG
- PORTABLE RESTROOM FACILITY
- SEDIMENT BASIN/TRAP
- TEMPORARY PERFORATED RISER
- CONCRETE WASHOUT
- SEDIMENT REMOVAL CHANNEL



Kaneland 2026 Building Relocation

1601 Esker Drive
Sugar Grove, IL 60554
Total Acreage: 100.09 Acres
Proof of Ownership: Deed# 306027

Kaneland CUSD 302

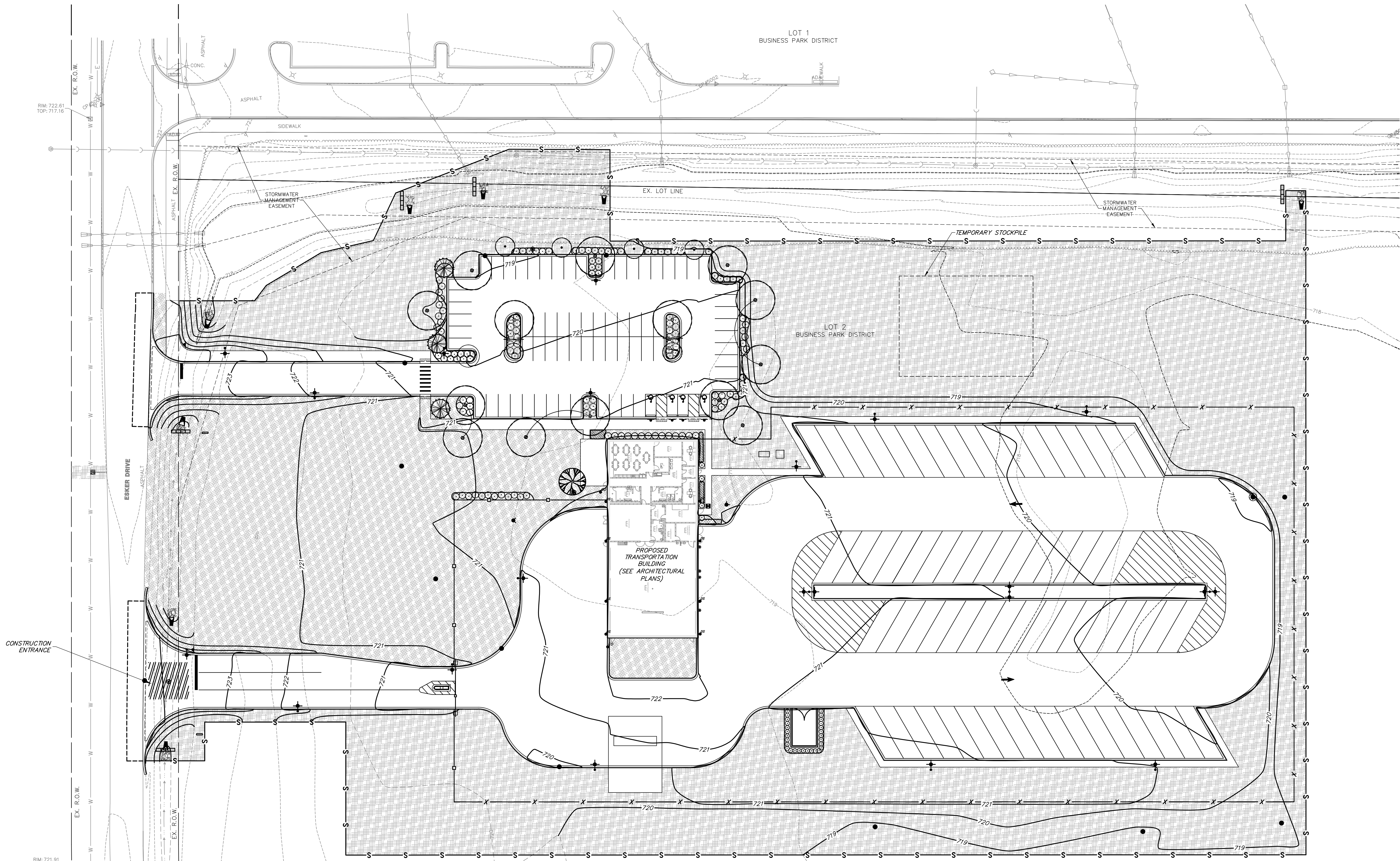
47W326 Keslinger Rd,
Maple Park, IL 60151



WOLD ARCHITECTS AND ENGINEERS

220 N. Smith Street, Suite 310
Palatine, Illinois 60067
woldaec.com | 847 241 6100

GHA GEWALT HAMILTON ASSOCIATES, INC. CONSULTING ENGINEERS



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ENGINEER under the laws of the State of ILLINOIS

BRIAN JOSEPH WESOLOWSKI
License Number: 062-066656 Date: 11/30/27

Description	Revisions		▲
	Date	Num	

Comm: 253047
Date: 2/20/2026
Drawn: BRS
Check: BJW
North

SOIL EROSION AND SEDIMENT CONTROL PLAN

Scale:
C6.0

PETITION FOR LAND DEVELOPMENT SUBMITTAL - VILLAGE OF SUGAR GROVE

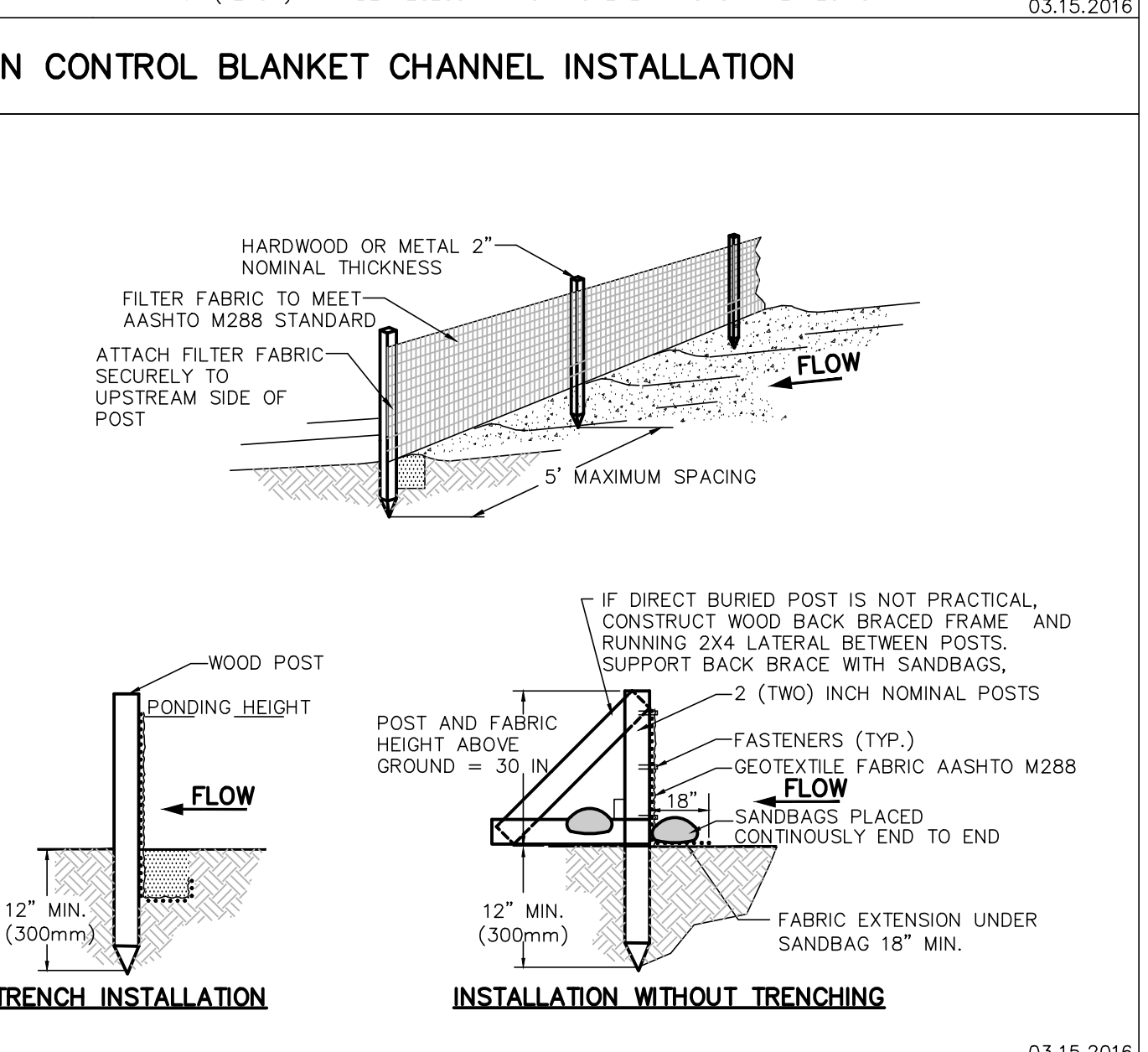
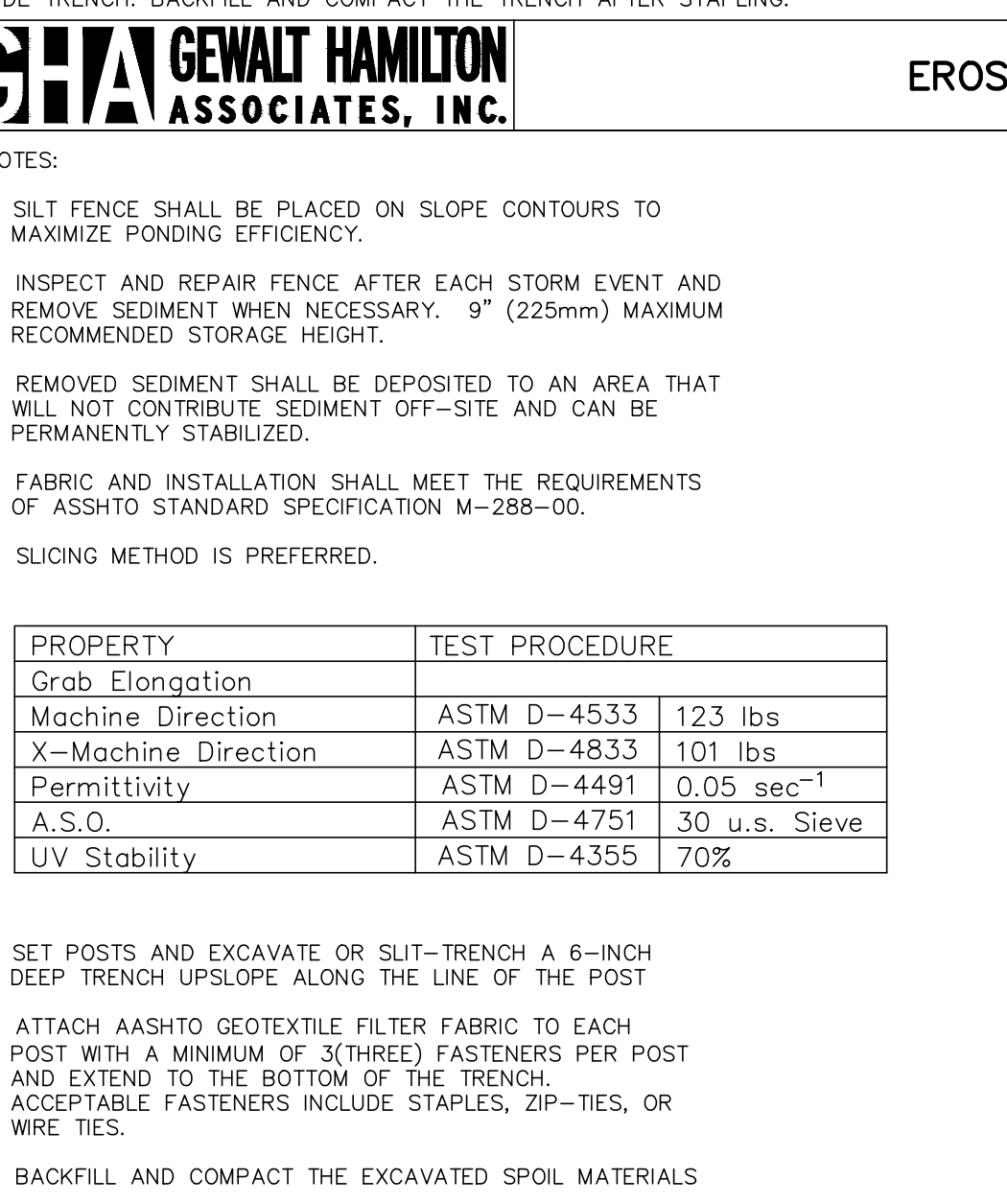
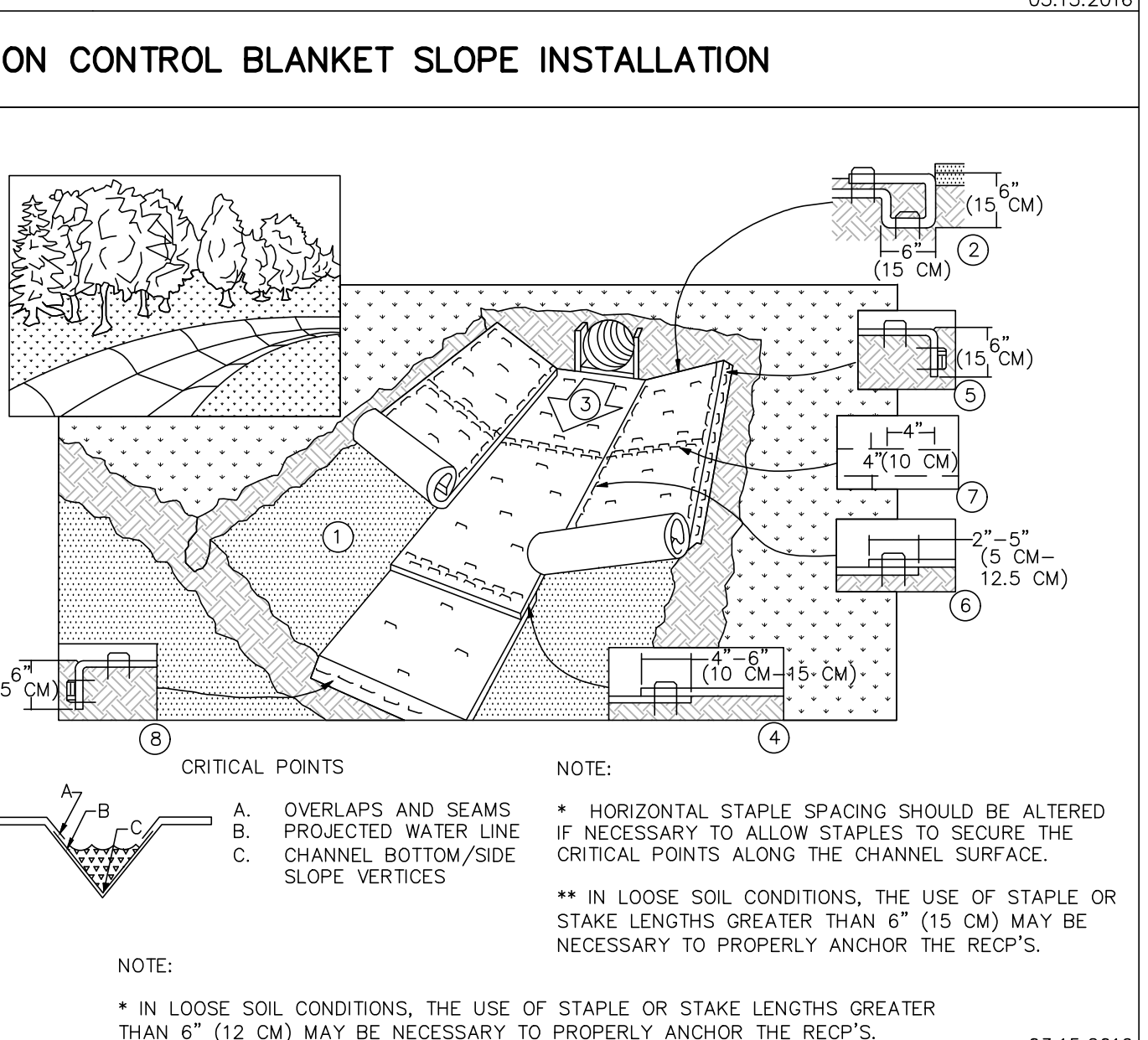
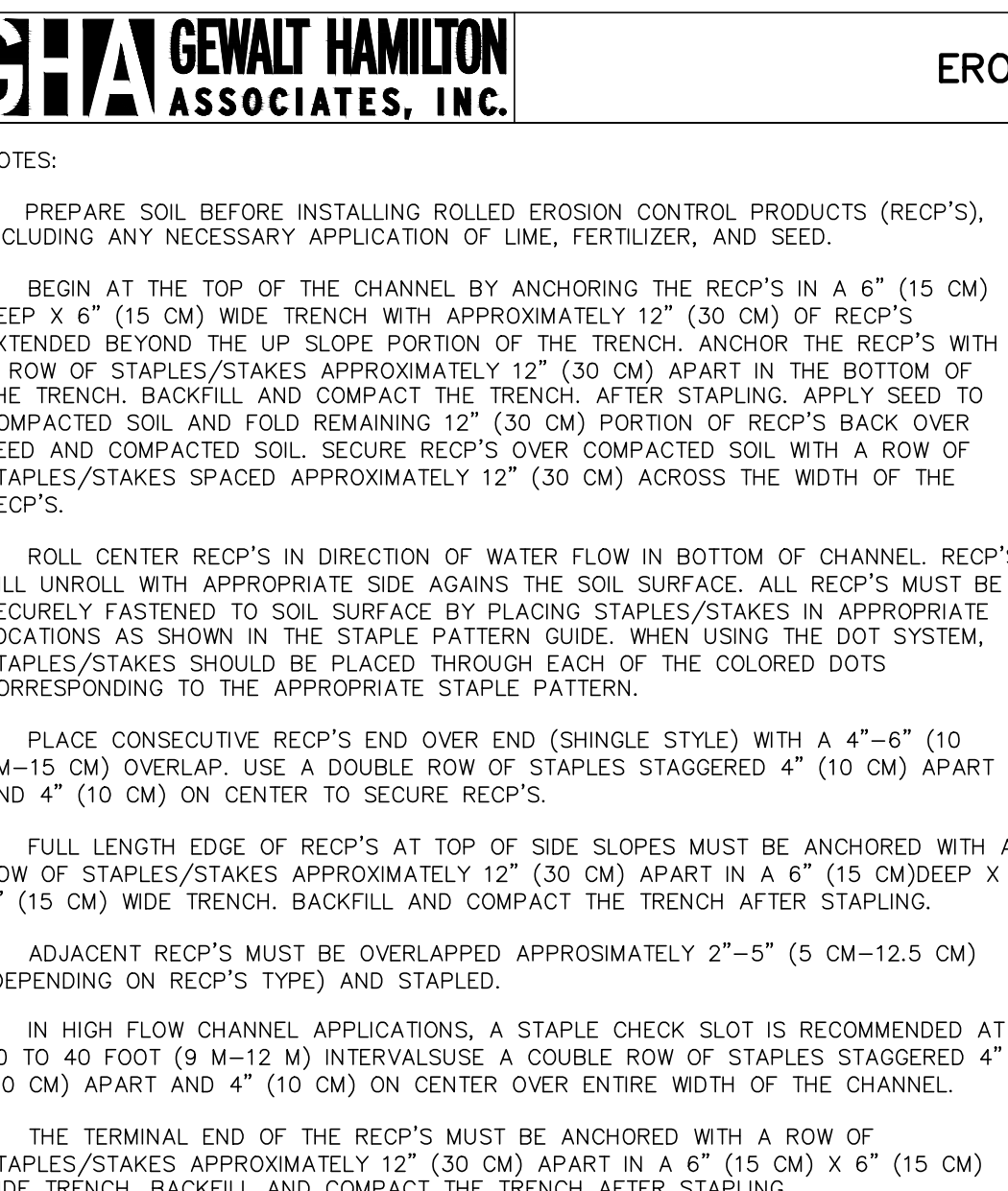
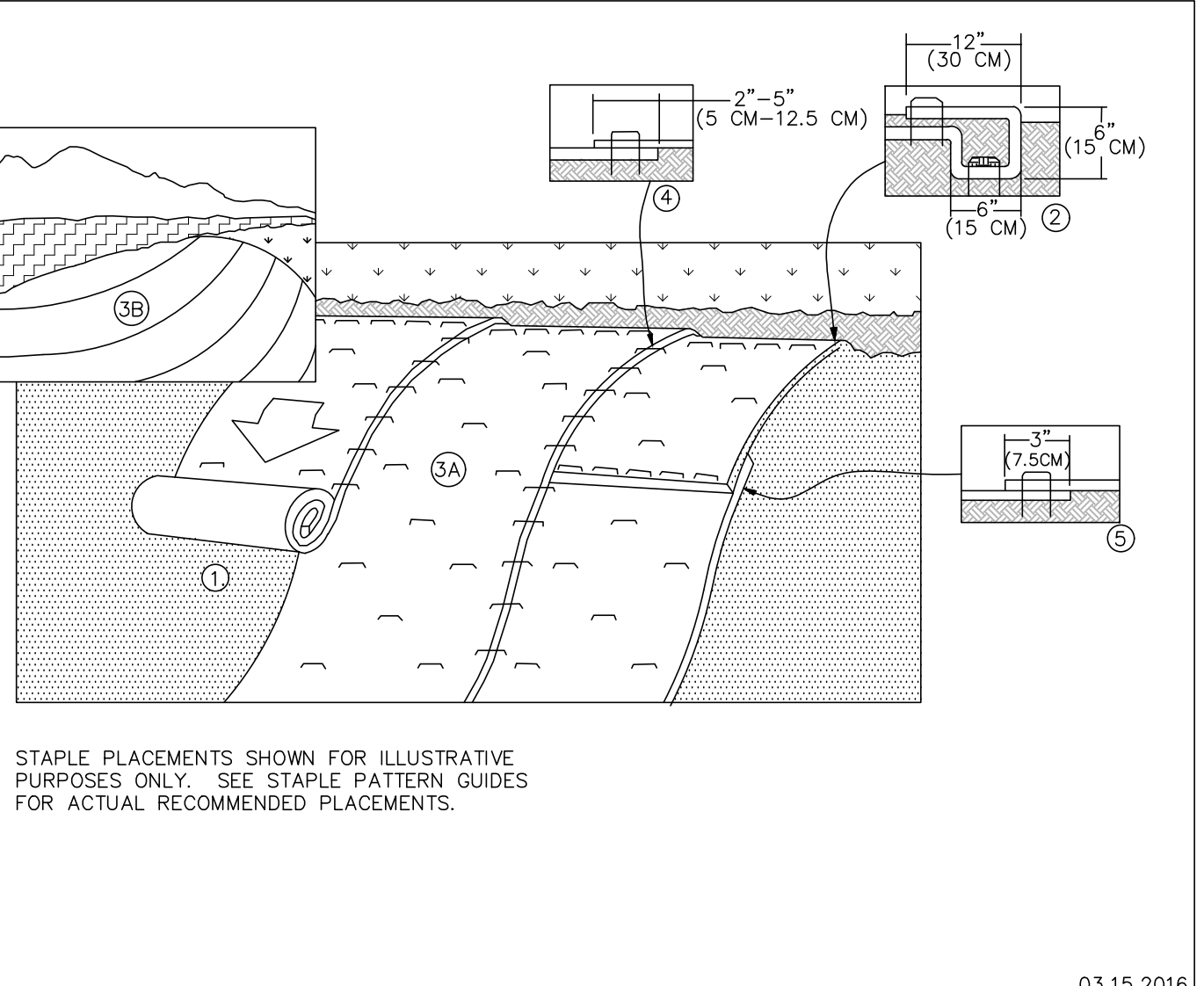
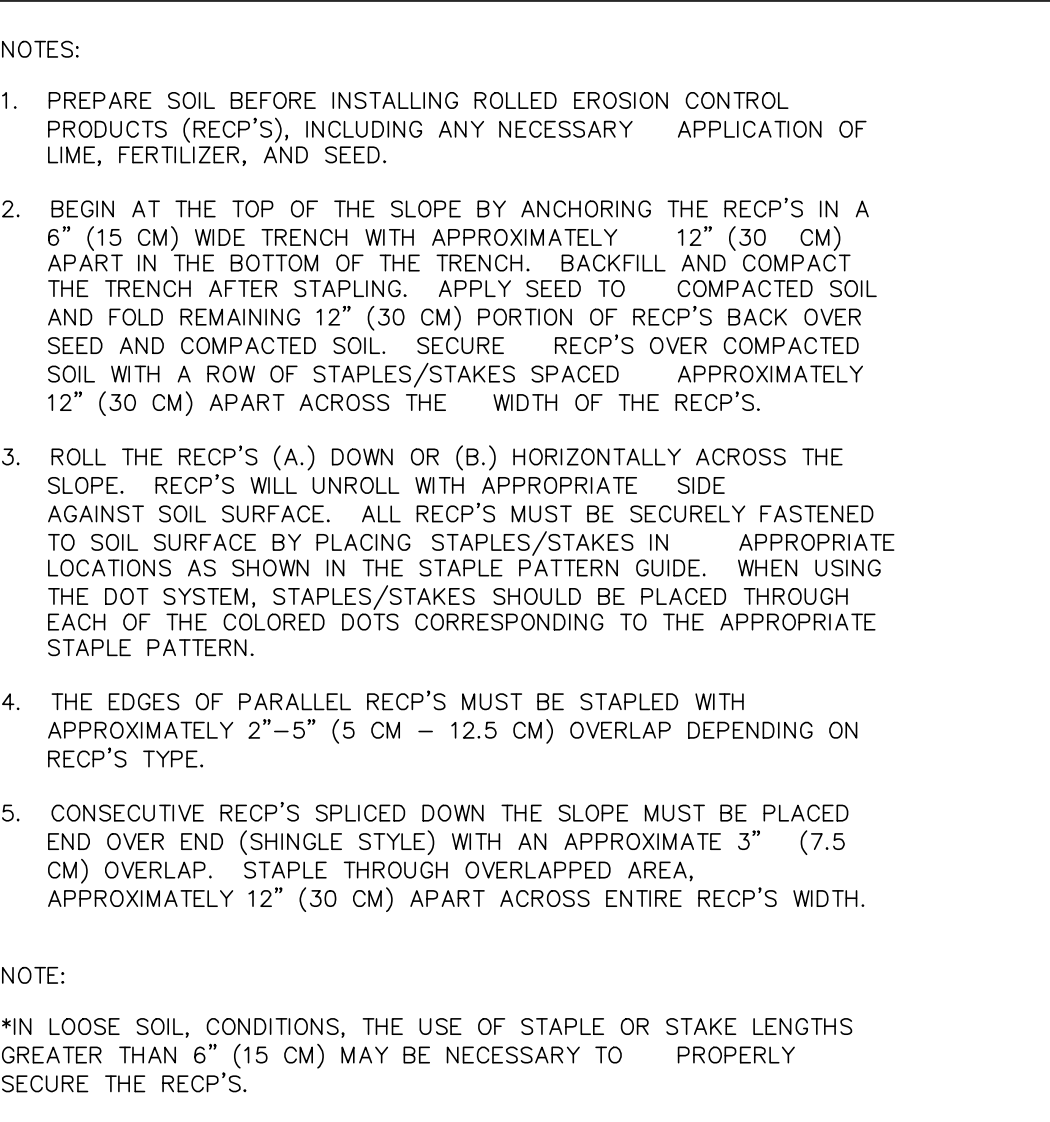
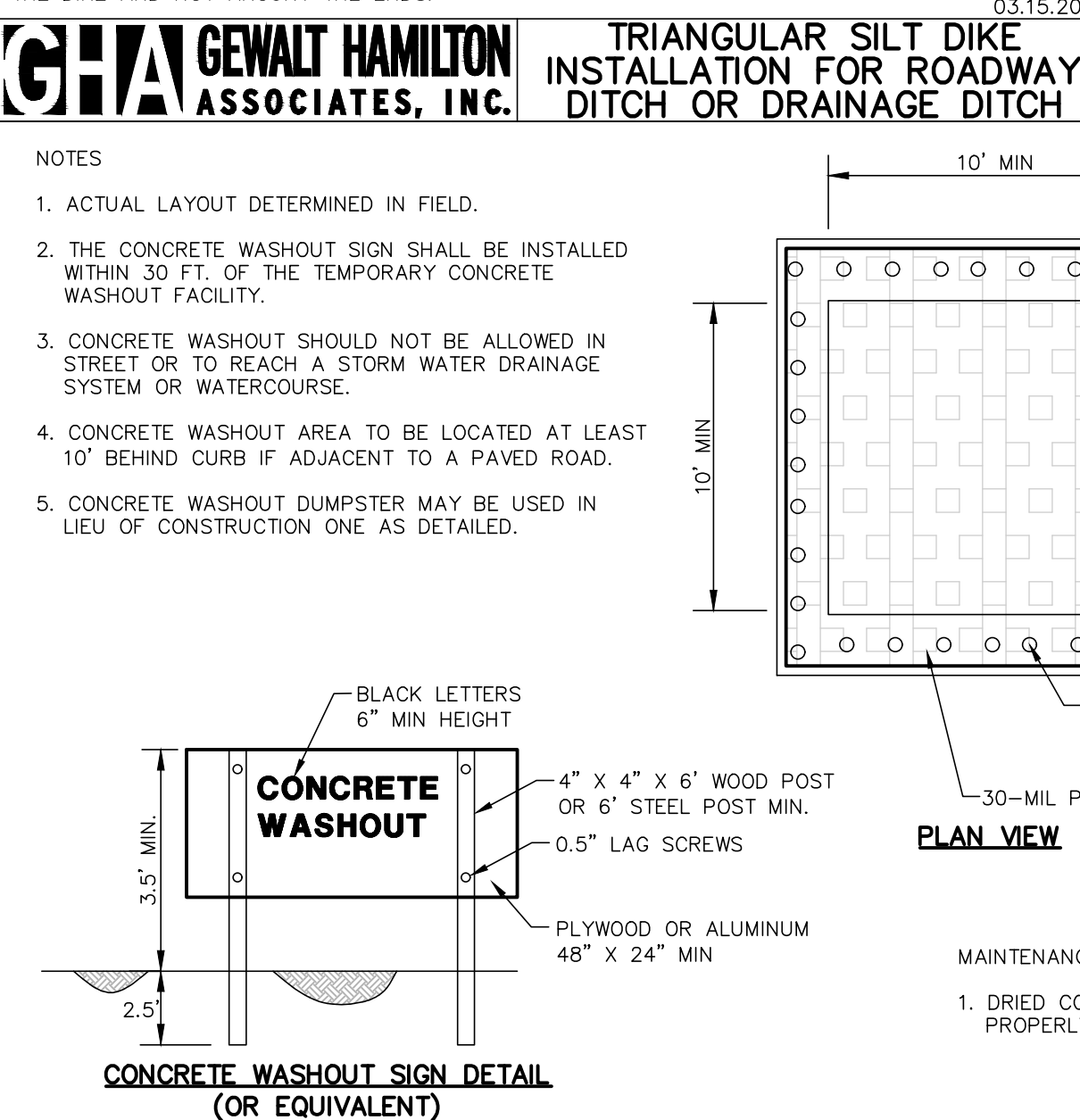
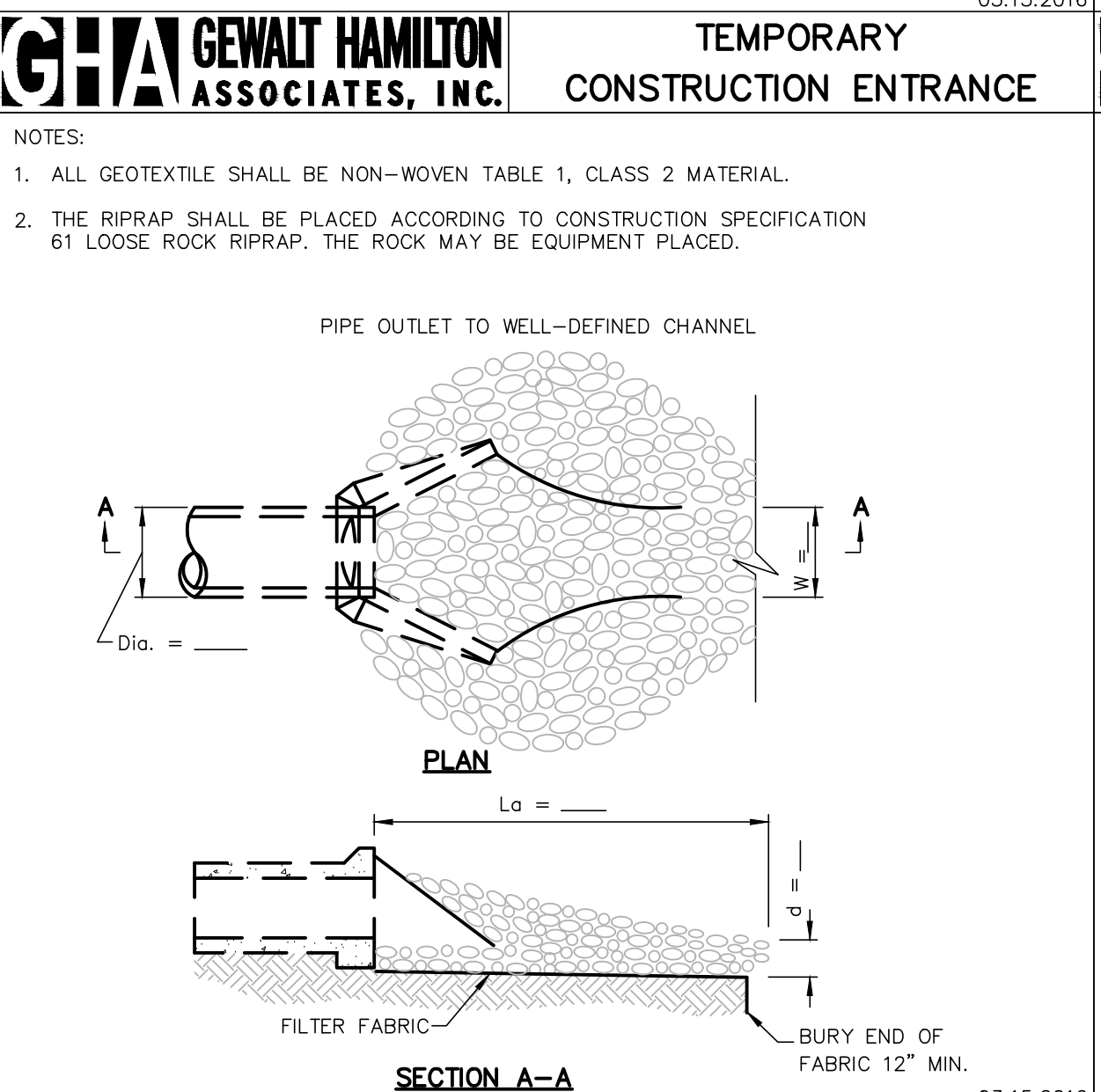
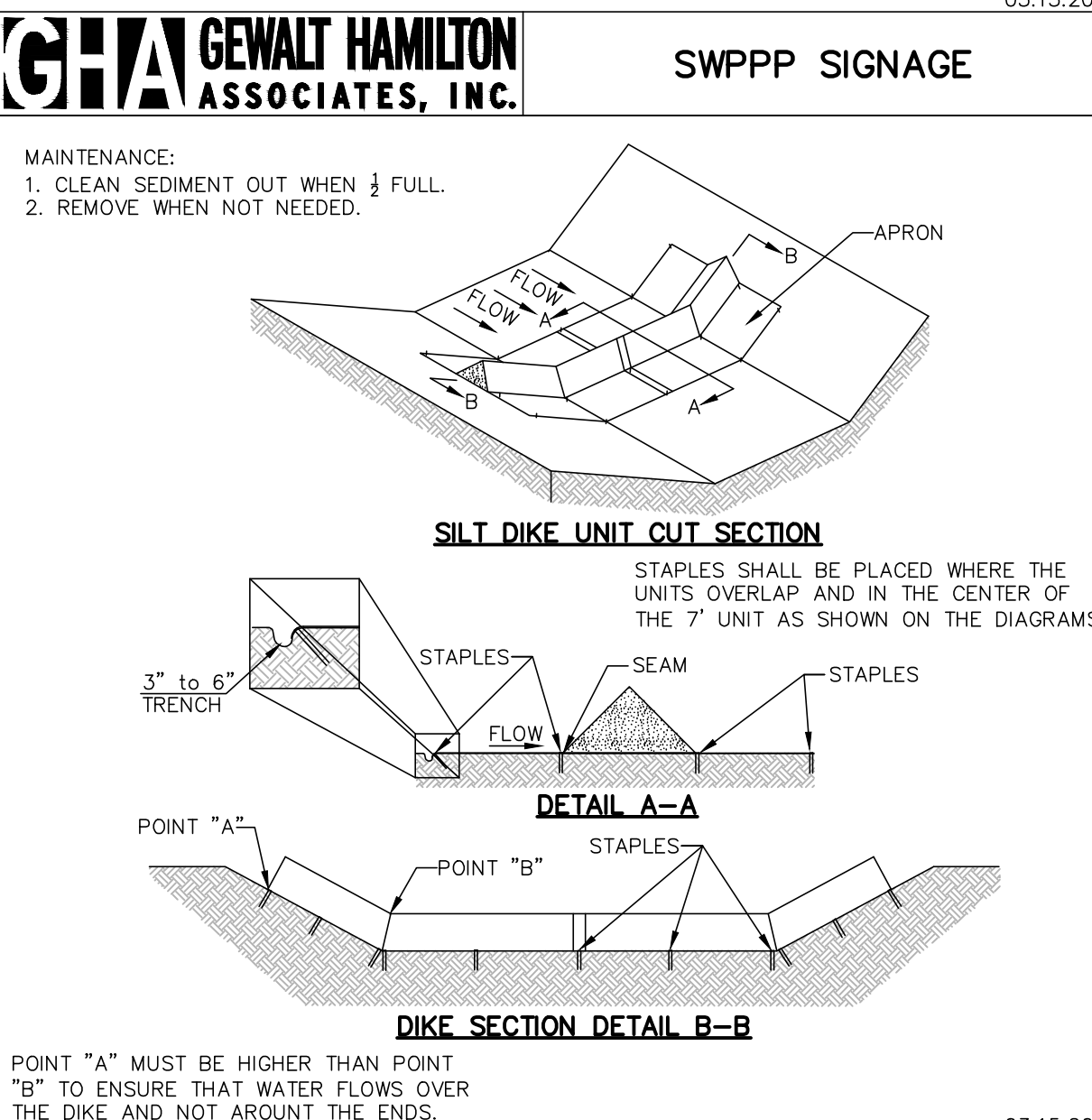
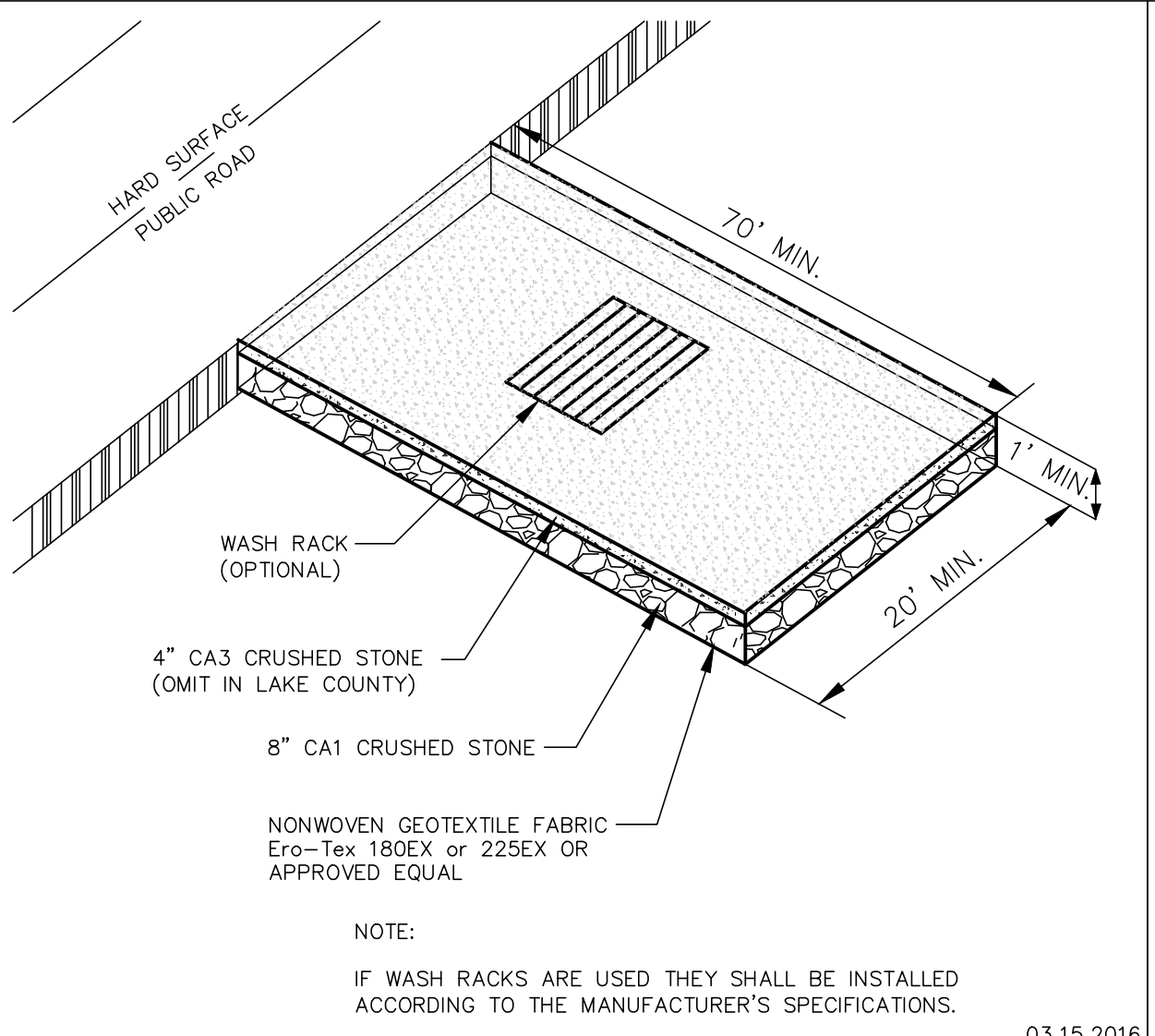
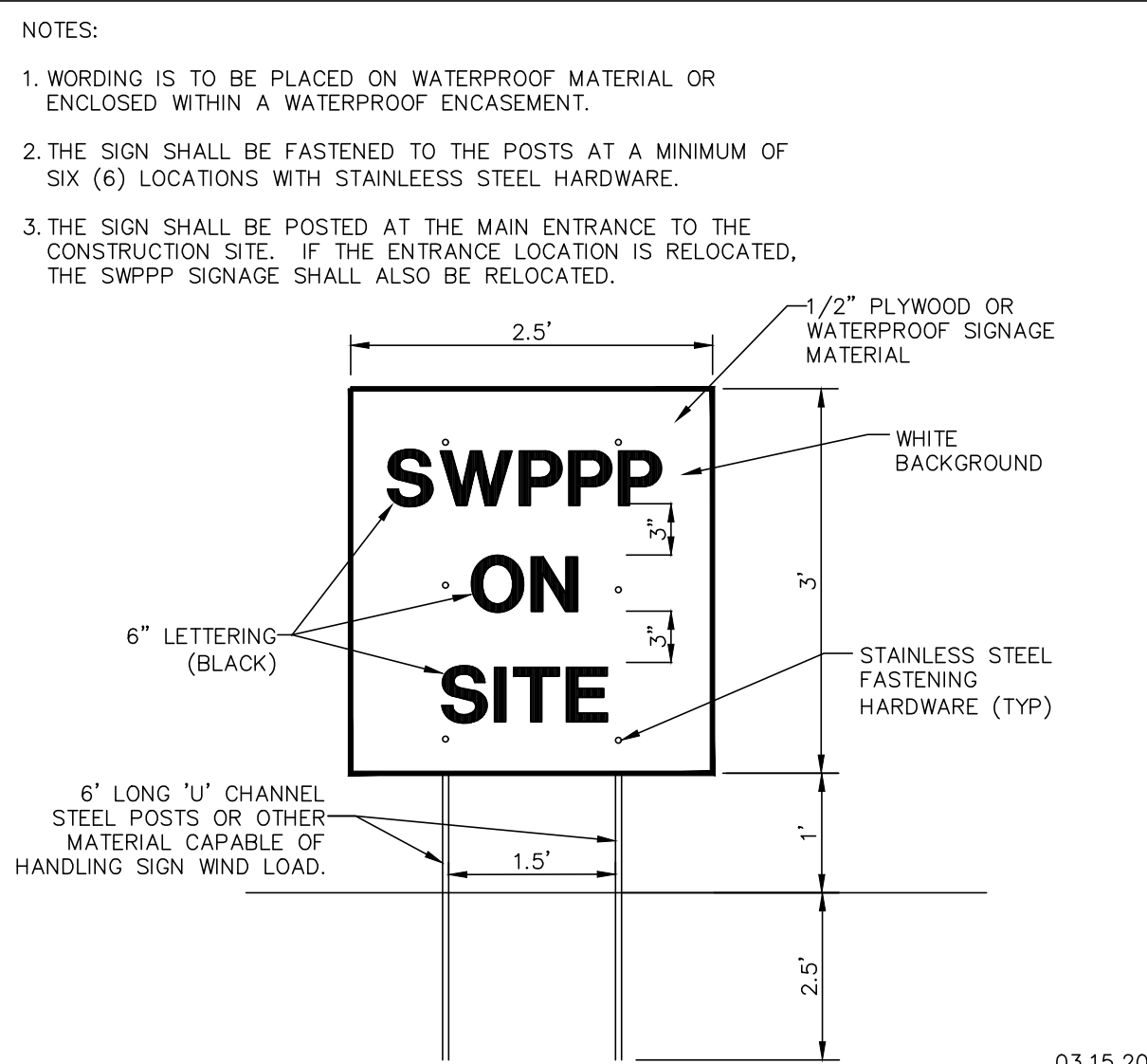
A

SEDIMENTATION AND EROSION CONTROL NOTES

- THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS COMPRISED OF THE SOIL REVISION AND SEDIMENT CONTROL DETAILS. THE PLAN NARRATIVE, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE (SWPPP) AND THE ILLINOIS GENERAL CONSTRUCTION PERMIT (LR10) AND BECOME FAMILIAR WITH THEIR CONTENTS AND SIGN THE CERTIFICATION FORMS.
- BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY, PROJECT ENGINEER OR OWNER.
- PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED. WATER USE MUST NOT CAUSE ADDITIONAL EROSION.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE (SWPPP), SHALL BE INITIATED AS SOON AS PRACTICABLE.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT, WASHING SHALL BE IMPLEMENTED AND PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED BY THE END OF THE DAY.
- ON-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE PLAN AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- ERODIBLE STOCKPILES MUST BE ENCLOSED WITH SILT FENCE BY THE END OF THE WORK DAY.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. SOIL STABILIZATION MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS AND THE USE OF TEMPORARY OR PERMANENT MEASURES.
- SOIL EROSION AND SEDIMENT CONTROL FEATURES SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF HYDROLOGIC DISTURBANCE OF UPLAND AREAS.
- DISTURBED AREAS SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN 7 CALENDAR DAYS OF THE END OF ACTIVE HYDROLOGIC DISTURBANCE OR REDISTURBANCE.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE PROPERTY OWNER SHALL ULTIMATELY BE RESPONSIBLE FOR MAINTENANCE AND REPAIR.
- IF Dewatering SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION. DISCHARGES SHALL BE ROUTED THROUGH AN EFFECTIVE SEDIMENT CONTROL MEASURE (e.g. SEDIMENT TRAP, SEDIMENT BASIN, OR OTHER APPROPRIATE MEASURE).
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER OR GOVERNING AGENCY.

SEQUENCE OF MAJOR ACTIVITIES

- OWNER FILES NOTICE OF INTENT (NOI) AT LEAST 30 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.
- INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES:
 - ORANGE CONSTRUCTION FENCING AND/OR SILT FENCE AROUND WETLANDS AND OTHER AREAS NOT TO BE DISTURBED.
 - PERMETER SILT FENCE.
 - STABILIZED CONSTRUCTION ENTRANCE WITH WASH RACK.
 - INLET PROTECTION ON EXISTING STRUCTURES CLOSE TO THE DISTURBED AREA.
- CONTRACTOR PERFORMS WEEKLY AND "AFTER RAIN EVENT" INSPECTIONS STARTING UPON DISTURBANCE OF THE SITE (DEMOLITION OR INSTALLATION OF SOIL EROSION AND SEDIMENT CONTROL MEASURES).
- DEMOLITION
- TREE REMOVAL WHERE NECESSARY (CLEAR & GRUB).
- CONSTRUCT SEDIMENT TRAPPING DEVICES (SEDIMENT TRAPS, BASINS AND SEDIMENT REMOVAL CHANNELS).
- DEWATER INTO SEDIMENT REMOVAL CHANNEL, WHICH DISCHARGES TO AN UPLAND AREA. THE HOSE IN THE AREA BEING DEWATERED MUST BE ATTACHED TO A FLOATING DEVICE WITH A SCREEN.
- CONSTRUCT DETENTION FACILITIES AND OUTLET CONTROL STRUCTURE WITH RESTRICTOR AND TEMPORARY PERFORATED RISER. PERMANENTLY STABILIZE THE AREA WITH TOPSOIL, SEED AND EROSION CONTROL BLANKET.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING PLANT GROWTH IN BOTTOM AND SIDE SLOPES OF BASIN. DEWATERING, AS NEEDED, SHALL BE INCIDENTAL TO THE CONTRACTOR'S SCOPE.
- ABANDON THE EXISTING SITE STORM DRAINAGE; PROTECTION OF ENTRY INTO EXISTING STORM DRAINAGE SYSTEM.
- STRIP TOPSOIL, STOCK TOPSOIL AND GRADE SITE.
- TEMPORARY CONTAINMENT OF SOIL/AGGREGATE STOCKPILES (SEED AND SILT FENCE AROUND TOE OF SLOPE).
- INSTALL UTILITIES AND ASSOCIATED INLET & OUTLET PROTECTION.
- CONSTRUCT BUILDING AND PAVEMENT.
- FINE GRADE.
- INSTALL TOPSOIL, SEED, AND PERMANENT EROSION CONTROL.
- REMOVE TEMPORARY EROSION CONTROL MEASURE - ONLY - WHEN SITE HAS ACHIEVED FULL STABILIZATION.
- OWNER TO FILE NOTICE OF TERMINATION (NOT).



SEEDING SCHEDULE

PERMANENT SEEDING MIXTURE	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JULY	AUG	SEPT	OCT	NOV	DEC
PERMANENT SEEDING MIXTURE														
TEMPORARY SEEDING MIXTURE														

FERTILIZER MIXTURE FOR PROPOSED SEEDING AREAS

NITROGEN	PHOSPHORUS	POTASSIUM
90 LBS./AC.	90 LBS./AC. OR 120 LBS./AC. P ₂ O ₅	90 LBS./AC. OR 120 LBS./AC. K ₂ O

SEEDING INFORMATION AND SCHEDULE

PROJECT	DATE	ENGINEER	SCALE
Village of Sugar Grove	11/15/24	SG-SE	11

SEEDING SCHEDULE

PERMANENT SEEDING MIXTURE	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JULY	AUG	SEPT	OCT	NOV	DEC
PERMANENT SEEDING MIXTURE														
TEMPORARY SEEDING MIXTURE														

FERTILIZER MIXTURE FOR PROPOSED SEEDING AREAS

NITROGEN	PHOSPHORUS	POTASSIUM
90 LBS./AC.	90 LBS./AC. OR 120 LBS./AC. P ₂ O ₅	90 LBS./AC. OR 120 LBS./AC. K ₂ O

EROSION CONTROL BLANKET SHALL BE PROVIDED AT ALL AREAS LOCATED WITHIN THE RIGHT OF WAY.

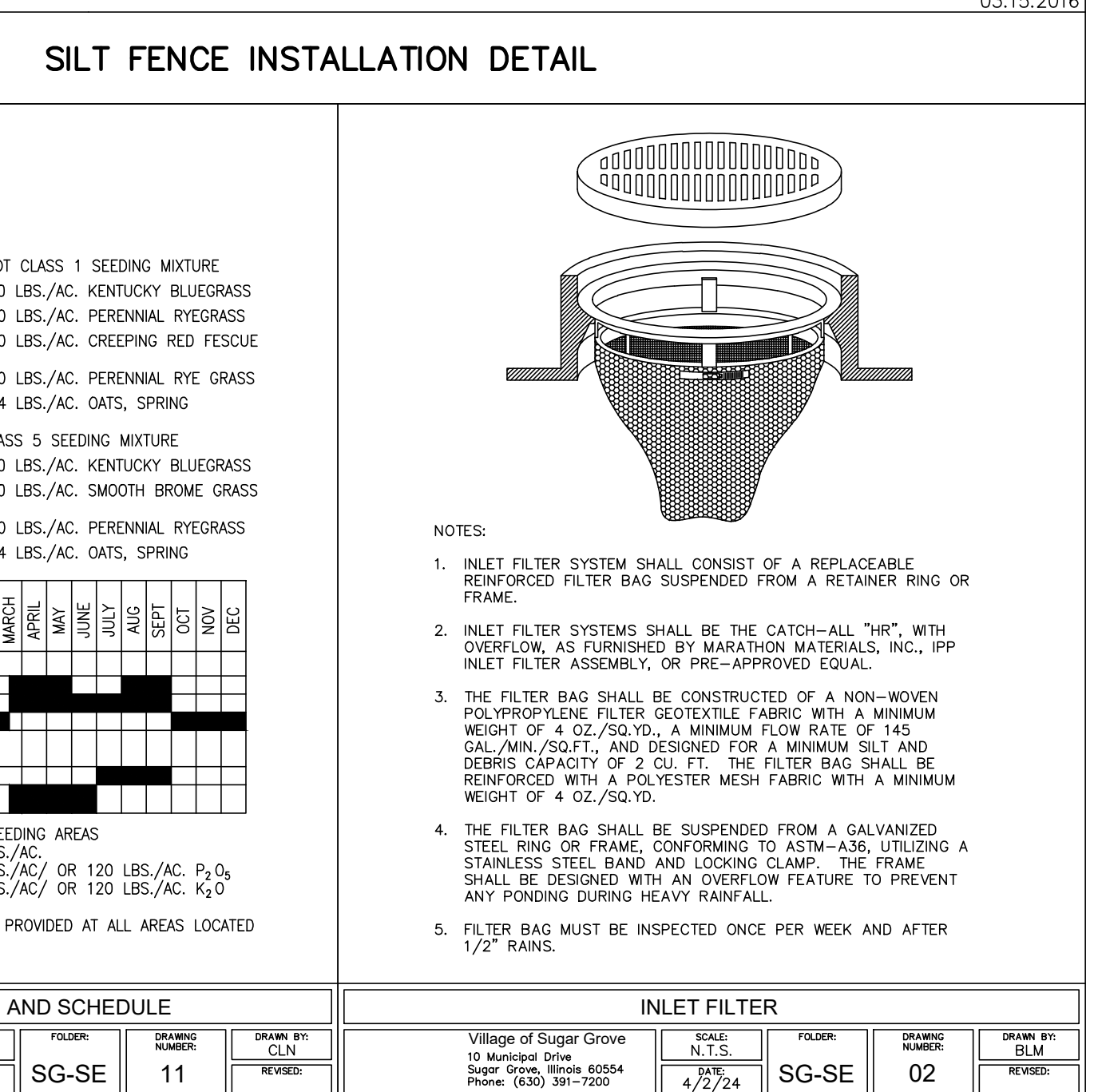
SEEDING SCHEDULE

PERMANENT SEEDING MIXTURE	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JULY	AUG	SEPT	OCT	NOV	DEC
PERMANENT SEEDING MIXTURE														
TEMPORARY SEEDING MIXTURE														

FERTILIZER MIXTURE FOR PROPOSED SEEDING AREAS

NITROGEN	PHOSPHORUS	POTASSIUM
90 LBS./AC.	90 LBS./AC. OR 120 LBS./AC. P ₂ O ₅	90 LBS./AC. OR 120 LBS./AC. K ₂ O

EROSION CONTROL BLANKET SHALL BE PROVIDED AT ALL AREAS LOCATED WITHIN THE RIGHT OF WAY.



Kaneland 2026 Building Relocation
 1601 Esker Drive
 Sugar Grove, IL 60554
 Total Acreage: 100.09 Acres
 Proof of Ownership: Deed# 306027

Kaneland CUSD 302
 47W326 Keslinger Rd.
 Maple Park, IL 60151



WOLD ARCHITECTS AND ENGINEERS
 220 N. Smith Street, Suite 310
 Palatine, Illinois 60067
 wold@aie.com | 847.241.6100

GHA GEWALT HAMILTON ASSOCIATES, INC. CONSULTING ENGINEERS

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ENGINEER under the laws of the State of ILLINOIS

BRIAN JOSEPH WESOLOWSKI
 License Number: 062-066656 Date: 11/30/27

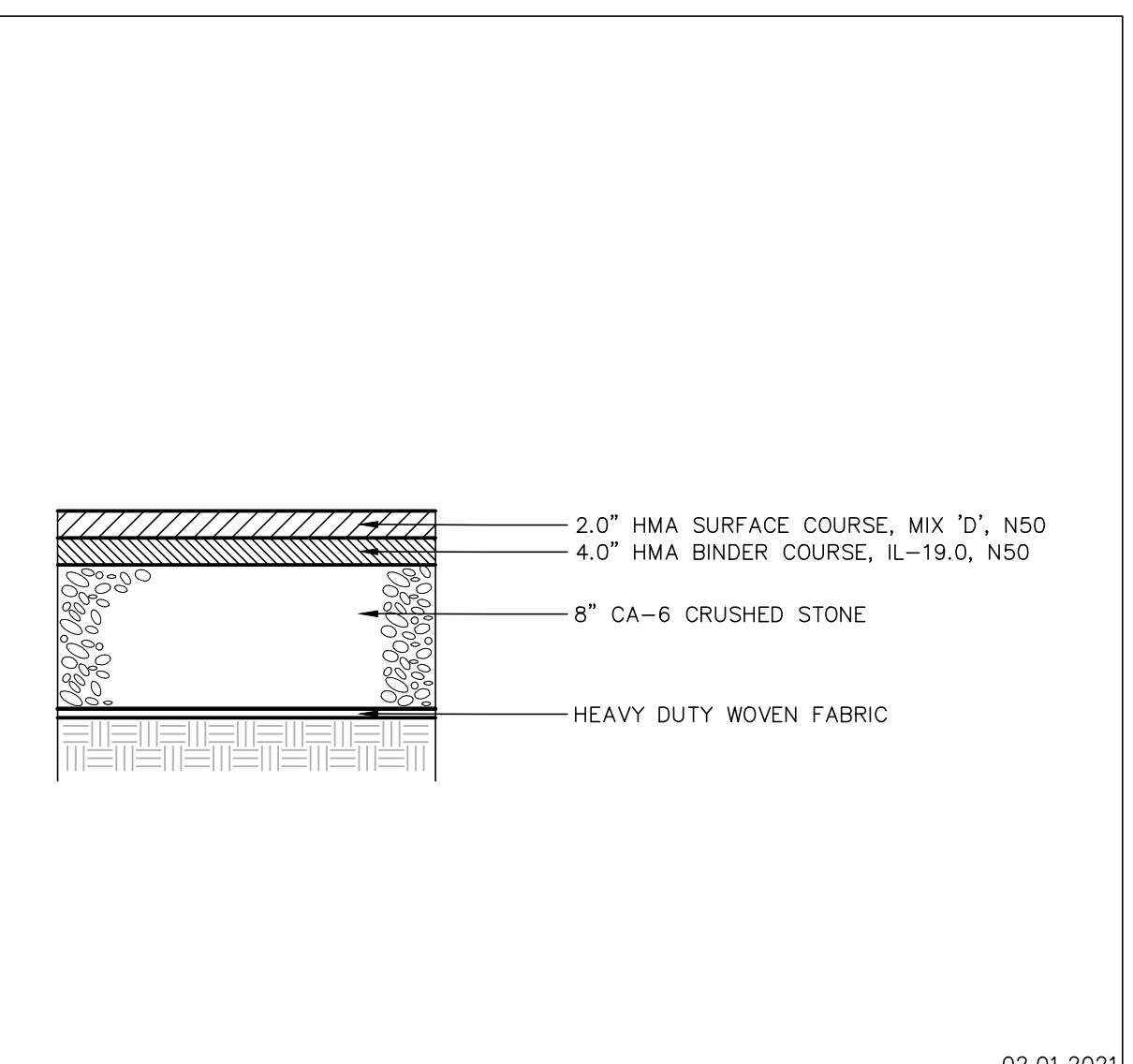
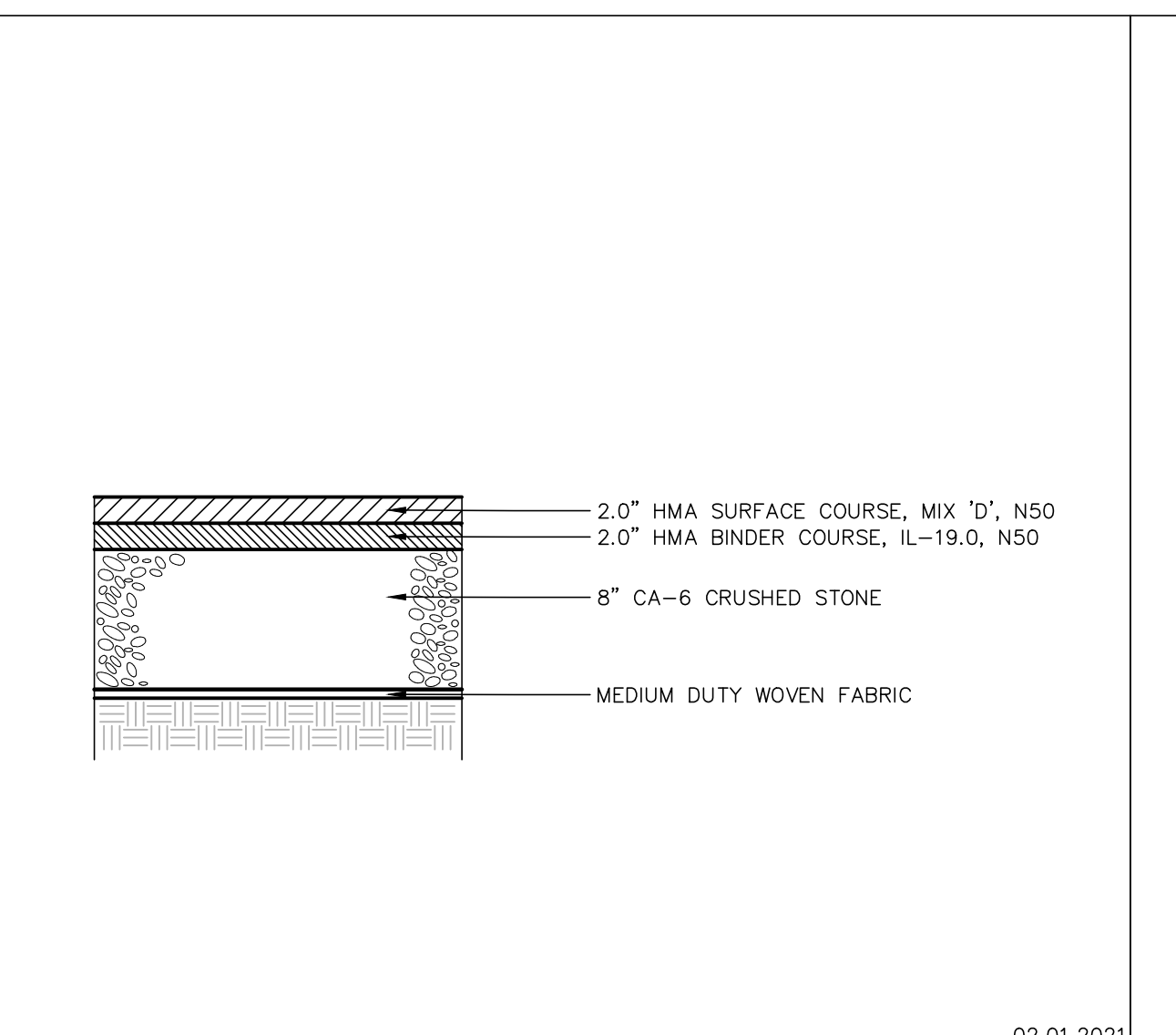
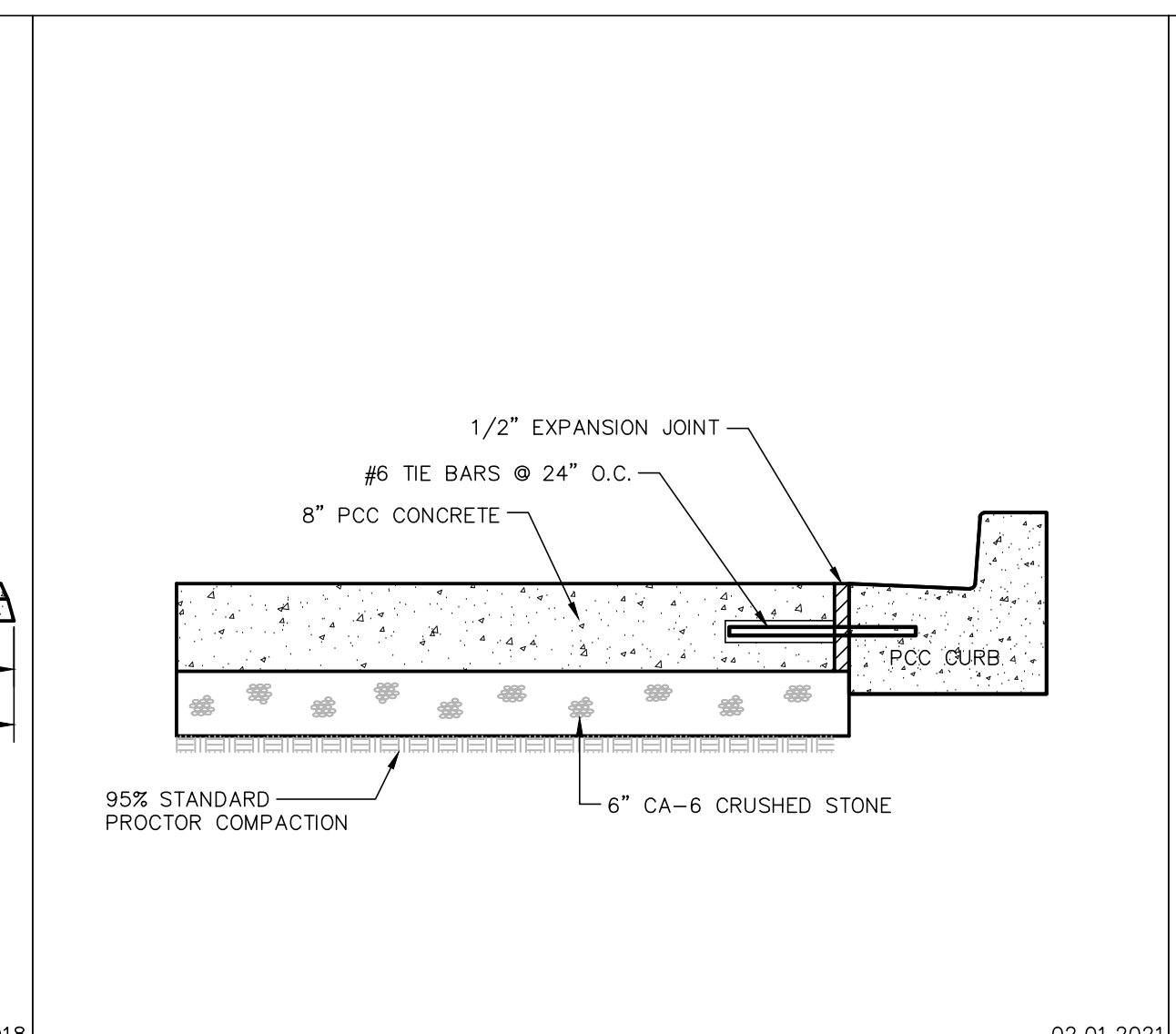
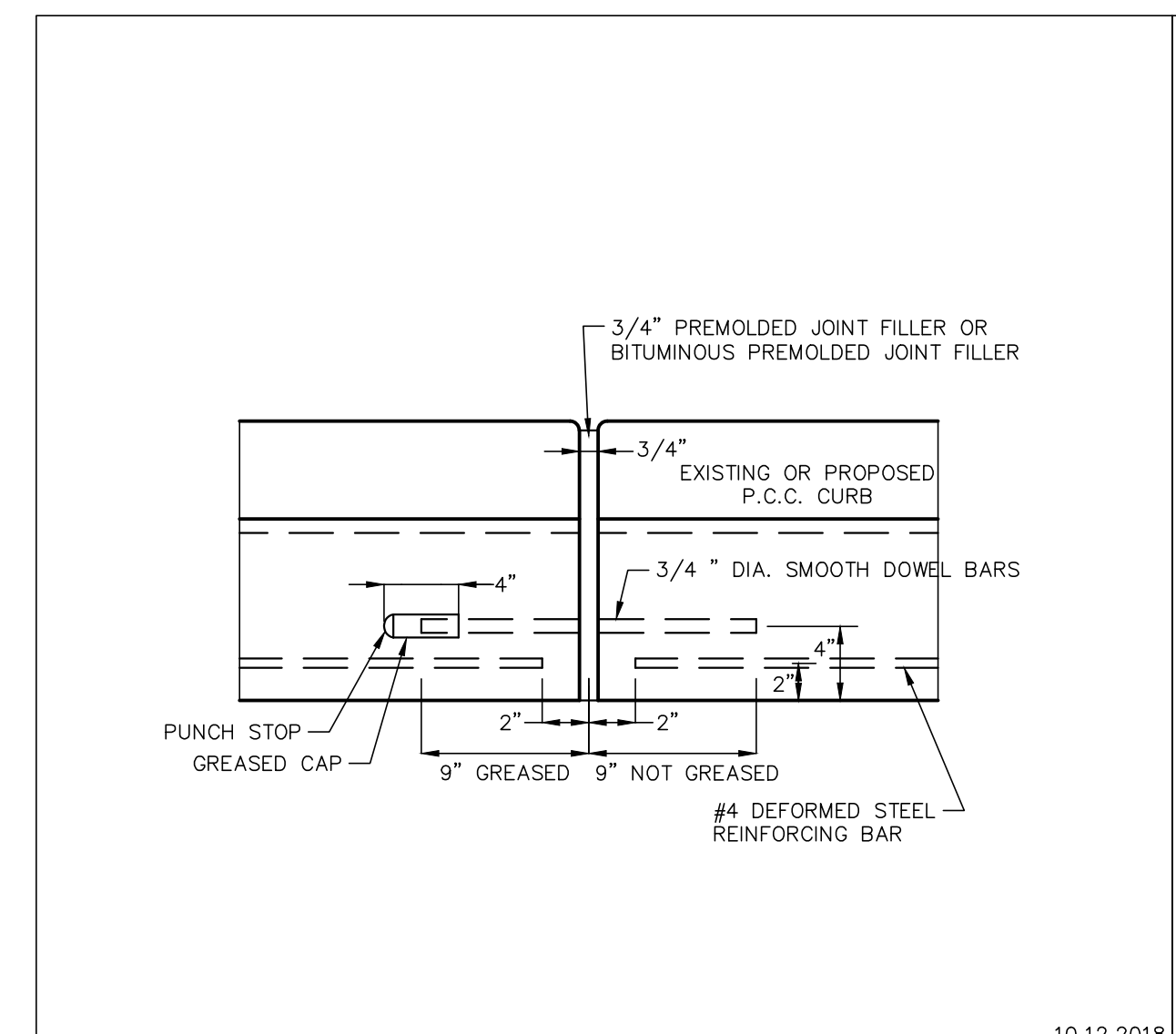
Description	Revision	Date	By

Comm: 253047
 Date: 2/20/2026
 Drawn: BRS
 Check: BJW

SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

Scale:
C6.1

PETITION FOR LAND DEVELOPMENT SUBMITTAL - VILLAGE OF SUGAR GROVE



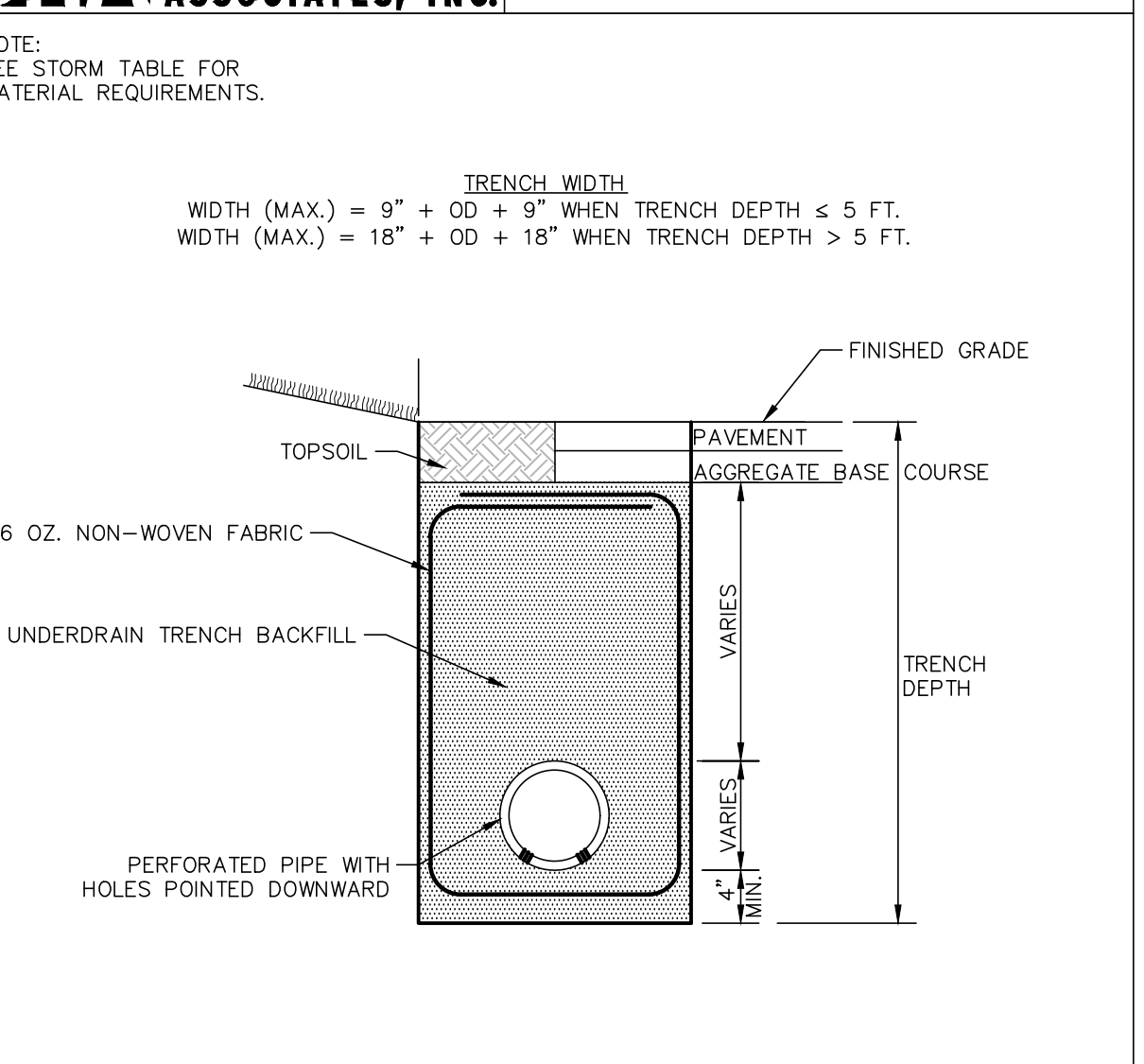
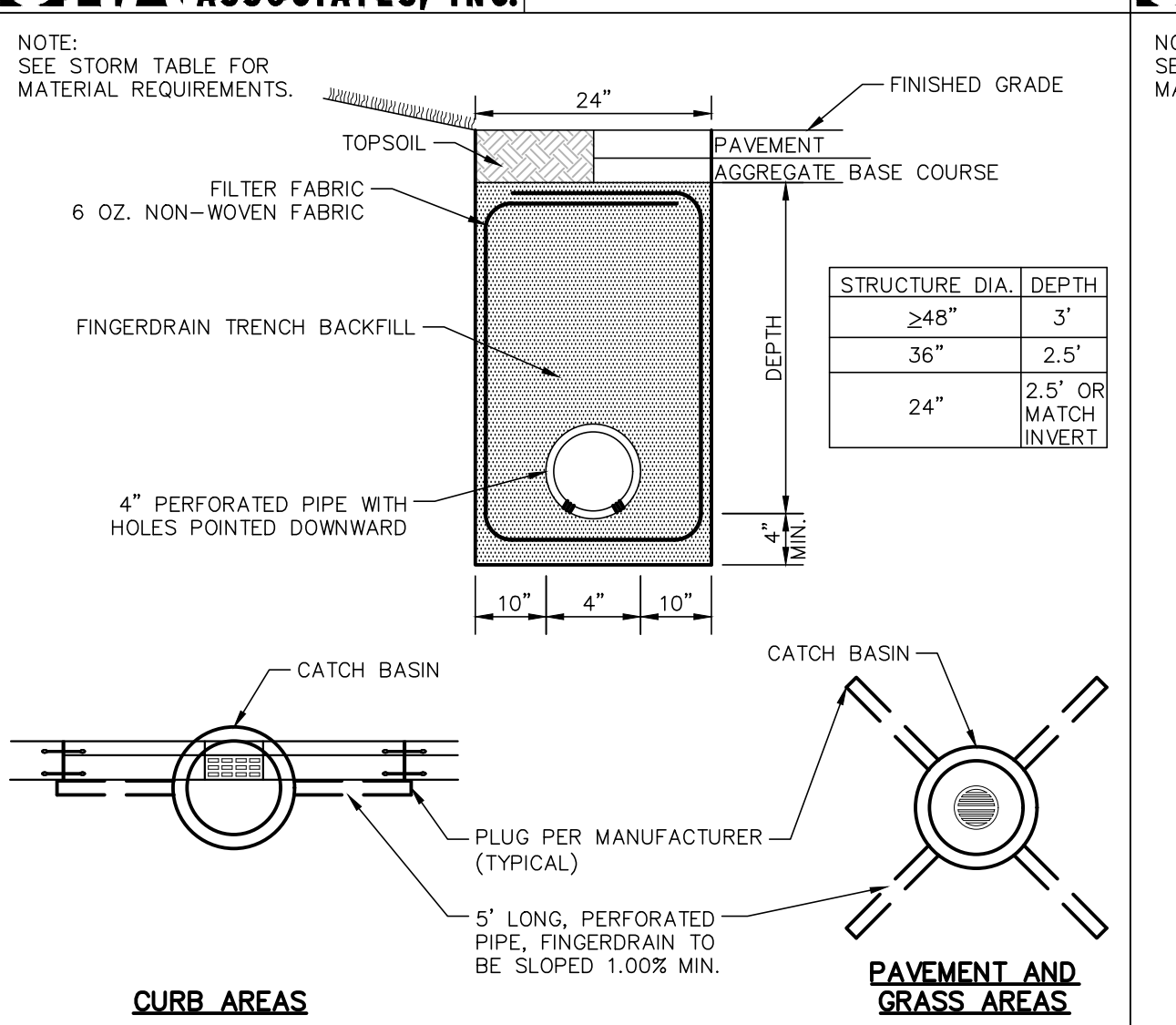
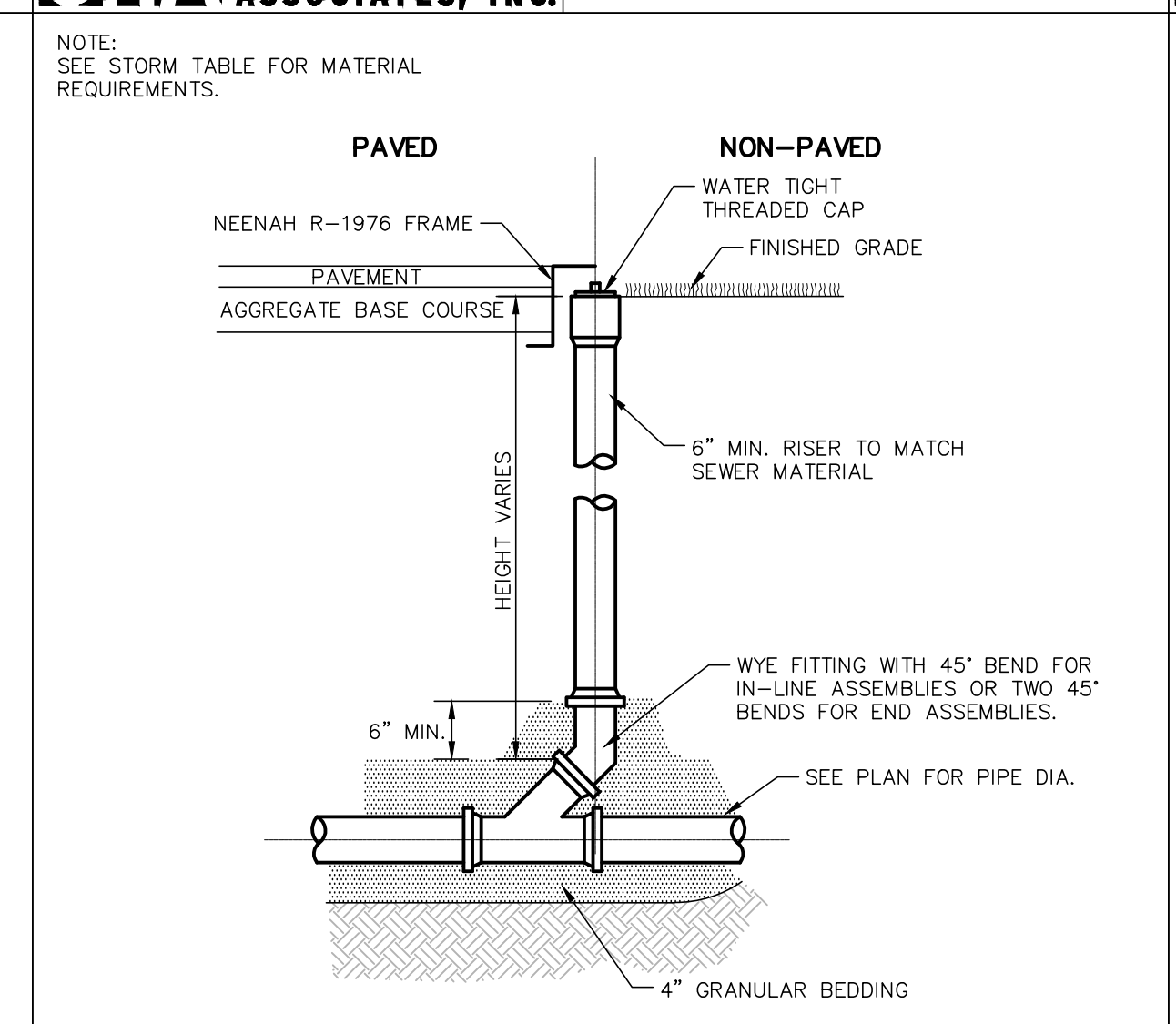
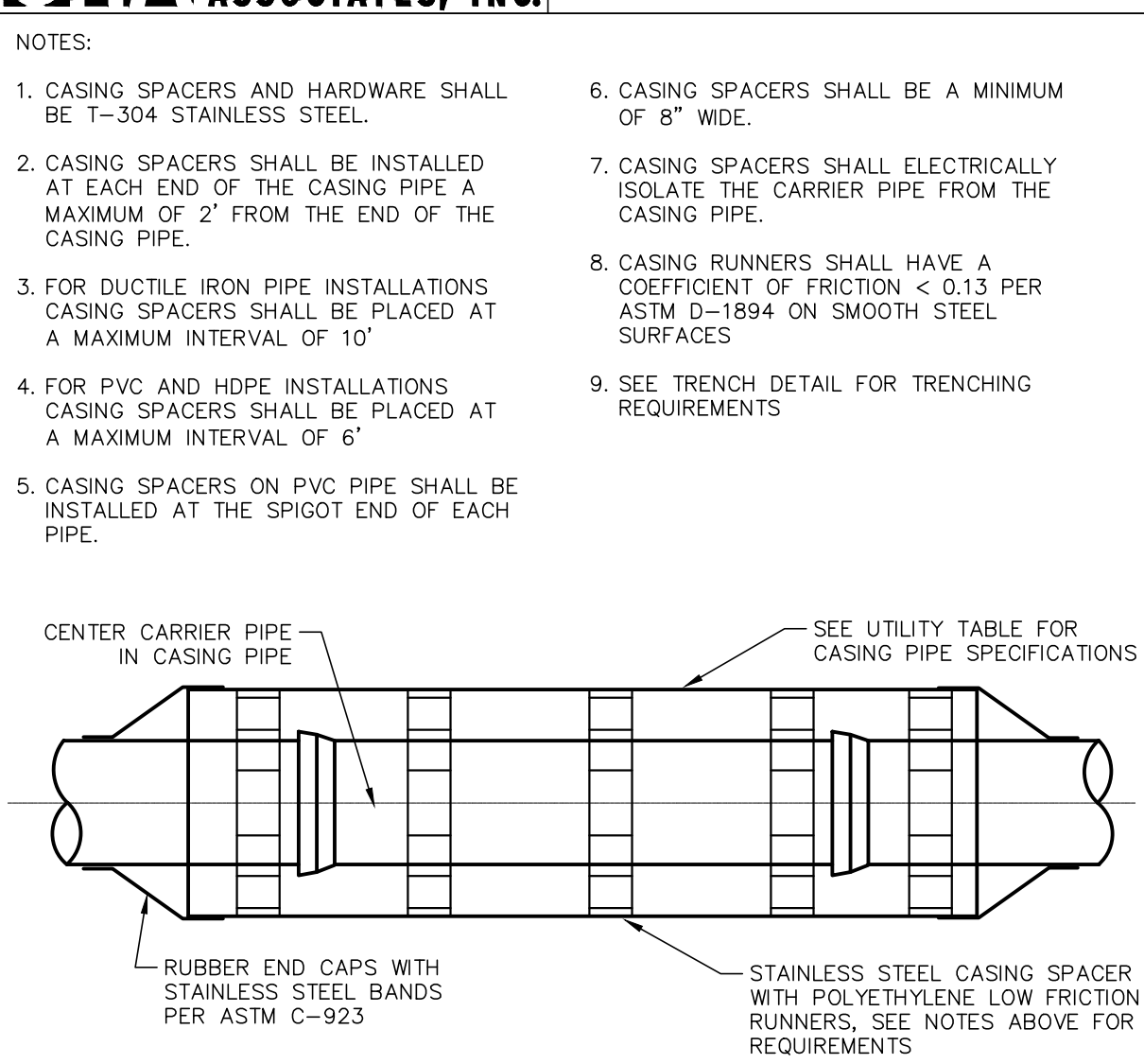
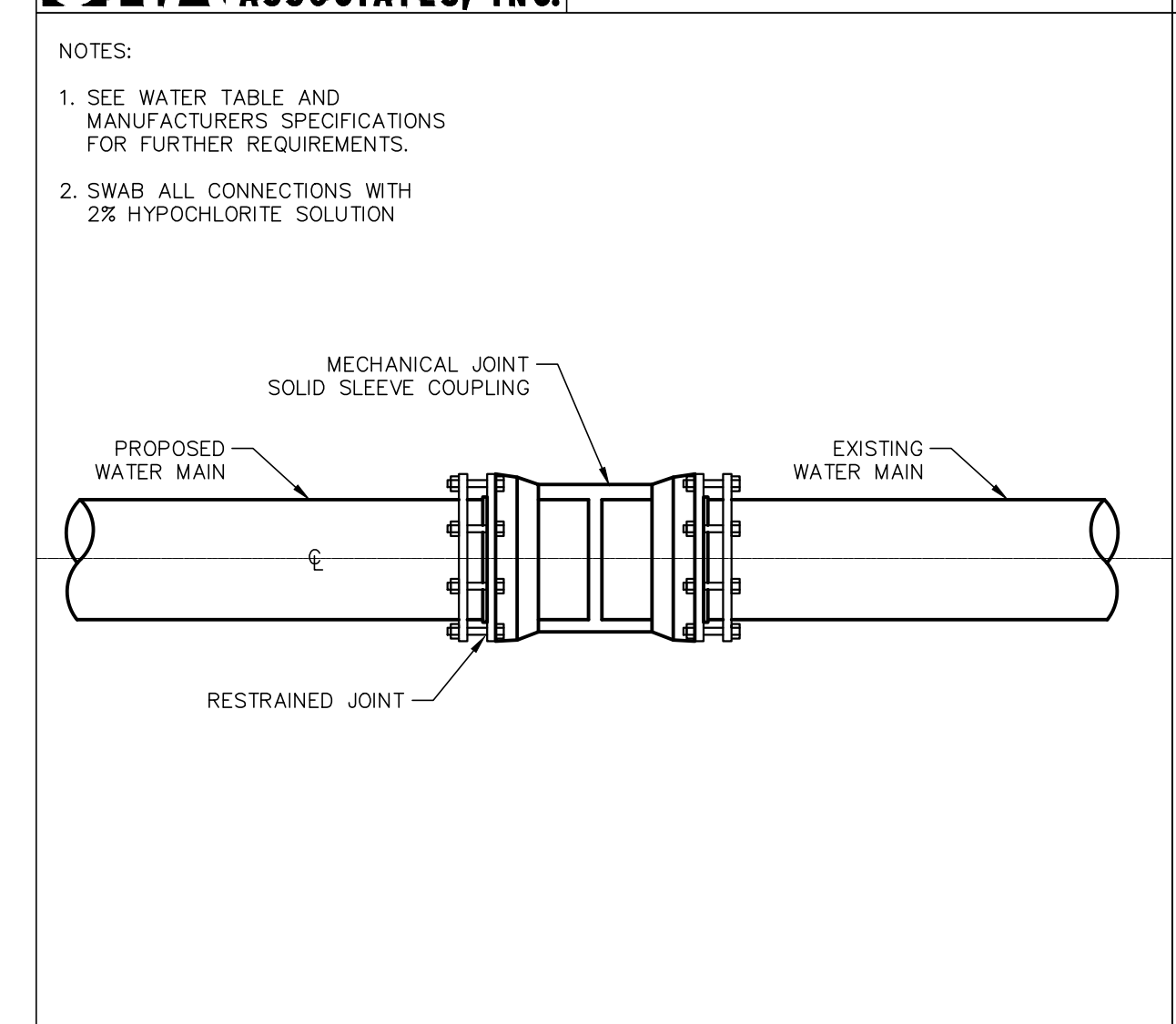
GHA GEWALT HAMILTON ASSOCIATES, INC. EXPANSION JOINT DETAIL

GHA GEWALT HAMILTON ASSOCIATES, INC. WHEEL STOP

GHA GEWALT HAMILTON ASSOCIATES, INC. PCC PAVEMENT DETAIL

GHA GEWALT HAMILTON ASSOCIATES, INC. MEDIUM DUTY PAVEMENT DETAIL

GHA GEWALT HAMILTON ASSOCIATES, INC. HEAVY DUTY PAVEMENT DETAIL



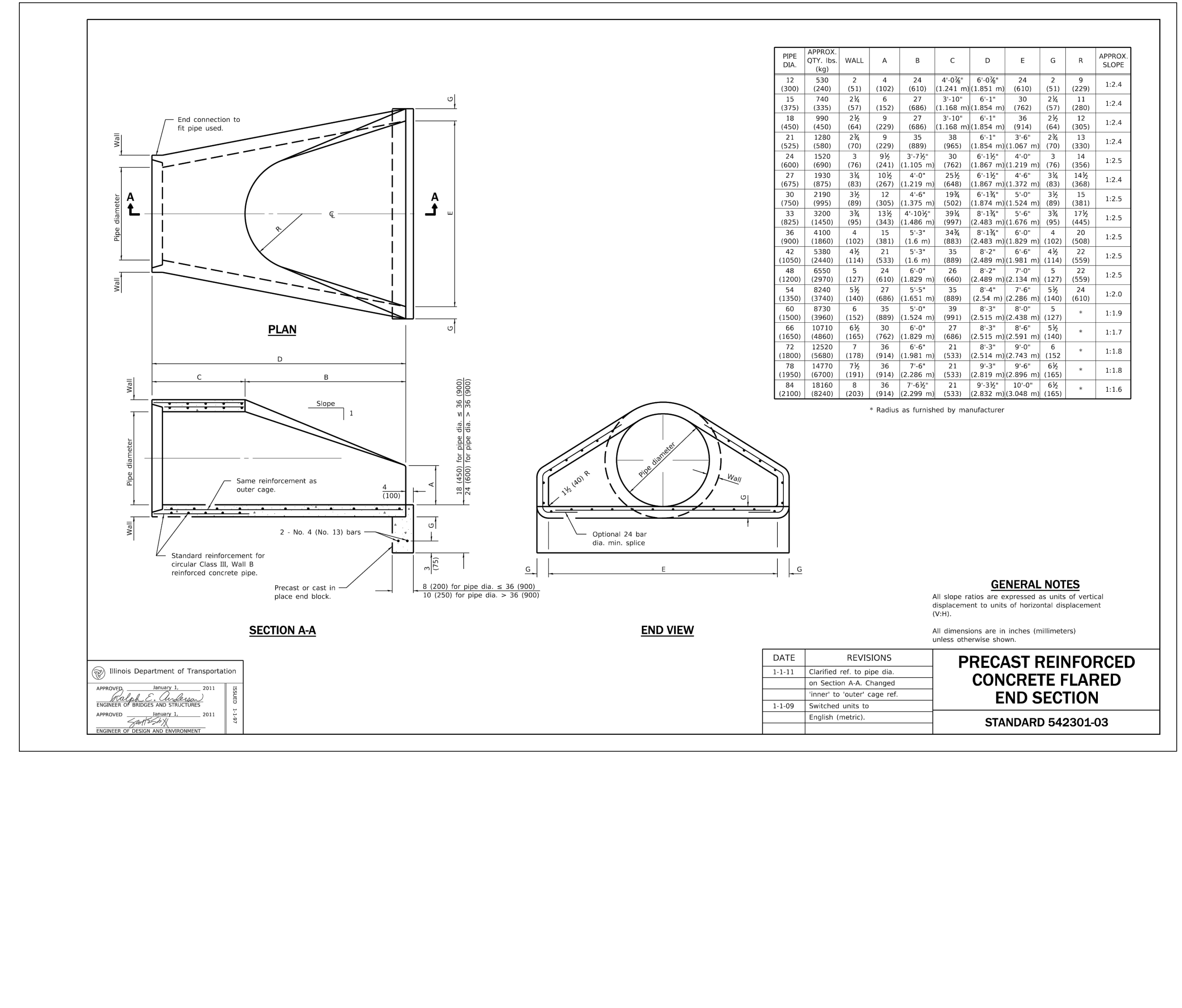
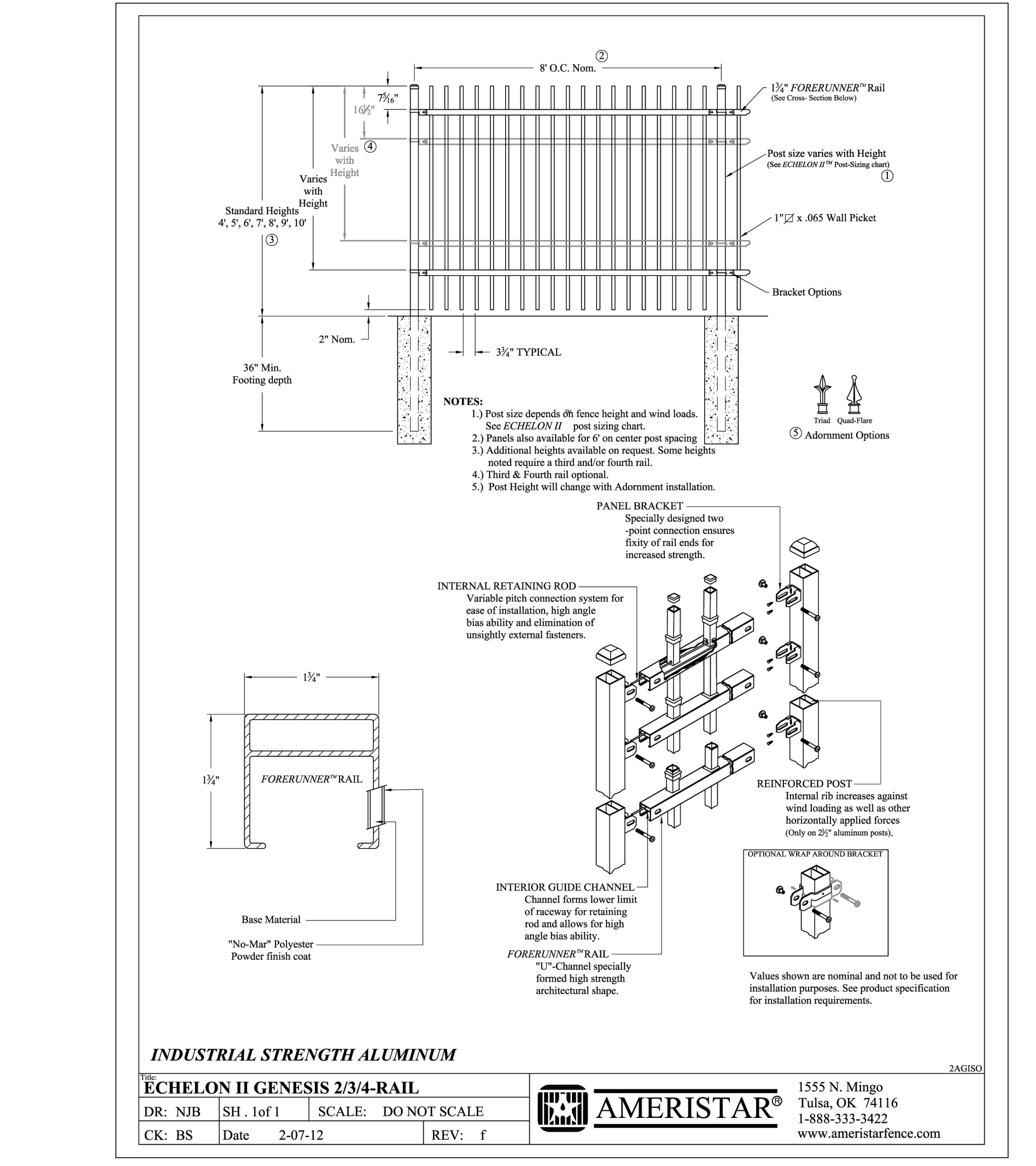
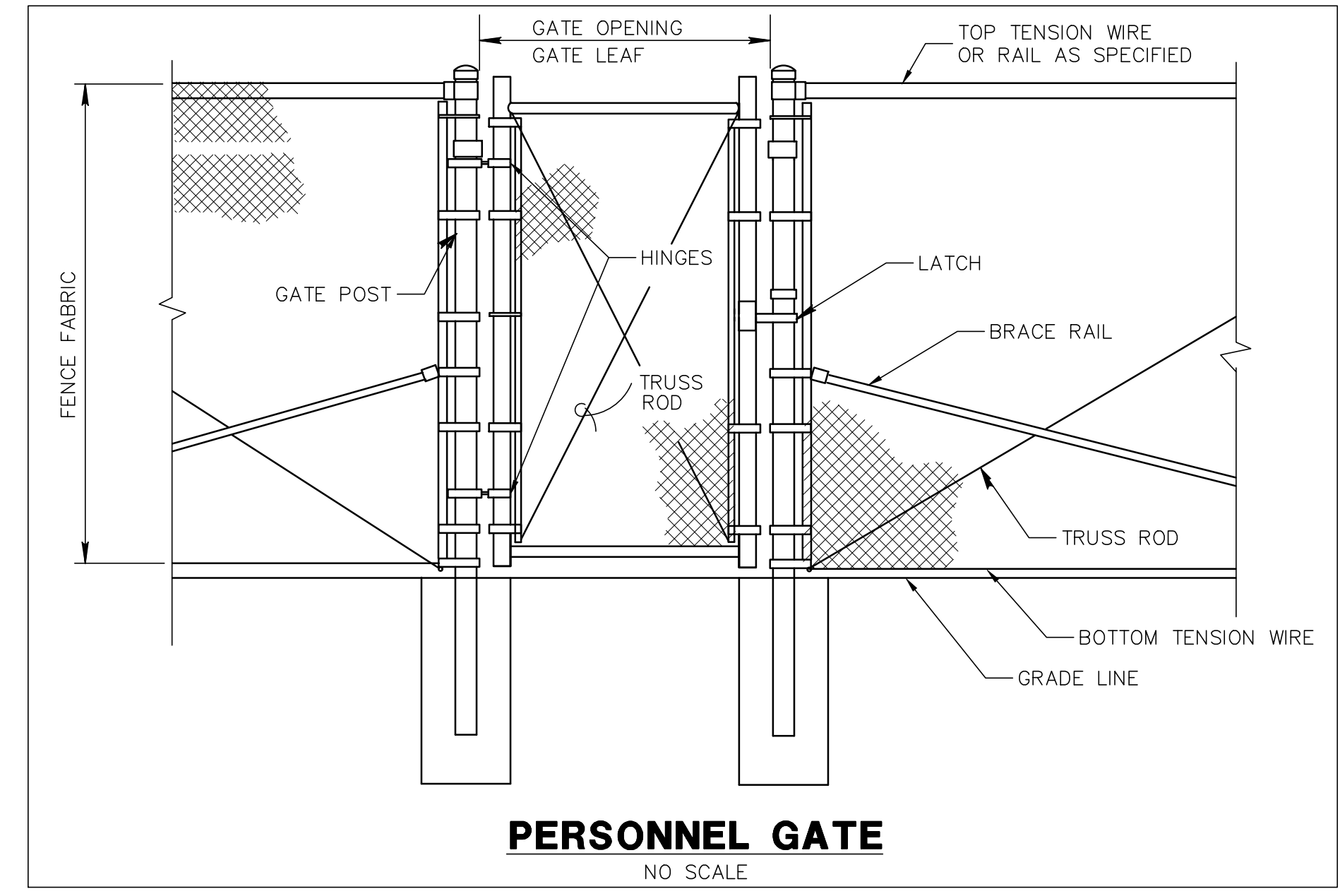
GHA GEWALT HAMILTON ASSOCIATES, INC. SOLID SLEEVE CONNECTION TO EXISTING WATER MAIN

GHA GEWALT HAMILTON ASSOCIATES, INC. PIPE CASING FOR WATER MAIN SEPARATION REQUIREMENTS

GHA GEWALT HAMILTON ASSOCIATES, INC. STORM SEWER CLEAN-OUT DETAIL

GHA GEWALT HAMILTON ASSOCIATES, INC. FINGER DRAIN DETAIL

GHA GEWALT HAMILTON ASSOCIATES, INC. STORM UNDERDRAIN DETAIL





SECTION IN PAVED AREAS

SECTION IN GRASS AREAS

STORM SEWER TRENCH DETAIL

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-ST
DRAWING NUMBER: 11
DRAWN BY: CLN
REVIEWED:

INLET - TYPE A

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-ST
DRAWING NUMBER: 04
DRAWN BY: CLN
REVIEWED:

CATCH BASIN - TYPE C

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-ST
DRAWING NUMBER: 03
DRAWN BY: CLN
REVIEWED:

CATCH BASIN - TYPE A

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-ST
DRAWING NUMBER: 02
DRAWN BY: CLN
REVIEWED:

STORM MANHOLE TYPE A

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-ST
DRAWING NUMBER: 01
DRAWN BY: CLN
REVIEWED:

PLUGGED TEE

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-WA
DRAWING NUMBER: 11
DRAWN BY: CLN
REVIEWED:

PRESSURE CONNECTION

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-WA
DRAWING NUMBER: 03
DRAWN BY: CLN
REVIEWED:

VALVE VAULT INSTALLATION

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-WA
DRAWING NUMBER: 02
DRAWN BY: CLN
REVIEWED:

FIRE HYDRANT ASSEMBLY INSTALLATION

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-WA
DRAWING NUMBER: 01
DRAWN BY: CLN
REVIEWED:

GENERAL NOTES

BORINGS SHALL BE ACCOMPLISHED WITH AN AUGER AND CASING PIPE. THE DIAMETER OF THE AUGER SHALL NOT EXCEED THE OUTSIDE DIAMETER OF THE CASING PIPE BY MORE THAN ONE INCH.

BORINGS SHALL BE ACCOMPLISHED FROM RITS USING SHORING. THE SHORING SHALL BE DESIGNED, SUPPORTED, BRACED AND MAINTAINED SO THAT IT WILL SAFELY SUPPORT ALL VERTICAL AND LATERAL LOADS THAT MAY BE IMPOSED UPON IT DURING THE BORING OPERATION. ALL SHARPS AND JACKING RITS SHALL CONFORM WITH APPLICABLE OSHA EXCAVATION, TRENCHING, AND SHORING STANDARDS.

PITS FOR BORING SHALL BE EXCAVATED NO MORE THAN 48 HOURS IN ADVANCE OF BORING AND BACKFILLED WITHIN 48 HOURS AFTER BORING OPERATIONS ARE COMPLETED. WHILE PITS ARE OPEN, THEY SHALL BE CLEARLY MARKED, FENCED OFF AND PROTECTED BY BARRICADES AND FENCING.

CASCADE TYPE (OR APPROVED EQUAL) CASING SPACERS SHALL BE USED TO CENTER WATER MAIN CASING PIPE (SPACED EVERY 10 MIN.) METAL TO METAL CONTACT IS NOT PERMITTED.

CASCADE CASING SPACERS SHALL BE USED TO CENTER SANITARY SEWER IN CASING PIPE (SPACED EVERY 10 MIN.)

STORM SEWER IS NOT REQUIRED TO BE CENTERED WITH IN THE CASING PIPE. CASCADE CASING END SEALS SHALL BE USED TO LOOSELY SEAL THE ENDS OF THE CASING OR BRICK AND MORTAR.

ANNUAL SPACE BETWEEN CASINGS AND MAIN WILL NOT BE FILLED.

VALVES AND BENDS IF ANY WILL BE SITUATED TO ALLOW FOR EASIER REMOVAL OF MAIN FOR REPAIRS.

STEEL CASING PIPE SHALL HAVE A MINIMUM YIELD STRENGTH OF 35,000 PSI WITH WELDED JOINTS.

ALL WATER MAIN WITHIN CASING SHALL BE INSTALLED WITH FIELD LOCK OR APPROVED EQUAL GASKET JOINTS.

DEWATERING SHALL BE CONSIDERED INCIDENTAL TO THE BORE AND JACK.

FIELD LOCK GASKETS MUST BE FROM THE SAME MANUFACTURER AS THE PIPE.

TYPICAL THRUST BLOCK INSTALLATION

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-WA
DRAWING NUMBER: 11
DRAWN BY: CLN
REVIEWED:

WATER MAIN TRENCH DETAIL

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-WA
DRAWING NUMBER: 07
DRAWN BY: CLN
REVIEWED:

WATER MAIN LOWERING

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-WA
DRAWING NUMBER: 10
DRAWN BY: KKP
REVIEWED:

WATER & SEWER SEPARATION REQUIREMENTS

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-WA
DRAWING NUMBER: 06
DRAWN BY: CLN
REVIEWED:

BORE AND JACK DETAIL

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-WA
DRAWING NUMBER: 09
DRAWN BY: KKP
REVIEWED:

PAVED AREAS & DRIVEWAYS

Village of Sugar Grove
10 Municipal Drive
Sugar Grove, Illinois 60554
Phone: (630) 391-7200

SCALE: N.T.S.
DATE: 4/27/24

FOLDER: SG-WA
DRAWING NUMBER: 07
DRAWN BY: CLN
REVIEWED:

Minimum Restrained Length Tables Without Polyethylene Wrap

Minimum Restrained Length on Each Side of Fitting (ft)	12"	16"	20"	24"
11.25° Horizontal Bend	5	6	8	8
22.5° Horizontal Bend	9	11	12	16
60° Horizontal Bend	18	21	26	33
Water Main Lowering	38	47	57	77
Dead End	41	50	60	79

Minimum Restrained Length Tables With Polyethylene Wrap

Minimum Restrained Length on Each Side of Fitting (ft)	12"	16"	20"	24"
11.25° Horizontal Bend	5	6	7	10
22.5° Horizontal Bend	9	12	15	19
60° Horizontal Bend	18	21	26	33
Water Main Lowering	36	45	55	75
Dead End	39	48	58	78

Minimum Length of Tee Branch to be Restrained (ft)

Casing	12"	16"	20"	24"
8" Tee Run X Branch	25	37	45	55
10" Tee Run X Branch	22	34	44	55
12" Tee Run X Branch	19	32	42	53

Minimum Restrained Length of Larger Pipe Side (ft)

Reducer	12"	16"	20"	24"
Reducer: 10" X	17	17	17	17
Reducer: 12" X	32	32	32	32
Reducer: 16" X	58	47	34	

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ENGINEER under the laws of the State of ILLINOIS

BRIAN JOSEPH WESOLOWSKI
License Number: 062-066656 Date: 11/30/27

Description	Revision	Date	By

Comm: 253047
Date: 2/20/2026
Drawn: BRS
Check: BJW

VILLAGE OF SUGAR GROVE DETAILS

IL

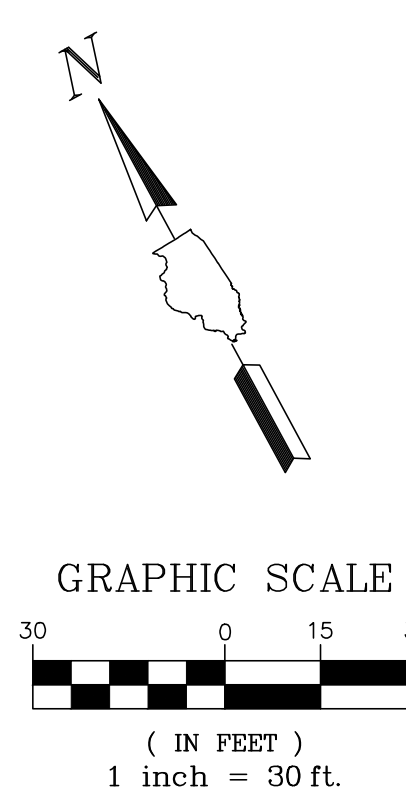
A

LANDSCAPE INSTALLATION NOTES

1. TREE MULCH RINGS ARE FIVE FOOT DIAMETER WITHIN LAWN AREAS. ALL EXISTING TREES WITHIN WORK AREA BOUNDARIES SHALL HAVE A MULCH TREE RING INSTALLED, WITH SOD REMOVED WITHIN LIMITS OF THE MULCH RING.
2. PLANTING BED EDGES SHALL BE SPADE CUT TO DEPTH OF THREE INCHES. CURVED BEDS SHALL BE SMOOTH RADIUS WITH NO STRAIGHT SEGMENTS.
3. WHERE LANDSCAPING IS SHOWN WITHIN 5' OF ANY UTILITY STRUCTURE OR UTILITY LINE, CONSULT WITH LANDSCAPE ARCHITECT BEFORE PROCEEDING.
4. SEED LIMITS SHOWN ON PLANS ARE APPROXIMATE. SEEDING WORK SHALL EXTEND TO THE LIMITS OF NEW GRADING OR AND DISTURBED AREAS.
5. CONTRACTOR RESPONSIBLE FOR ALL EROSION CONTROL MEASURES WITHIN SEEDING LIMITS.
6. SEE SESC PLAN FOR NOTES REGARDING SEEDING WORK, AND DETAIL REGARDING SEEDING AT SLOPED AREAS.

PLANTING LEGEND

- EXISTING TREE
- SHADE TREE
- CONIFEROUS TREE
- ORNAMENTAL TREE
- SHRUBS
- GROUNDCOVER, PERENNIAL



Kaneland 2026 Building Relocation

1601 Esker Drive
Sugar Grove, IL 60554
Total Acreage: 100.09 Acres
Proof of Ownership: Deed# 306027

Kaneland CUSD 302

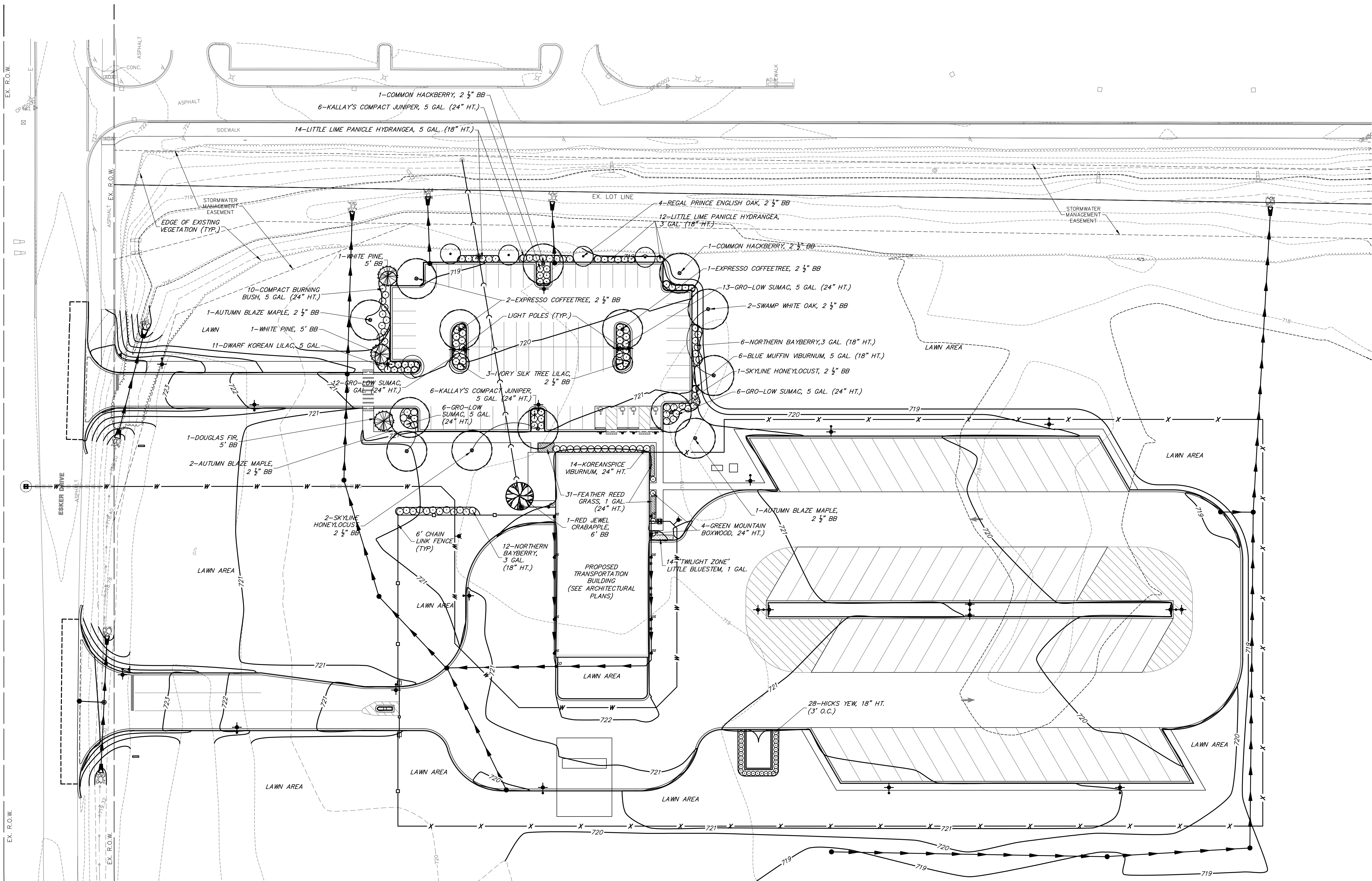
47W326 Keslinger Rd,
Maple Park, IL 60151



WOLD ARCHITECTS AND ENGINEERS

220 N. Smith Street, Suite 310
Palatine, Illinois 60067
wolda.com | 847 241 6100

GHA GEWALT HAMILTON ASSOCIATES, INC. CONSULTING ENGINEERS



I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed ENGINEER under the laws of the State of ILLINOIS

BRIAN JOSEPH WESOLOWSKI
License Number: 062-066656 Date: 11/30/27

Description	Revisions		▲
	Date	Num	

Comm: 253047
Date: 2/20/2026
Drawn: BRS
Check: BJW
North

LANDSCAPE PLAN

PETITION FOR LAND DEVELOPMENT SUBMITTAL - VILLAGE OF SUGAR GROVE

Scale:
L1.0