VILLAGE OF SUGAR GROVE BOARD REPORT

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: DANIELLE MARION, PLANNING AND ZONING ADMINISTRATOR
SUBJECT: ORDINANCE: WATERFORD PLACE PUD AMENDMENT, LOT 27 (391 CAPITOL DRIVE)
AGENDA: MAY 7, 2024 VILLAGE BOARD MEETING
DATE: MAY 1, 2024

ISSUE

Shall the Village Board approve an amendment to the Waterford Place PUD to change the permitted use on Lot 27 from a medical office building to an attached single-family (duplex) dwelling, and approve a preliminary development plan for Lot 27.

DISCUSSION

The Village Board discussed the amendment to the Waterford Place PUD to change the permitted use on Lot 27 from a medical office building to an attached single-family (duplex) dwelling, and approve a preliminary development plan for Lot 27 and there were comments expressed regarding the appearance of the proposed attached single-family dwelling.

The Board requested that the applicant add brick along the entire bottom portion of the structure as well as wrapping the garages with brick. The applicant has provided revised elevation drawings that show brick being run down part of the side. The applicant has not agreed to wrap the garages as suggested.

The Board also requested that photos of the existing dwellings in Waterford place be provided to them for reference. The applicant provided the attached photos of other dwellings within Waterford Place.

COSTS

All costs associated with the request are borne by the Applicant.

ATTACHMENTS

- Revised Elevations
- Photos of existing dwellings in Waterford Place
- An Ordinance Granting Approval of an Amendment to the Waterford Place PUD and approval of Preliminary PUD for Lot 27 (391 Capitol Dr)

RECOMMENDATION

The proposed use and appearance of the proposed attached single-family dwelling fits the look and feel of the surrounding dwellings in Waterford Place, staff is recommending approval of the amendment to Waterford Place PUD and approval of Preliminary Planned Unit Development for Lot 27 (391 Capitol Dr).







VILLAGE PRESIDENT Jennifer Konen

VILLAGE ADMINISTRATOR Scott Koeppel

> VILLAGE CLERK Tracey Conti



COMMUNITY DEVELOPMENT

VILLAGE TRUSTEES

Matthew Bonnie Sean Herron Heidi Lendi Sean Michels Michael Schomas James F. White

<u>R E C O M M E N D A T I O N</u> PC24-01

TO:	Village President and Board of Trustees
FROM:	Planning Commission
DATE:	Meeting of February 21, 2024
PETITION:	24-001 Waterford Place Lot 27 PUD Amendment (391 Capitol Drive)

PROPOSAL

391 Capitol Drive is currently an empty lot (Lot 127) that is part of the Waterford Place PUD. The PUD designates the use of this property as Medical Office building. The applicant is requesting to amend the PUD to change the use from Medical Office to an attached single-family (duplex) building on the property.

Before building the duplex, the applicant will be required to come back to the Village for Final PUD approval, it is during this time that we will address the required landscaping.

LOCATION MAP



601 Heartland Drive Sugar Grove, Illinois 60554

www.sugargroveil.gov

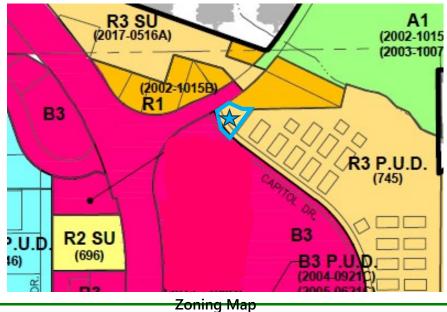
Phone (630) 391-7220 Facsimile (630) 391-7245

BACKGROUND & HISTORY

The subject property is an irregular-shaped 0.34 acre vacant lot located on the southeast corner of Bliss Road and Capitol Drive that is part of the Waterford Place PUD. The zoning of the property is R3- medium density residential PUD. The subject property is situated adjacent to attached-family dwellings. The Waterford Place PUD specifically designates the use of this property as a medical office building. There has been no interest or market to construct a medical office building on this property.

The applicant is under contract to purchase the property and construct a duplex attached single-family residence. In order to accomplish this the PUD must be amended to change the designated use of the property from a medical office building to attached single-family residential. The only lot development restriction placed on Lot 27 by the PUD is the location of the driveway serving the lot. The existing curb cut is the specified location for the driveway access. The applicant is not proposing to change the location of the driveway.

	Zoning	Land Use
Subject Property	R3 Medium Density Residential PUD	Vacant Land
North	R1 Low Density Residential	Single-Family Residential
East	R1 Low Density Residential	Single-Family Residential
South	R3 Medium Density Residential PUD	Multi-Family Residential
West	B3 Regional Business District	Vacant Land



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Future Land Use Map

EVALUATION

The Waterford Place PUD was approved in 2000. At that time the economy was much different and there was a greater demand for medical offices, this has since changed.

The proposed PUD Amendment to change the designated use of the property located at 391 Capitol Drive from a medical office building to attached single family residential would align with the designated use of the Village's updated Comprehensive Plan. The Plan designates this property as residential. It also algins with the current residential uses surrounding the property. The amendment would also allow this property to be developed after sitting vacant for many years.

The applicant submitted as part of their application elevation drawings depicting the two-story duplex they are proposing to build on the subject property. The front of the duplex faces Capitol Drive with a shared driveway. There is a recorded restriction on the location of a driveway for Lot 27. The current curb cut on Capitol Drive is the only location access to the lot is permitted and this is the location of the shared driveway.

The provided site plan complies with the Villages required setbacks, parking, lot coverage, and the access limitations to Capitol Drive. However, Village staff suggested that the placement of the building on the lot be shifted to create more space behind the duplex to better accommodate the proposed patios. If this is done the building will no longer meet the required yard setbacks and a deviation will need to be granted for the rear yard setback to be less than the required 25 feet as part of the PUD amendment.

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Staff recommended revisions to the building elevations to ensure the design and building materials that are being proposed will be similar/compatible with the existing buildings within the Waterford Place PUD.

The applicant intends to divide the ownership of the building and lot.

PUBLIC RESPONSE

After due notice, the Planning Commission held a public hearing on February 21, 2024. Objectors were present and heard.

The first item addressed by the public was parking. They feel that parking on Capitol Drive is an issue and if the new occupants of the proposed duplex were to park on the street, they would be towed. Objectors indicated that parking is an issue in Waterford Place. They also stated that the intersection of Capitol Drive and Bliss Road is dangerous.

The second topic of concern was the location of the front doors of the duplex. In the proposed building elevation, the entry doors are on the side of each unit and to not face the street. The public felt the front doors need to be facing Capitol Drive in order to have a Capitol Drive address.

DISCUSSION

Commissioners discussed the proposal and objector comments, to include if the open space or lot coverage requirement would be met for the property.

RECOMMENDATION

After carefully considering the facts and public comments, the Planning Commission recommends the Village Board **approve** the proposed Waterford Place PUD Amendment to change the use on Lot 27 from Medical Office to an attached single-family (duplex) building on the property, and approve a Preliminary PUD Plan for Waterford Place Lot 27, subject to the following conditions:

- 1) Applicant is required to obtain Final PUD approval, including final engineering plans and a landscape plan.
- 2) Appearance of the building must be similar to the existing multi-family buildings in Waterford Place, as follows:
 - a. Two-car garages shall be provided
 - b. Add masonry to garage façade and on other wall elements as appropriate
 - c. Remove shutters and add sizeable trim to all window openings to match Waterford Place
 - d. All windows should have divided glass to match Waterford Place
 - e. Architectural shingles should be used to match/compliment Waterford Place buildings

- f. Add more window openings to the side and rear elevations
- g. Building materials and colors should be similar to those used in Waterford Place
- 3) Final PUD development plan shall be in substantial conformance with the preliminary PUD plan.

AYES: Guddendorf, Wilson, Sabo, Speciale, Ochsenschlager

NAYES: None

ABSENT: Jones, Bieritz

MOTION PASSED



VILLAGE OF SUGAR GROVE KANE COUNTY, ILLINOIS

ORDINANCE NO. 2024-0507___

AN ORDINANCE GRANTING APPROVAL OF AN AMENDMENT TO WATERFORD PLACE PUD AND APPROVALOF A PRELIMINARY PUD PLAN FOR 391 CAPITOL DRIVE

Adopted by the Board of Trustees and President of the Village of Sugar Grove this 7th day of May 2024

Published in pamphlet form by authority of the Board of Trustees of the Village of Sugar Grove, Illinois, this 7th day of May, 2024

ORDINANCE NO. 2024-0507___

AN O RDINANCE GRANTING APPROVAL OF AN AMENDMENT TO WATERFORD PLACE PUD AND APPROVAL OF A PRELIMINARY PUD PLAN FOR 391 CAPITOL DRIVE

WHEREAS, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution, and accordingly, acts pursuant to the powers granted to it under 65 ILCS 5/1-1 *et seq.* and other applicable statutes; and,

WHEREAS, the applicant, Phil Kuhn ("Applicant"), has requested approval of an amendment to Waterford Place PUD ("Amendment") and approval of a Preliminary PUD Plan ("Preliminary Plan") for 391 Capitol Drive, with the subject property legally described in Exhibit A, attached hereto and incorporated herein by reference ("Subject Property"); and,

WHEREAS, the Planning Commission/Zoning Board of Appeals held a meeting on April 24, 2024, to consider the Amendment and the approval of the Preliminary Plan for 391 Capitol Drive and recommended approval as described in their report PC Recommendation 24-01; and ,

WHEREAS, the Village Board has reviewed the request and has deemed that the Amendment and Preliminary Plan is in compliance with the Zoning Ordinance of the Village of Sugar Grove;

NOW, THEREFORE, BE IT **ORDAINED** by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois is as follows:

SECTION ONE: APPROVAL OF AMENDMENT AND PRELIMINARY PLAN

Pursuant to Section 11-11-6 -C and 11-11-7 the Amendment and Preliminary Plan, attached hereto as Exhibit B and made a part hereof by this reference, is hereby approved on the Subject Property. The Final PUD Plan shall be submitted in accordance with Section 11-11-6-D.

SECTION TWO: GENERAL PROVISIONS

<u>REPEAL ER</u>: That all ordinances or portions thereof in conflict herewith are hereby repealed to the extent of any such conflict.

<u>SEVERABILITY</u>: Should any provision of this ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this ordinance.

<u>EFFECTIVE</u> <u>DATE</u>: This ordinance shall be in full force and effect on and after its approval, passage and publication in pamphlet form as provided by law.

PASSED AND APPROVED by the President and Board of Trustee s of the Village of Sugar Grove, Illinois, this 7th day of May, 2024.

Jennifer Konen, Village President

ATTEST:

Tracey Conti, Village Clerk

Aye

Nay

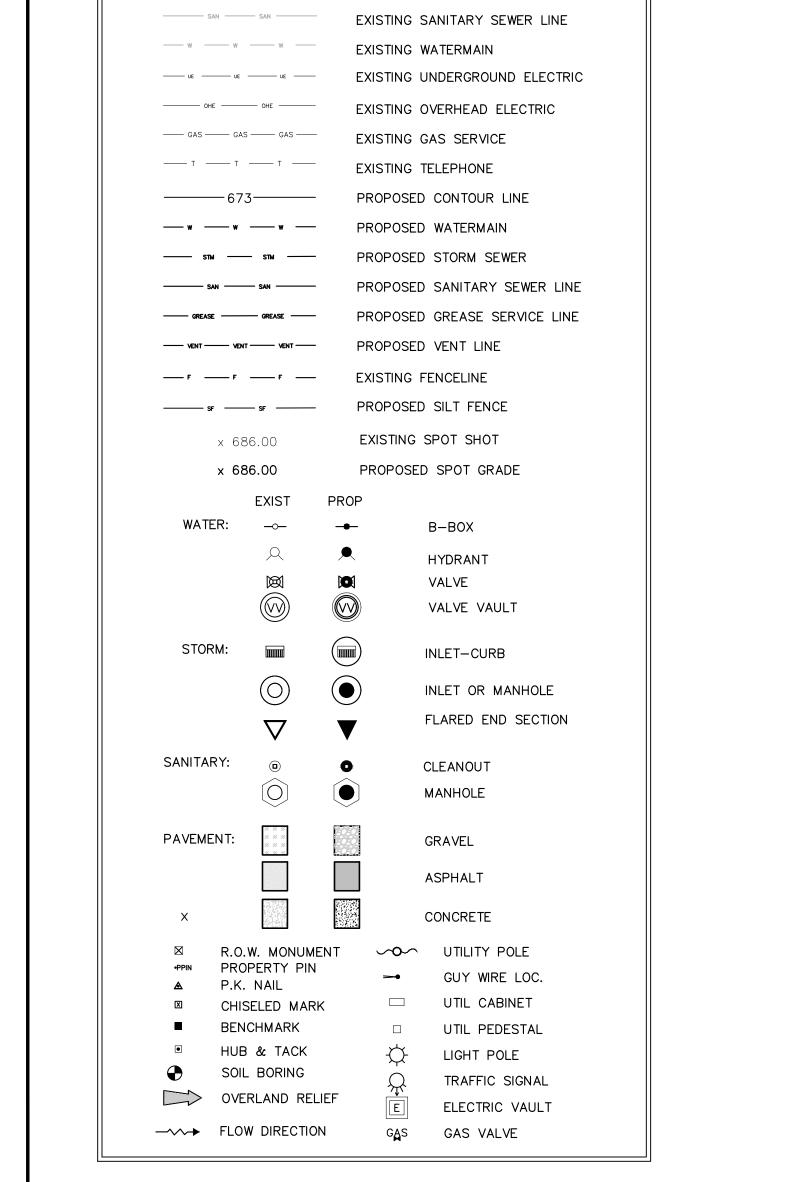
Absent Abstain

Trustee Matthew Bonnie Trustee Sean Herron Trustee Heidi Lendi Trustee Sean Michaels Trustee Michael Schomas Trustee James F. White

Exhibit A

Legal Description

Lot 27 Waterford Place, being a Resubdivision of Lot 14 of Sugar Grove Corporate Center Unit 2, according to the Plat thereof recorded October 27, 2000 as Document 2000K085928, in the Village of Sugar Grove, Kane County, Illinois.



LEGEND

PROPERTY BOUNDARY

STING CONTOUR LIN

(ISTING STORM SEWE

NO.	DATE	NOTES
	NO.	NO. DATE



Contractor and or sub-contractors shall verify locations of all underground utilities prior to digging. Contact J.U.L.I.E. (Joint Utility Locating for Excavators) at 1-800-892-0123 or dial 811.

UTILITY STATEMENT

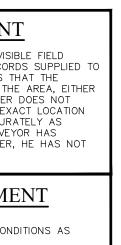
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD VIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

TOPOGRAPHY STATEMENT

EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY TEBRUGGE ENGINEERING. CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY NGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION

ENGINEERING PLANS FOR **391 CAPITOL DRIVE SITE PLAN**

SECTION 16, TOWNSHIP 38 NORTH, RANGE 7 EAST **391 CAPITOL DRIVE** SUGAR GROVE, IL 60554 **KANE COUNTY APRIL**, 2024



INDEX TO SHEETS

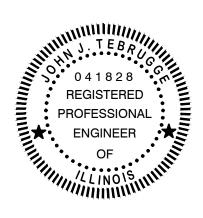
- 1. COVER SHEET
- 2. EXISTING CONDITIONS & DEMOLITION PLAN
- 3. CIVIL SITE PLANS
- 4. GENERAL NOTES & DETAILS

PROJECT LOCATION

PROFESSIONAL ENGINEER'S CERTIFICATION STATE OF ILLINOIS, COUNTY OF KENDALL

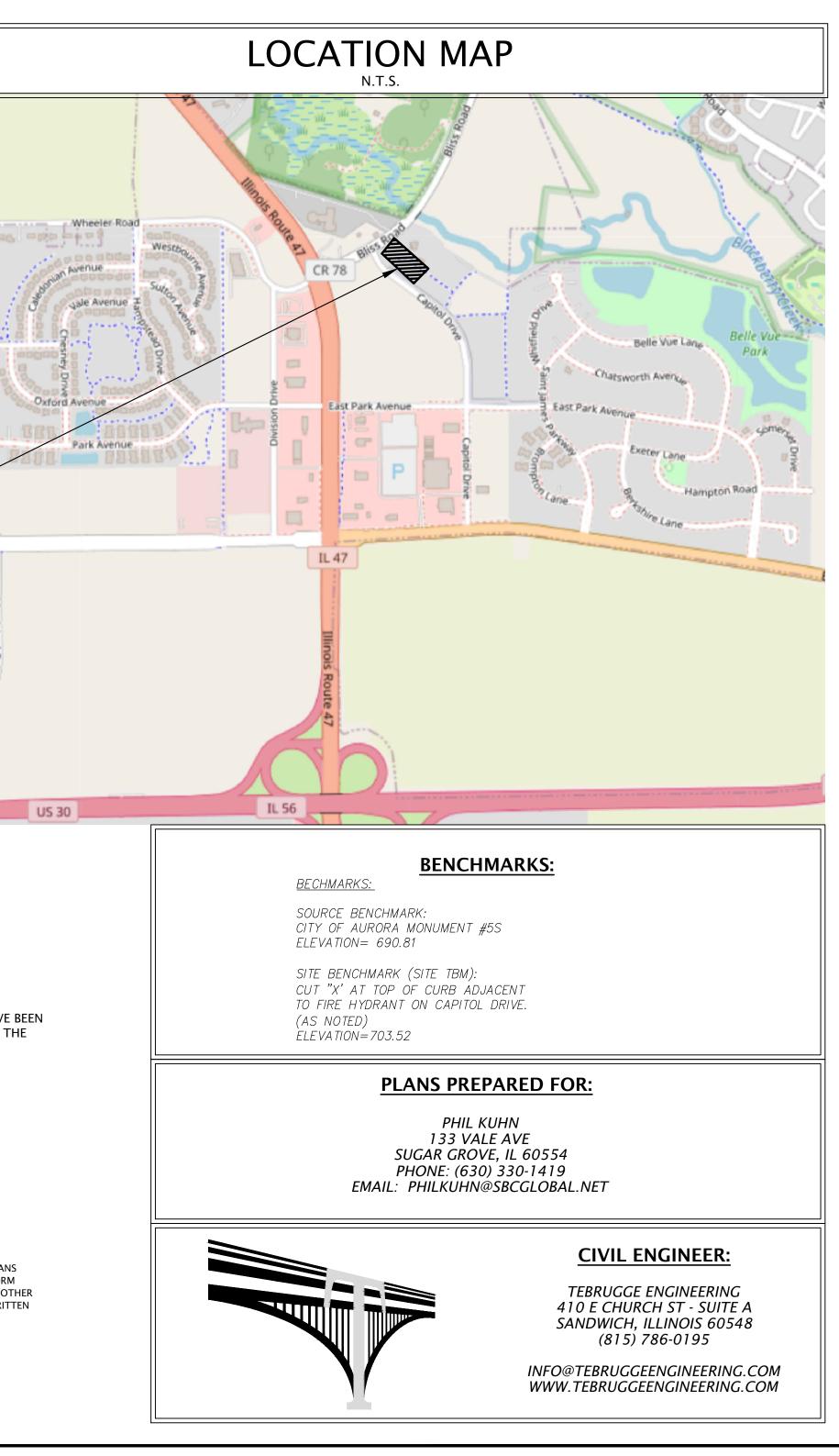
I JOHN J. TEBRUGGE, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY PERSONAL DIRECTION BASED ON AVAILABLE DOCUMENTS AND FIELD MEASUREMENTS FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.

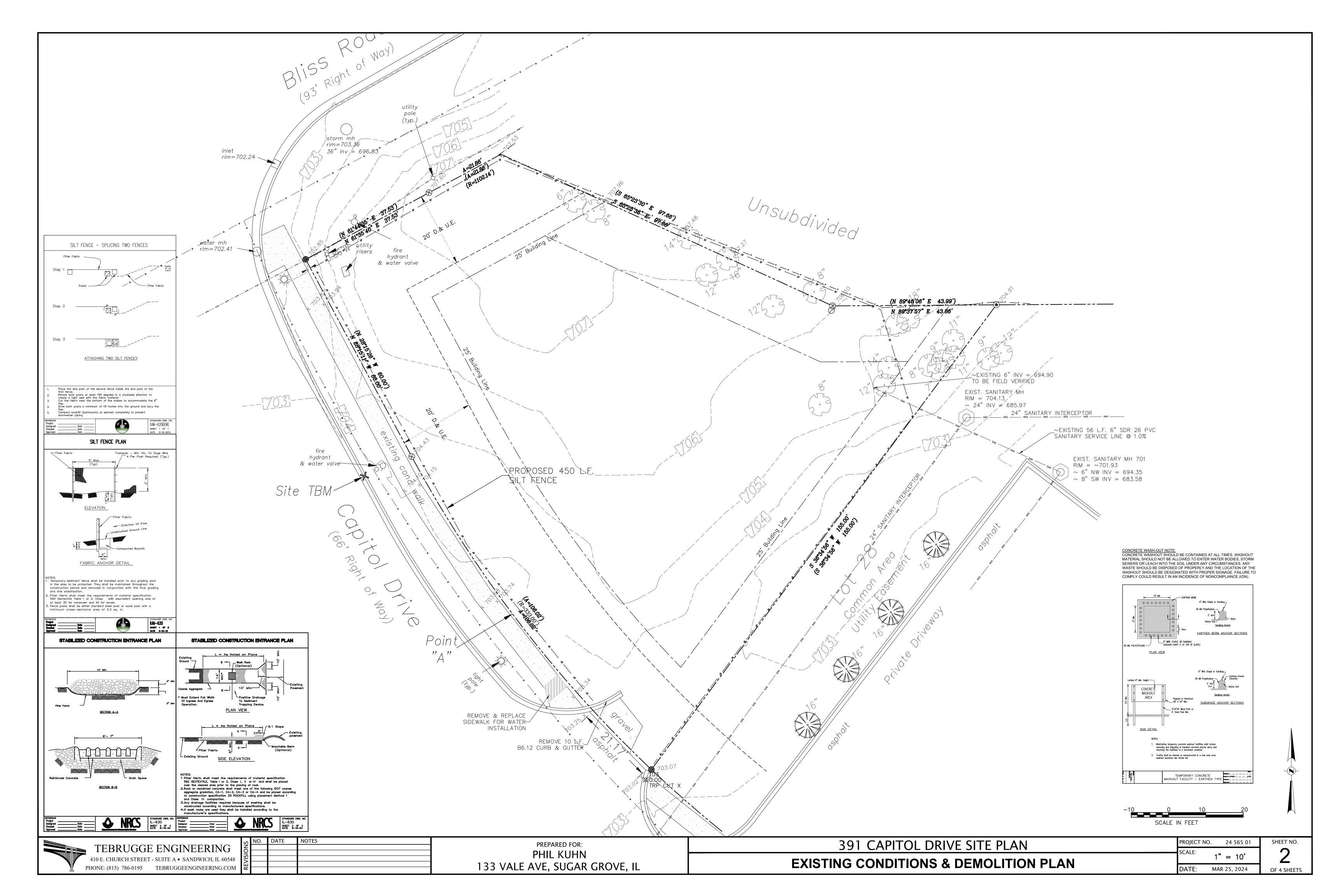
GIVEN UNDER MY HAND & SEAL THIS 2ND DAY OF APRIL, 2024.

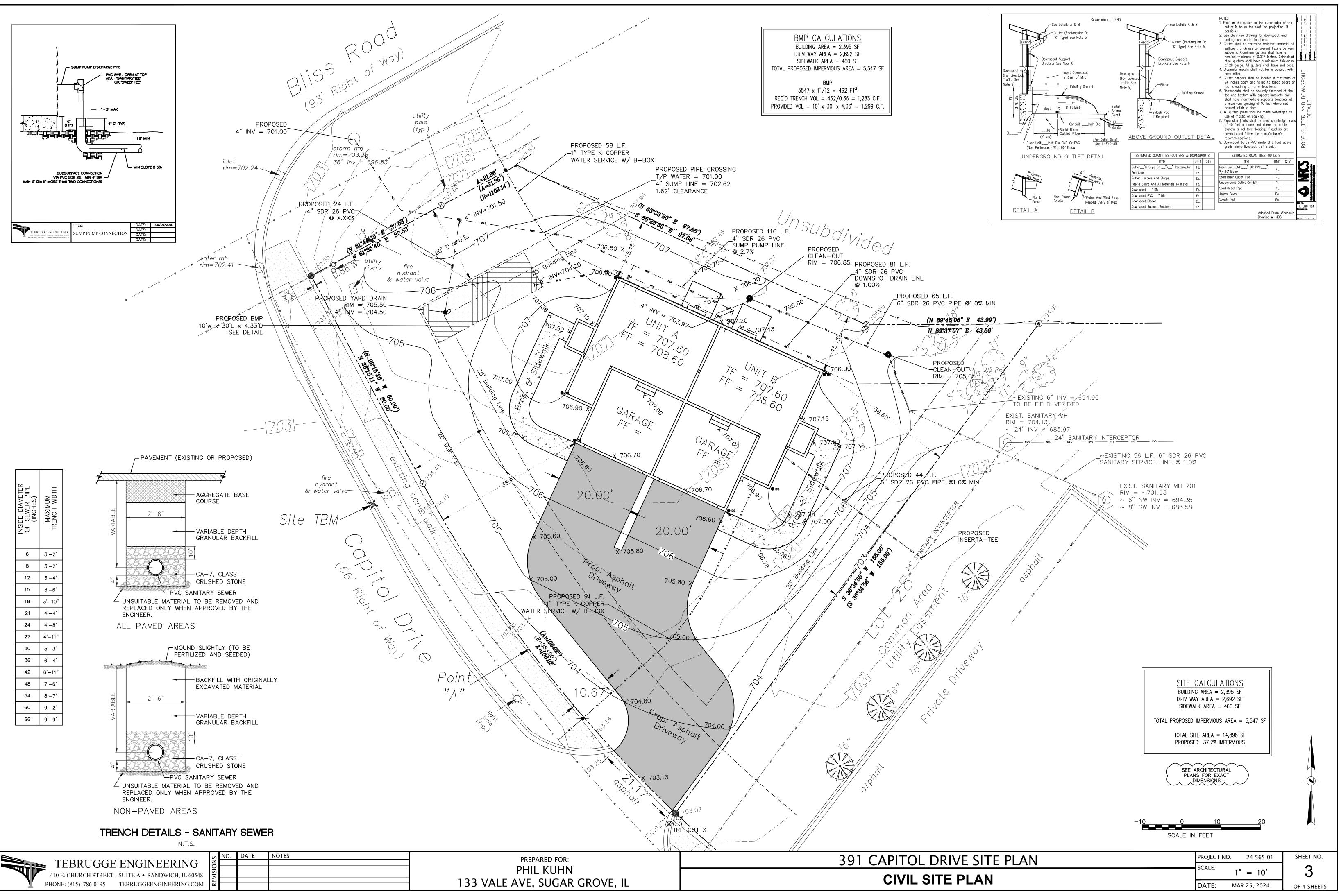


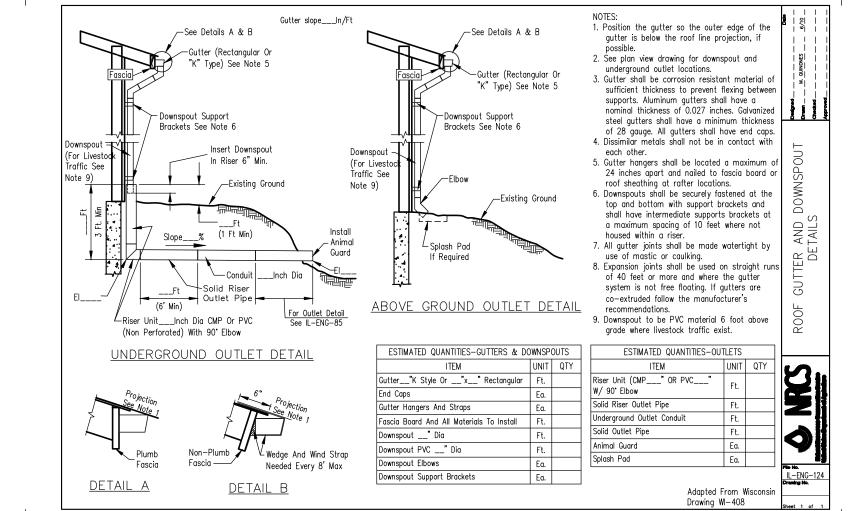
IL/INOIS REGISTERED PROFESSIONAL ENGINEER NO. 0062-041828 EXPIRES NOV. 30, 2025

COPYRIGHT © 2024 BY TEBRUGGE ENGINEERING ALL RIGHTS RESERVED. NO PART OF THESE CIVIL ENGINEERING PLANS MAY BE REPRODUCED, DISTRIBUTED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, INCLUDING PHOTOCOPYING, RECORDING, OR OTHER ELECTRONIC OR MECHANICAL METHODS, WITHOUT THE PRIOR WRITTEN PERMISSION OF TEBRUGGE ENGINEERING.









GENERAL CONDITIONS

1. ALL EARTHWORK, ROADWAY WORK, DRAINAGE WORK OR STORM SEWER WORK SHALL BE PERFORMED UTILIZING MATERIALS AND METHODS IN STRICT ACCORDANCE WITH THE ILLINOIS DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.

2. ALL SANITARY SEWER AND WATER MAIN WORK SHALL BE PERFORMED USING METHODS AND MATERIALS IN STRICT ACCORDANCE WITH THE LATEST EDITION OF "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", LATEST EDITION, AS WELL AS THE STANDARD DETAIL SHEETS ATTACHED TO THESE PLANS. ALL MUNICIPAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND STANDARDS SHALL BE STRICTLY ADHERED TO IN WORK PERFORMED UNDER THIS CONTRACT.

3. ANY SPECIFICATIONS WHICH ARE SUPPLIED ALONG WITH THE PLANS SHALL TAKE PRECEDENCE IN THE CASE OF A CONFLICT WITH THE STANDARD SPECIFICATIONS NOTED IN ITEMS NO. 1 AND 2 ABOVE. THE ABOVE STANDARD SPECIFICATIONS & THE CONSTRUCTION PLANS ARE TO BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE TO BE CONSIDERED A PART OF THE CONTRACT.

4. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

5. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED AGAINST ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK BY THE GOVERNING MUNICIPALITY, OTHER APPLICABLE GOVERNMENTAL AGENCIES, AND THE OWNER.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR CONSTRUCTION ALONG OR ACROSS EXISTING STREETS OR HIGHWAYS. HE SHALL MAKE ARRANGEMENTS FOR THE PROPER BRACING. SHORING AND OTHER REQUIRED PROTECTION OF ALL ROADWAYS BEFORE CONSTRUCTION BEGINS, ALONG WITH ADEQUATE TRAFFIC CONTROL MEASURES. HE SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE STREETS OR ROADWAYS AND ASSOCIATED STRUCTURES AND SHALL MAKE REPAIRS AS NECESSARY TO THE SATISFACTION OF THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.

7. THE UTILITY LOCATIONS, AND THE DEPTHS SHOWN ON THESE PLANS ARE APPROXIMATE ONLY, AND SHALL BE VERIFIED BY THE CONTRACTOR WITH ALL AFFECTED UTILITY COMPANIES PRIOR TO INITIATING CONSTRUCTION OPERATIONS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR THE ADEQUACY, SUFFICIENCY OR EXACTNESS OF THESE UTILITY REPRESENTATIONS.

8. PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE OFFICE OF J.U.L.I.E. AT 1-800-892-0123 FOR EXACT FIELD LOCATION OF ALL UNDERGROUND UTILITIES IN THE PROXIMITY OF, AND ON, THE PROJECT SITE: IF THERE ARE ANY UTILITIES WHICH ARE NOT MEMBERS OF THE J.U.L.I.E. SYSTEM. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THIS AND MAKE ARRANGEMENTS TO HAVE THESE UTILITIES FIELD LOCATED.

9. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR RELOCATING THESE FACILITIES AT HIS EXPENSE TO ACCOMMODATE THE NEW CONSTRUCTION.

10. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINA LINE AND PUT IN ACCEPTABLE OPERATIONAL CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE FOR ONSITE DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

11. IT SHALL BE THE RESPONSIBILITY OF EACH RESPECTIVE CONTRACTOR TO REMOVE FROM THIS SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

12. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OF FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF HIS WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.

13. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND FEDERAL SAFETY REGULATIONS AS OUTLINED IN THE LATEST REVISIONS OF THE FEDERAL CONSTRUCTION SAFETY STANDARDS (SERIES 1926) AND WITH APPLICABLE PROVISIONS AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS OF THE WILLIAMS STELGER OCCUPATIONAL HEALTH STATE SAFETY ACT OF 1970(REVISED). THE CONTRACTOR, ENGINEERS, AND OWNER SHALL EACH BE RESPONSIBLE FOR HIS OWN RESPECTIVE AGENTS AND EMPLOYEES.

14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND ALL GOVERNING AUTHORITIES, THEIR AGENTS SUCCESSORS AND ASSIGNS FROM ANY AND ALL LIABILITY WITH RESPECT TO THE CONSTRUCTION, INSTALLATION AND TESTING OF THE WORK REQUIRED ON THIS PROJECT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM THE WORK OF THIS CONTRACT IN A MANNER WHICH STRICTLY COMPLIES WITH ANY AND ALL PERTINENT LOCAL, STATE OR NATIONAL CONSTRUCTION AND SAFETY CODES; THE ENGINEER, OWNER, AND GOVERNING AUTHORITIES ARE NOT RESPONSIBLE FOR ENSURING COMPLIANCE BY THE CONTRACTOR WITH SAID CODES AND ASSUME NO LIABILITY FOR ACCIDENTS, INJURIES, OR DEATHS, OR CLAIMS RELATING THERETO WHICH MAY RESULT FROM LACK OF ADHERENCE TO SAID CODES.

UNDERGROUND UTILITIES

1. ALL UTILITY TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PROPOSED OR EXISTING PAVEMENT DRIVEWAYS, SIDEWALKS AND FOR A DISTANCE OF TWO FEET ON EITHER SIDE OF SAME, AND/OR WHEREVER ELSE SHOWN ON THE CONSTRUCTION PLANS SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL (CA-7) AND THOROUGHLY COMPACTED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.

2. UNLESS OTHERWISE INDICATED ON THE PLANS, STORM SEWER PIPE SHALL BE REINFORCED CONCRETE CULVERT PIPE OF THE CLASS AS INDICATED ON THE PLANS, AND CONFORMING TO ASTM C-76. JOINTS SHALL TYPICALLY BE A "TROWEL APPLIED" BITUMINOUS MASTIC COMPOUND IN ACCORDANCE WITH ASTM C-76 (OR C-14 AS MAY BE APPLICABLE OR RUBBER "O"-RING GASKET JOINTS CONFORMING TO ASTM C-443). LOCATIONS WHERE THE STORM SEWER CROSSES WATERMAINS AN "O"-RING JOINT IN ACCORDANCE WITH ASTM C-361 SHALL BE USED.

3. STORM SEWER MANHOLES SHALL BE PRECAST STRUCTURES, WITH THE DIAMETER DEPENDENT ON THE PIPE SIZE AND WITH APPROPRIATE FRAME AND LIDS (SEE CONSTRUCTION STANDARDS). LIDS SHALL BE IMPRINTED "STORM SEWER". ALL FLARED END SECTIONS SHALL HAVE A FRAME & GRATE INSTALLED.

4. THESE FRAME AND GRATES FOR STORM STRUCTURES SHALL BE USED UNLESS OTHERWISE INDICATED ON THE PLAN SET. USE NEENAH R-1712 OPEN LID (OR EQUAL) IN PAVEMENT AREAS, USE NEENAH R-1772-B OPEN OR CLOSED LID (OR EQUAL) IN GRASS AREAS, USE NEENAH R-3015 (OR EQUAL) FOR B6.12 CURB AREAS, AND NEENAH R-3509 (OR EQUAL) FOR DEPRESSED CURB AREAS.

5. STRUCTURES FOR SANITARY AND STORM SEWERS AND VALVE VAULTS FOR WATER SHALL BE IN ACCORDANCE WITH THESE IMPROVEMENT PLANS AND THE APPLICABLE STANDARD SPECIFICATIONS. WHERE GRANULAR TRENCH BACKFILL IS REQUIRED AROUND THESE STRUCTURES THE COST SHALL BE CONSIDERED AS INCIDENTAL AND SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE STRUCTURE.

6. ALL STORM SEWERS AND WATERMAINS SHALL HAVE COMPACTED CA-7 GRANULAR BEDDING, A MINIMUM OF 4" BELOW THE BOTTOM OF THE PIPE FOR THE FULL LENGTH. BEDDING SHALL EXTEND TO THE SPRING LINE OF THE PIPE. COST FOR THE BEDDING SHALL BE INCLUDED WITH THE UNIT PRICE BID FOR THE PIPE.

7. THE UNDERGROUND CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ANY EXCAVATION FOR THE INSTALLATION OF THE SEWER OR WATER SYSTEMS. ANY DEWATERING ENCOUNTERED SHALL BE INCIDENTAL TO THE RESPECTIVE UNDERGROUND UTILITY.

8. ALL STRUCTURES SHALL HAVE A MAXIMUM OF 8" OF ADJUSTING RINGS, UNLESS OTHERWISE NOTED.

9. ALL TOP FRAMES FOR STORM AND VALVE VAULT COVERS AND B-BOXES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE UPON COMPLETION OF FINISHED GRADING AND FINAL INSPECTIONS. THIS ADJUSTMENT IS TO BE MADE BY THE UNDERGROUND CONTRACTOR AND THE COST IS TO BE INCIDENTAL. THE UNDERGROUND CONTRACTOR SHALL INSURE THAT ALL ROAD AND PAVEMENT INLETS OR STRUCTURES ARE AT FINISHED GRADE. ANY ADJUSTMENTS NECESSITATED BY THE CURB OR PAVING CONTRACTOR TO ACHIEVE FINAL RIM GRADE, RESULTING IN AN EXTRA FOR SAID ADJUSTMENTS, WILL BE CHARGED TO THE UNDERGROUND CONTRACTOR.

10. ALL FLOOR DRAINS AND FLOOR DRAIN SUMP PUMPS SHALL DISCHARGE INTO THE SANITARY SEWER. 11. ALL DOWNSPOUTS, FOOTING DRAINS AND SUBSURFACE STORM WATERS SHALL DISCHARGE INTO THE STORM SEWER OR ONTO THE GROUND AND BE DIRECTED TOWARDS A STORM SEWER STRUCTURE.

12. ANY ANTICIPATED COST OF SHEETING SHALL BE REFLECTED IN THE CONTRACT AMOUNTS. NO ADDITIONAL COST WILL BE ALLOWED FOR SHEETING OR BRACING.

13. THE CONTRACTOR SHALL INSTALL A 2"x4"x8' POST ADJACENT TO THE TERMINUS OF THE SANITARY SERVICE WATERMAIN SERVICE, SANITARY MANHOLES, STORM STRUCTURES, AND WATER VAULTS. THE POST SHALL EXTEND A MINIMUM OF 4 FT. ABOVE THE GROUND. SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY-GREEN, WATER-BLUE, AND STORM-RED.

14. IT SHALL BE THE RESPONSIBILITY OF THE UNDERGROUND CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

EARTHWORK

1. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH SECTION 200 OF THE I.D.O.T. SPECIFICATIONS. 2. THE CONTRACTOR SHALL PROTECT ALL PROPERTY PINS AND SURVEY MONUMENTS AND SHALL RESTORE ANY WHICH ARE DISTURBED BY HIS OPERATIONS AT NO ADDITIONAL COST TO THE CONTRACT.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN WRITING BY THE OWNER.

4. PRIOR TO ONSET OF MASS GRADING OPERATIONS THE EARTHWORK CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SOIL EROSION CONTROL SPECIFICATIONS. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT FENCING, ETC. TO PROTECT ADJACENT PROPERTY SHALL OCCUR BEFORE MASS GRADING BEGINS, AND IN ACCORDANCE WITH THE SOIL EROSION CONTROL CONSTRUCTION SCHEDULE

5. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY THE SOILS ENGINEER OR HIS REPRESENTATIVE. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE REMOVAL AND ITS REPLACEMENT AND OTHER SOILS RELATED OPERATIONS SHALL BE ENTIRELY THE RESPONSIBILITY OF THE SOILS ENGINEER.

6. THE GRADING AND CONSTRUCTION OF THE SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE.

7. THE PROPOSED GRADING ELEVATIONS SHOWN ON THE PLANS ARE FINISH GRADE. A MINIMUM OF SIX INCHES (6") OF TOPSOIL IS TO BE PLACED BEFORE FINISH GRADE ELEVATIONS ARE ACHIEVED. 8. THE SELECTED STRUCTURAL FILL MATERIAL SHALL BE PLACED IN LEVEL UNIFORM LAYERS SO THAT THE

COMPACTED THICKNESS IS APPROXIMATELY SIX INCHES (6"); IF COMPACTION EQUIPMENT DEMONSTRATES THE ABILITY TO COMPACT A GREATER THICKNESS, THEN A GREATER THICKNESS MAY BE SPECIFIED. EACH LAYER SHALL BE THOROUGHLY MIXED DURING SPREADING TO INSURE UNIFORMITY.

9. EMBANKMENT MATERIAL WITHIN ROADWAY, PARKING LOT, AND OTHER STRUCTURAL CLAY FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE PERCENT (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-1557 (MODIFIED PROCTOR METHOD), OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOILS ENGINEER. EMBANKMENT MATERIAL FOR BUILDING PADS SHALL BE COMPACTED TO A MINIMUM OF NINETY-FIVE (95%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 (MODIFIED PROCTOR METHOD) OR TO SUCH OTHER DENSITY AS MAY BE DETERMINED APPROPRIATE BY THE SOIL ENGINEER.

10. EMBANKMENT MATERIAL (RANDOM FILL) WITHIN NON-STRUCTURAL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF NINETY PERCENT (90%) OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM SPECIFICATION D-157 (MODIFIED PROCTOR METHOD).

11. THE SUB GRADE FOR PROPOSED STREET AND PAVEMENT AREAS SHALL BE PROOF-ROLLED BY THE CONTRACTOR AND ANY UNSTABLE AREAS ENCOUNTERED SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE SOILS ENGINEER.

12. SOIL BORING REPORTS, IF AVAILABLE, ARE SOLELY FOR THE INFORMATION AND GUIDANCE OF THE CONTRACTORS. THE OWNER AND ENGINEER MAKE NO REPRESENTATION OR WARRANTY REGARDING THE INFORMATION CONTAINED IN THE BORING LOGS. THE CONTRACTOR SHALL MAKE HIS OWN INVESTIGATIONS AND SHALL PLAN HIS WORK ACCORDINGLY. ARRANGEMENTS TO ENTER THE PROPERTY DURING THE BIDDING PHASE MAY BE MADE UPON REQUEST OF THE OWNER. THERE WILL BE NO ADDITIONAL PAYMENT FOR EXPENSES INCURRED BY THE CONTRACTOR RESULTING FROM ADVERSE SOIL OR GROUND WATER CONDITIONS.

13. IT SHALL BE THE RESPONSIBILITY OF THE EXCAVATION CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

<u>PAVING & WALKS</u>

1. WORK UNDER THIS SECTION SHALL INCLUDE FINAL SUBGRADE SHAPING AND PREPARATION: FORMING, JOINTING, PLACEMENT OF ROADWAY AND PAVEMENT BASE COURSE MATERIALS AND SUBSEQUENT BINDER AND/OR SURFACE COURSES; PLACEMENT, FINISHING AND CURING OF CONCRETE; FINAL CLEAN-UP; AND ALL RELATED WORK.

2. ALL PAVING AND SIDEWALK WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS (I.D.O.T.) AND PER LOCAL REGULATIONS.

3. SUBGRADE FOR PROPOSED PAVEMENT SHALL BE FINISHED BY THE EXCAVATION CONTRACTOR TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF THE PLAN ELEVATION. THE PAVING CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE PAVING CONTRACTOR ADVISES THE OWNER AND ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE. PRIOR TO PLACEMENT OF PAVEMENT BASE MATERIALS. THE PAVING CONTRACTOR SHALL FINE GRADE THE SUBGRADE SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.

4. THE PROPOSED PAVEMENT SHALL CONSIST OF THE SUB-BASE COURSE, BITUMINOUS AGGREGATE BASE COURSE, BITUMINOUS BINDER COURSE, AND BITUMINOUS SURFACE COURSE, OF THE THICKNESS AND MATERIALS AS SPECIFIED ON THE CONSTRUCTION PLANS, PRIME COAT SHALL BE APPLIED TO THE SUB-BASE COURSE AT A RATE OF 0.5 GALLONS PER SQUARE YARD. UNLESS SHOWN AS A BID ITEM, PRIME COAT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT. ALL PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "I.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION," CURRENT EDITION.

5. AFTER THE INSTALLATION OF THE BASE COURSE, ALL TRAFFIC SHALL BE KEPT OFF THE BASE UNTIL THE BINDER COURSE IS LAID. AFTER INSTALLATION OF THE BINDER COURSE AND UPON INSPECTION AND APPROVAL BY GOVERNING AUTHORITY. THE PAVEMENT SHALL BE CLEANED, PRIMED AND THE SURFACE COURSE LAID. ALL DAMAGED AREAS IN THE BINDER, BASE OR CURB AND GUTTER SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE PAVING CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND MANPOWER IS NECESSARY, INCLUDING THE USE OF POWER BROOMS TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. EQUIPMENT AND MANPOWER TO CLEAN PAVEMENT SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE CONTRACT. PRIME COAT ON THE BINDER COARSE SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT AND SHALL BE APPLIED TO THE BINDER AT A RATE OF 0.5 GALLONS PER SQUARE YARD.

6. CURING AND PROTECTION OF ALL EXPOSED CONCRETE SURFACES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.

7. SIDEWALKS SHALL BE OF THE THICKNESS AND DIMENSIONS AS SHOWN IN THE CONSTRUCTION PLANS. ALL SIDEWALK CONCRETE SHALL DEVELOP A MINIMUM OF 3,500-PSI COMPRESSIVE STRENGTH AT 28 DAYS. CONTRACTION JOINTS SHALL BE SET AT 5' CENTERS, AND 3/4" PRE-MOLDED FIBER EXPANSION JOINTS SET AT 50' CENTERS AND WHERE THE SIDEWALK MEETS THE CURB, A BUILDING, OR ANOTHER SIDEWALK, OR AT THE END OF EACH POUR. ALL SIDEWALKS CONSTRUCTED OVER UTILITY TRENCHES SHALL BE REINFORCED WITH THREE NO. 5 REINFORCING BARS (10' MINIMUM LENGTH). ALL SIDEWALKS CROSSING DRIVEWAYS SHALL BE A MINIMUM OF 6" THICK AND REINFORCED WITH 6X6 #6 WELDED WIRE MESH. ALL SIDEWALKS SHALL BE BROOM FINISHED. IF A MANHOLE FRAME FALLS WITHIN THE LIMITS OF A SIDEWALK, A BOX-OUT SECTION SHALL BE PLACED AROUND THE MANHOLE FRAME WITH A 3/4" EXPANSION JOINT.

8. BACKFILLING ALONG PAVEMENT SHALL BE THE RESPONSIBILITY OF THE EARTHWORK CONTRACTOR. 9. IT SHALL BE THE RESPONSIBILITY OF THE PAVING CONTRACTOR TO REMOVE FROM THE SITE ANY AND ALL MATERIAL AND DEBRIS, WHICH RESULTS FROM HIS CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

10. TESTING OF THE SUB-BASE, BASE COURSE, BINDER COURSE, SURFACE COURSE AND CONCRETE WORK SHALL BE REQUIRED IN ACCORDANCE WITH THE "I.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" CURRENT EDITION, AND IN ACCORDANCE WITH THE SPECIFIC REQUIREMENTS OF THE GOVERNING MUNICIPALITY. A QUALIFIED TESTING FIRM SHALL BE EMPLOYED BY THE OWNER TO PERFORM THE REQUIRED

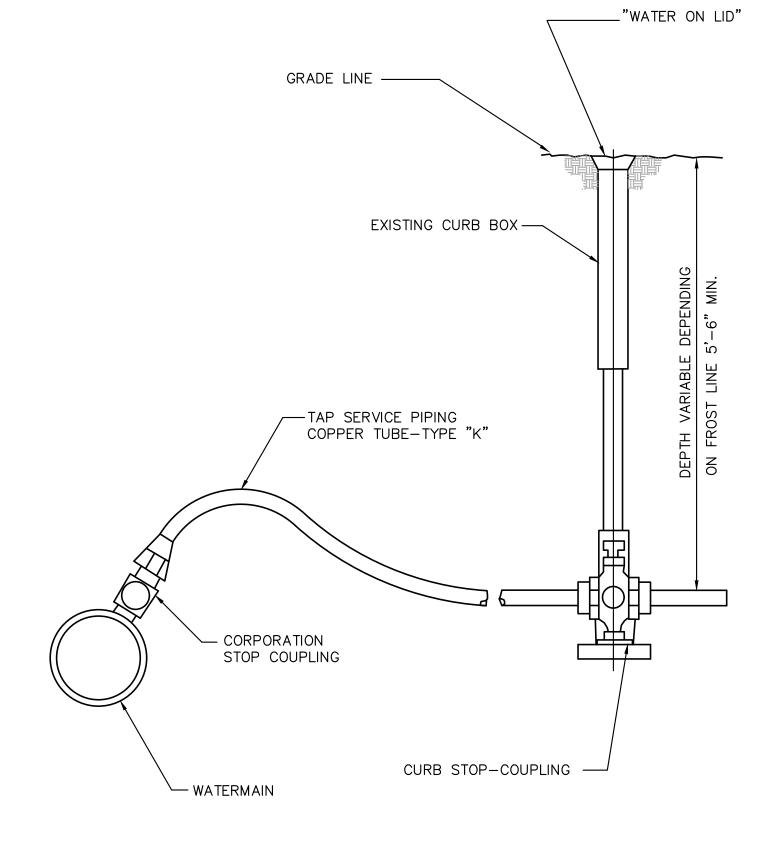
11. PAINTED PAVEMENT MARKINGS AND SYMBOLS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 1095 OF IDOT STANDARD SPECIFICATIONS, OR THE TYPE AND COLOR AS NOTED ON THE CONSTRUCTION PLANS.

12. PAINTED PAVEMENT MARKINGS AND SYMBOLS SHALL BE INSTALLED ONLY WHEN THE AMBIENT AIR TEMPERATURE IS 40 DEGREES FAHRENHEIT AND THE FORECAST CALL FOR RISING TEMPERATURES. 13. ALL EXISTING CURB AND PAVEMENT SHALL BE PROTECT DURING CONSTRUCTION. ANY DAMAGE TO THE CURB OR PAVEMENT WILL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER. 14. ANY SIDEWALK THAT IS DAMAGED OR NOT ADA COMPLIANT, INCLUDING SIDEWALK RAMPS, MUST BE

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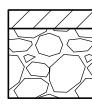
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REPLACED PRIOR TO FINAL INSPECTION APPROVAL.



TAP SERVICE PIPING (COPPER) N.T.S.

F	5'-0"	ł
	SLOPE: 1/4" PER 1'-0" (2% MAX)	
	ο ο ο ο ο	,
/		4" MIN. CA-6



└─ 5" CLASS SI CONCRETE

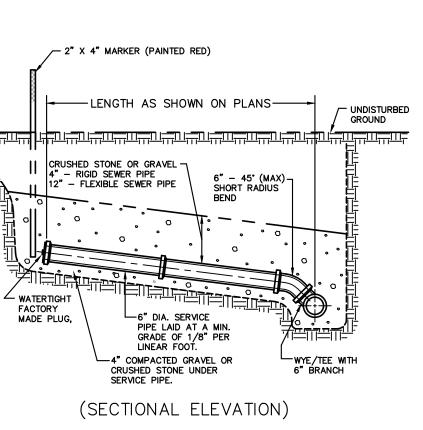
NOTES:

1. INSTALL TOOL JOINTS EVERY 5' CONCRETE TO BE 6" THICK AT DRIVEWAYS. 2. ANY SIDEWALK THAT IS DAMAGED OR NOT ADA

COMPLIANT, INCLUDING SIDEWALK RAMPS, MUST BE REPLACED PRIOR TO FINAL INSPECTION APPROVAL.

SIDEWALK N.T.S.

INSERTA TEE[®] INSTALLATION INSTRUCTIONS ILS Dat. No. 4365929 Canadian Dat. No. 44744



1. THIS ITEM SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE PER LINEAL FOOT FOR SERVICE SEWERS OF SIZE AND TYPE SPECIFIED. 2. SANITARY SERVICE SEWERS SHALL BE THE SAME MATERIAL AS MAINLINE SEWER UNLESS

OTHERWISE SPECIFIED OR NOTED ON PLANS. 3. WYES/TEES, BENDS, ADAPTERS AND PLUGS OF THE MATERIAL SPECIFIED SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE PER EACH FOR <u>SANITARY SERVICE WYES/TEES AND PLUG.</u>

4. PROVIDING AND INSTALLING TRENCH BACKFILL MATERIAL ACCORDING TO DETAILS IN THE PLANS & SPECIFICATIONS SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE PER CUBIC YARD FOR GRANULAR TRENCH BACKFILL FOR SANITARY SEWER IMPROVEMENTS.

SANITARY SERVICE SEWER

	U.S. Pat. NO. 43658	29 Canadian Pat, No. 1171114
olyethylene m se Poly Hol	d Hole Saw for PVC (solidy ainlines. e Saw for solidwall polyeth d Core Bits for concrete, c	ylene mainlines.
	: rill with hole saws recommer ommended for 10", 12" and	
Bits	INSERTA TEE SIZE	HOLE DIAMET
	4" (100 mm) 6" (150 mm) 8" (200 mm) 10" (250 mm) 12" (300 mm) 15" (375 mm) 16" & 18"	4 1/2" (112.5 m 6 1/2" (162.5 m 8 3/4" (218.8 m 10 7/8" (271.9 m 12 7/8" (321.8 m 15 13/16" (401.6 m 19 3/16" (487.17)
8 lb. (3.6 kg)	hammer and 2" (50mm) x 4'	" (100mm) board, 4" (100
	ERTA TEE solution - 16oz or 8 n of liquid soap)	Boz supplied with order. (
	INSTALLATIO	
	rs listed above. Make sure bit is pe ny remaining material.	erpendicular to mainline. Core
the side of the r	r sleeve into the cored hole with t nainline. The upper segment show e inside of the pipe. Feel inside to	uld be on top of the wall or rib
	TA TEE solution supplied to the ins . <u>WARNINGI</u> Using pipe lube may l	
	ub adapter into the rubber sleeve.	

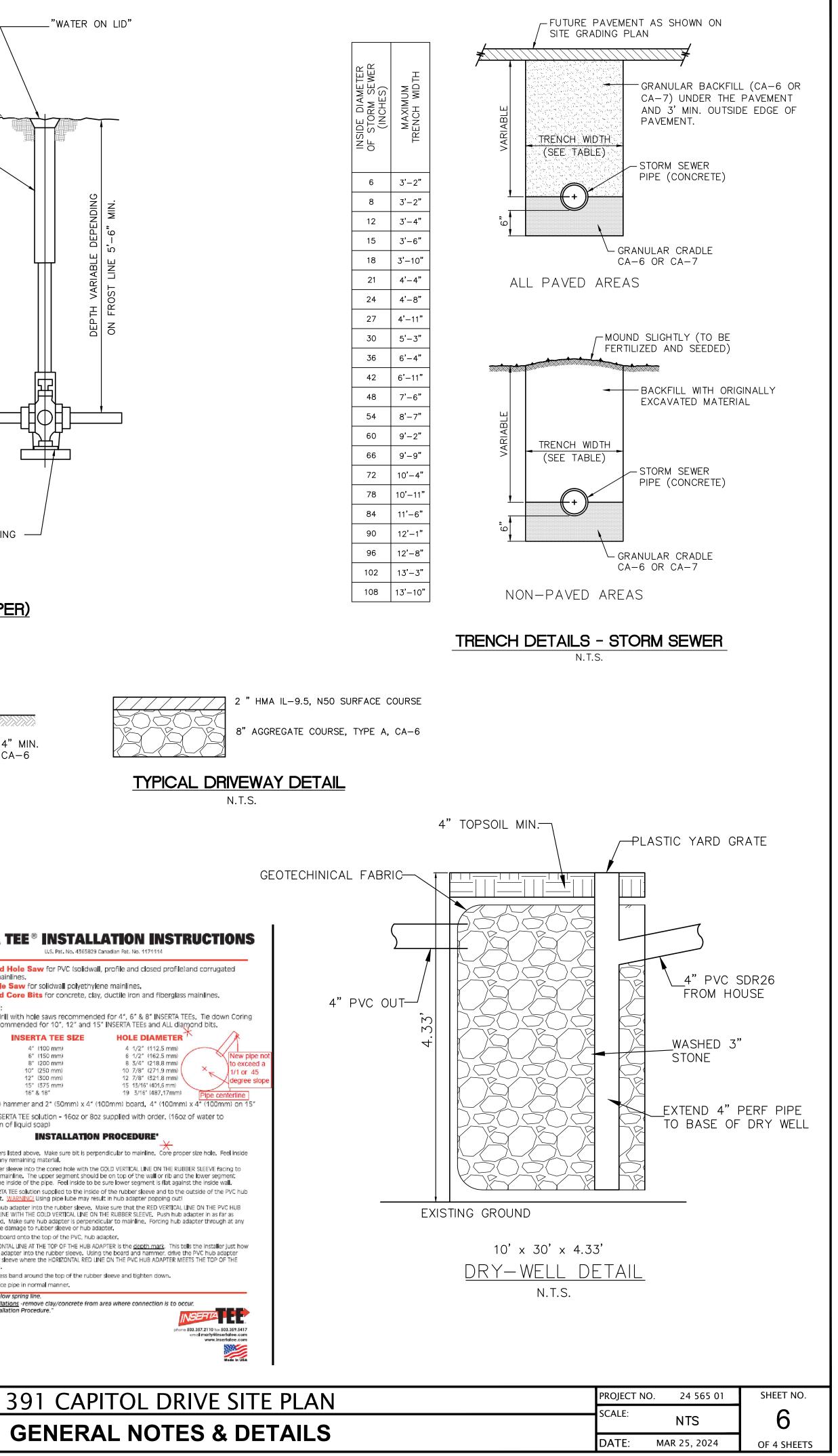
ADAPTER IS IN LINE WITH THE GOLD VERTICAL LINE ON THE RUBBER SLEEVE. Push hub adapter in as far as possible by hand. Make sure hub adapter is perpendicular to mainline. Forcing hub adapter through at any angle may cause damage to rubber sleeve or hub adapter. 5. Place the 2 x 4 board onto the top of the PVC, hub adapter.

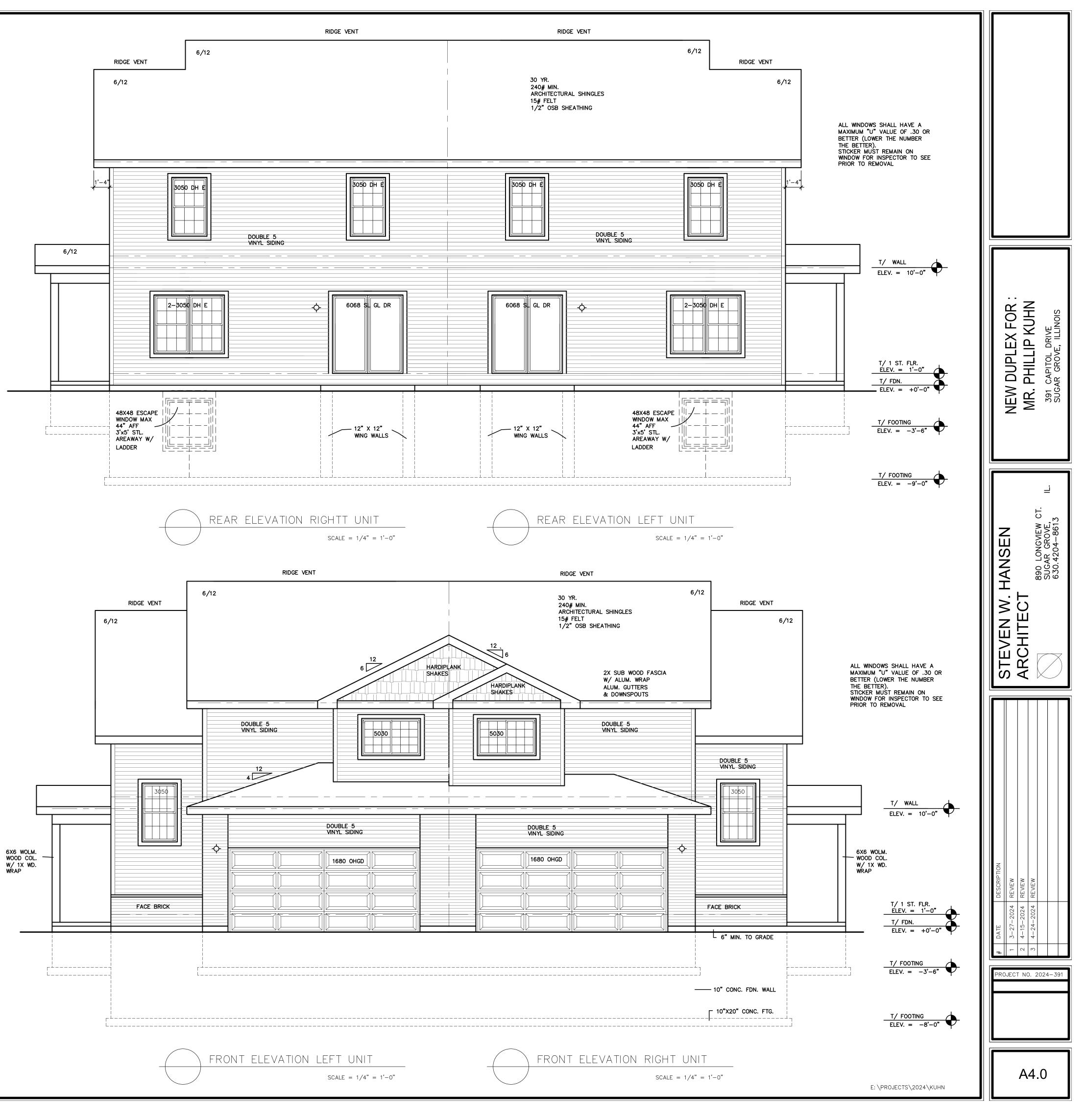
- 6. The RED HORIZONTAL LINE AT THE TOP OF THE HUB ADAPTER is the <u>depth mark</u>. This tells the installer just how far to drive the adapter into the rubber sleeve. Using the board and hammer, drive the PVC hub adapter into the rubber sleeve where the HORIZONTAL RED LINE ON THE PVC HUB ADAPTER MEETS THE TOP OF THE public or provide adapter. RUBBER SLEEVE.
- Place the stainless band around the top of the rubber sleeve and tighten down. 8. Instal side service pipe in normal manner. * Do not install below spring line. <u>CIPP & FFP installations</u> -remove clay/concrete from area where connection is to occur. Vext go to "Installation Procedure.

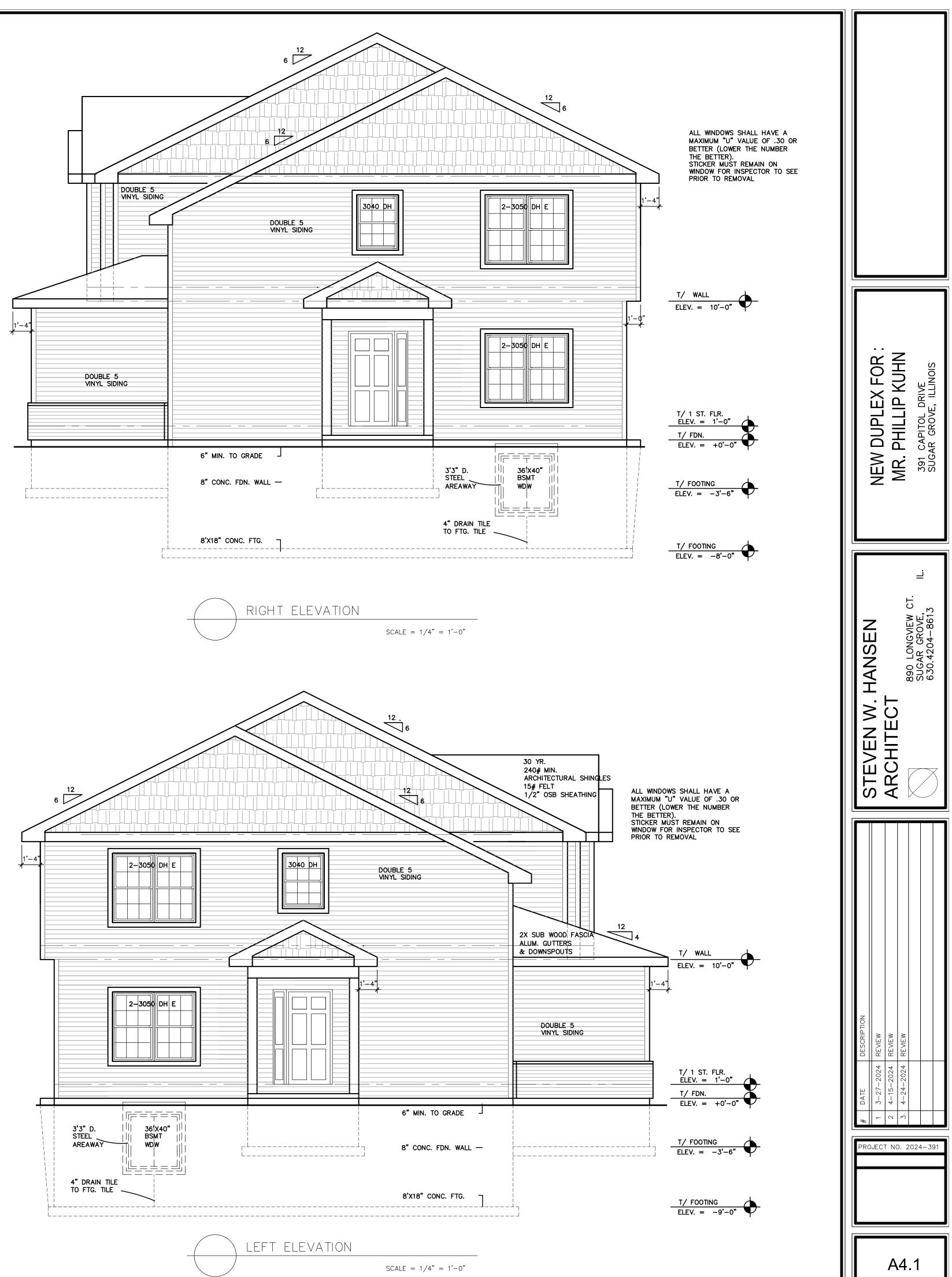
RBED AREAS SEEDED WITH 1A SEEDMIX

> PREPARED FOR: PHIL KUHN 133 VALE AVE, SUGAR GROVE, IL

NOTES:







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PROVIDE ARC-FAULT PROTECTION IN ALL SLEEPING ROOMS

FLEXIBLE DUCT

MAX. 6' LENGTH MEETING NFPA STANDARDS 90A AND 90B AND IS UL LISTED 181-CLASS 1, WITH A MINIMUM POSITIVE PRESSURE RATING OF 6" WATER GAGE. HEAT SUPPLY DUCTS ARE NOT PERMITTED IN EXTERIOR WALLS OR HOUSE-TO-GARAGE COMMON WALLS

FIRESTOPPING FIRESTOP MECHANICAL PENETRATION, STUD, JOIST, AND RAFTER SPACERS TO MEET CODE REQUIREMENTS.

NOTES;

ALL FLOOR JOISTS, CEILING JOISTS AND RAFTERS SHALL BE S.P.F. #2 OR BETTER (CANADIAN) Fb = 875 PSI, E = 1,400,000 PSI

ALL ML LVL SHALL BE TRUSS JOIST CORPORATION Fb = 2,600 psi, E = 1,900,000 psi

ALL FLOOR LOADS 40 psf LIVE LOAD

	10 psf DEAD LOAD
SLEEPING ROOMS	40 psf LIVE LOAD 10 psf DEAD LOAD
CEILING LOAD	20 psf LIVE LOAD 10 psf DEAD LOAD
ROOF RAFTER	30 psf LIVE LOAD 10 psf DEAD LOAD

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DOUBLE ALL JOISTS UNDER ALL PARALLEL PARTITIONS ABOVE

DOUBLE ALL JOISTS @ WHIRLPOOL TUB ALL GLAZING SHALL FOLLOW IRC CODE AS REQ'D.

PROVIDE BRIDGING AS REQUIRED IRC CODE AS REQ'D.

IF PROVIDED CONVENTIONAL BIRD'S MOUTH NOTCH AT ALL RAFTERS. ANY OVER CUT OF RAFTERS WILL BE REJECTED AND RECONSTRUCTED AT COST TO THE FRAMER. SET ALL TOP/TOP PLATES HEIGHTS ACCORDINGLY PRIOR TO ANY INCORRECT RAFTER CUTS

TYPICAL EGRESS SYMBOL WHERE INDICATED OPERABLE WINDOWS SHALL MEET THE FOLLOWING OPENING REQUIREMENTS FOR EGRESS 20" MIN. CLEAR WIDTH

24" MIN. CLEAR HEIGHT 5.7 SF MIN OVERALL CLEAR SASH OPENING OPENING SHALL BE ACCOMPLISHED BY NORMAL OPERATION OF THE WINDOW

INSULATION MATERIALS INSTALLED WITH-IN FLOOR CEILING ASSEMBLIES CRAWL SPACES AND ATTICS SHALL A FLAME-SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84

HANDRAIL NOTE: ALL STAIRWAYS WITH MORE THAN ONE RISER SHALL HAVE HANDRAILS AS REQUIRED PER LOCAL CODE

VENT CALCULATION: PROVIDE ATTIC VENTILATION TOTALING 1,678 SF X 1/300= 5.59 SF MIN. ALLOW 50 SI (.35 SF) PER VENT PROVIDE 50% AT EAVE - 50% ROOF VENTS 5.59 SF/2 / .35 SF = 7.98 VENTS REQUIRED

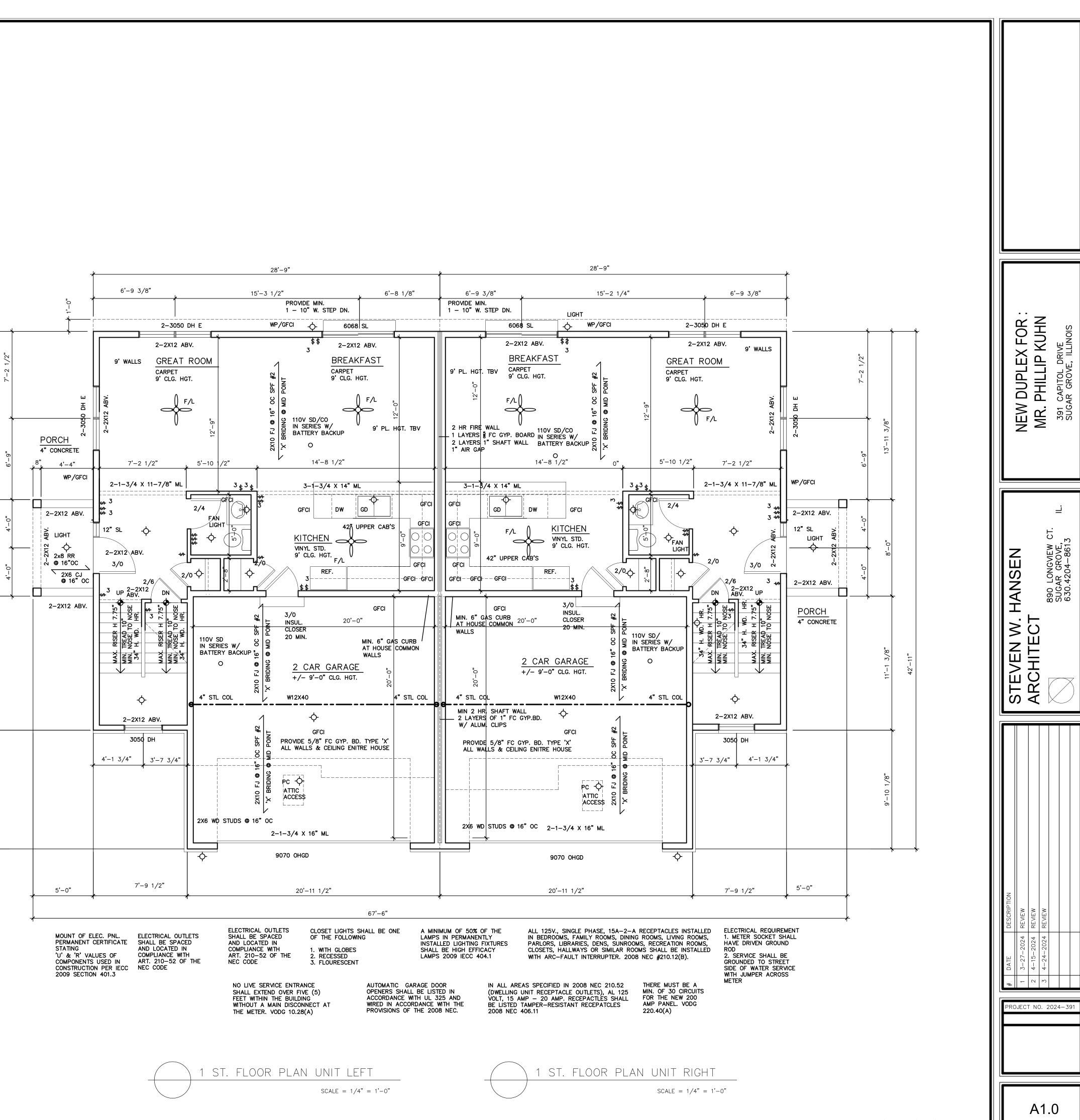
ALL WINDOWS SHALL HAVE A MAXIMUM "U" VALUE OF .35 OR BETTER (LOWER THE NUMBER THE BETTER). STICKER MUST REMAIN ON WINDOW FOR INSPECTOR TO SEE PRIOR TO REMOVAL

2018 IECC ENERGY REQUIREMENTS FENESTRATION MAX. 'U' = .30SKYLIGHT MAX. 'U' = .55 CEILING MIN. R' = 49R-20 OR R13 + R5 CONTINUOUS WALL FLOOR R-30 BASEMENT MIN. 4' DOWN R-15 CONT. OR R-19 HEATED SLAB R-10 2 FT. FROM EXTERIOR CRAWL SPACE R-15 CONTINUOUS OR R-19

PROVIDE 2-2X12'S ABV. ALL OPENINGS UNLESS NOTED OTHERWISE

ALL EXTERIOR WALLS ON CONDITIONED SPACE TO BE 2X6'S @ 16" OC.

TYPICAL BEARING HEADERS TO BE 2 - 2X12'S



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