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**VILLAGE OF SUGAR GROVE  
BOARD REPORT**

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**TO:** VILLAGE PRESIDENT & BOARD OF TRUSTEES  
**FROM:** DANIELLE MARION, PLANNING AND ZONING ADMINISTRATOR  
**SUBJECT:** ORDINANCE: WATERFORD PLACE PUD AMENDMENT, LOT 27 (391 CAPITOL DRIVE)  
**AGENDA:** MAY 7, 2024 VILLAGE BOARD MEETING  
**DATE:** MAY 1, 2024

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**ISSUE**

Shall the Village Board approve an amendment to the Waterford Place PUD to change the permitted use on Lot 27 from a medical office building to an attached single-family (duplex) dwelling, and approve a preliminary development plan for Lot 27.

**DISCUSSION**

The Village Board discussed the amendment to the Waterford Place PUD to change the permitted use on Lot 27 from a medical office building to an attached single-family (duplex) dwelling, and approve a preliminary development plan for Lot 27 and there were comments expressed regarding the appearance of the proposed attached single-family dwelling.

The Board requested that the applicant add brick along the entire bottom portion of the structure as well as wrapping the garages with brick. The applicant has provided revised elevation drawings that show brick being run down part of the side. The applicant has not agreed to wrap the garages as suggested.

The Board also requested that photos of the existing dwellings in Waterford place be provided to them for reference. The applicant provided the attached photos of other dwellings within Waterford Place.

**COSTS**

All costs associated with the request are borne by the Applicant.

**ATTACHMENTS**

- Revised Elevations
- Photos of existing dwellings in Waterford Place
- An Ordinance Granting Approval of an Amendment to the Waterford Place PUD and approval of Preliminary PUD for Lot 27 (391 Capitol Dr)

**RECOMMENDATION**

The proposed use and appearance of the proposed attached single-family dwelling fits the look and feel of the surrounding dwellings in Waterford Place, staff is recommending approval of the amendment to Waterford Place PUD and approval of Preliminary Planned Unit Development for Lot 27 (391 Capitol Dr).



**VILLAGE PRESIDENT**

Jennifer Konen

**VILLAGE ADMINISTRATOR**

Scott Koeppel

**VILLAGE CLERK**

Tracey Conti



**COMMUNITY DEVELOPMENT**

**VILLAGE TRUSTEES**

Matthew Bonnie

Sean Herron

Heidi Lendi

Sean Michels

Michael Schomas

James F. White

# **R E C O M M E N D A T I O N**

## **PC24-01**

TO: Village President and Board of Trustees  
FROM: Planning Commission  
DATE: Meeting of February 21, 2024  
PETITION: 24-001 Waterford Place Lot 27 PUD Amendment  
(391 Capitol Drive)

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**PROPOSAL**

391 Capitol Drive is currently an empty lot (Lot 127) that is part of the Waterford Place PUD. The PUD designates the use of this property as Medical Office building. The applicant is requesting to amend the PUD to change the use from Medical Office to an attached single-family (duplex) building on the property.

Before building the duplex, the applicant will be required to come back to the Village for Final PUD approval, it is during this time that we will address the required landscaping.

**LOCATION MAP**

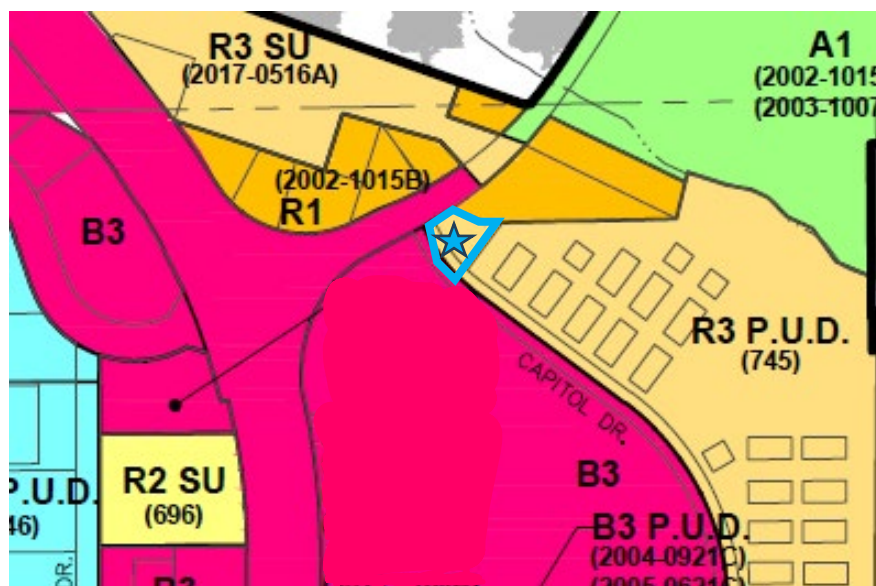


## BACKGROUND & HISTORY

The subject property is an irregular-shaped 0.34 acre vacant lot located on the southeast corner of Bliss Road and Capitol Drive that is part of the Waterford Place PUD. The zoning of the property is R3- medium density residential PUD. The subject property is situated adjacent to attached-family dwellings. The Waterford Place PUD specifically designates the use of this property as a medical office building. There has been no interest or market to construct a medical office building on this property.

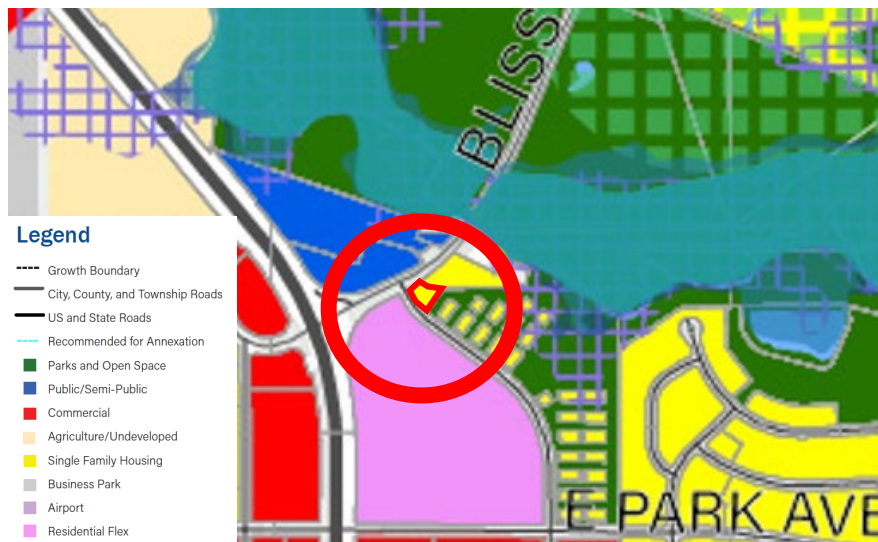
The applicant is under contract to purchase the property and construct a duplex attached single-family residence. In order to accomplish this the PUD must be amended to change the designated use of the property from a medical office building to attached single-family residential. The only lot development restriction placed on Lot 27 by the PUD is the location of the driveway serving the lot. The existing curb cut is the specified location for the driveway access. The applicant is not proposing to change the location of the driveway.

	Zoning	Land Use
Subject Property	R3 Medium Density Residential PUD	Vacant Land
North	R1 Low Density Residential	Single-Family Residential
East	R1 Low Density Residential	Single-Family Residential
South	R3 Medium Density Residential PUD	Multi-Family Residential
West	B3 Regional Business District	Vacant Land



**Zoning Map**





Future Land Use Map

## EVALUATION

The Waterford Place PUD was approved in 2000. At that time the economy was much different and there was a greater demand for medical offices, this has since changed.

The proposed PUD Amendment to change the designated use of the property located at 391 Capitol Drive from a medical office building to attached single family residential would align with the designated use of the Village's updated Comprehensive Plan. The Plan designates this property as residential. It also aligns with the current residential uses surrounding the property. The amendment would also allow this property to be developed after sitting vacant for many years.

The applicant submitted as part of their application elevation drawings depicting the two-story duplex they are proposing to build on the subject property. The front of the duplex faces Capitol Drive with a shared driveway. There is a recorded restriction on the location of a driveway for Lot 27. The current curb cut on Capitol Drive is the only location access to the lot is permitted and this is the location of the shared driveway.

The provided site plan complies with the Villages required setbacks, parking, lot coverage, and the access limitations to Capitol Drive. However, Village staff suggested that the placement of the building on the lot be shifted to create more space behind the duplex to better accommodate the proposed patios. If this is done the building will no longer meet the required yard setbacks and a deviation will need to be granted for the rear yard setback to be less than the required 25 feet as part of the PUD amendment.

Staff recommended revisions to the building elevations to ensure the design and building materials that are being proposed will be similar/compatible with the existing buildings within the Waterford Place PUD.

The applicant intends to divide the ownership of the building and lot.

### **PUBLIC RESPONSE**

After due notice, the Planning Commission held a public hearing on February 21, 2024. Objectors were present and heard.

The first item addressed by the public was parking. They feel that parking on Capitol Drive is an issue and if the new occupants of the proposed duplex were to park on the street, they would be towed. Objectors indicated that parking is an issue in Waterford Place. They also stated that the intersection of Capitol Drive and Bliss Road is dangerous.

The second topic of concern was the location of the front doors of the duplex. In the proposed building elevation, the entry doors are on the side of each unit and do not face the street. The public felt the front doors need to be facing Capitol Drive in order to have a Capitol Drive address.

### **DISCUSSION**

Commissioners discussed the proposal and objector comments, to include if the open space or lot coverage requirement would be met for the property.

### **RECOMMENDATION**

After carefully considering the facts and public comments, the Planning Commission recommends the Village Board **approve** the proposed Waterford Place PUD Amendment to change the use on Lot 27 from Medical Office to an attached single-family (duplex) building on the property, and approve a Preliminary PUD Plan for Waterford Place Lot 27, subject to the following conditions:

- 1) Applicant is required to obtain Final PUD approval, including final engineering plans and a landscape plan.
- 2) Appearance of the building must be similar to the existing multi-family buildings in Waterford Place, as follows:
  - a. Two-car garages shall be provided
  - b. Add masonry to garage façade and on other wall elements as appropriate
  - c. Remove shutters and add sizeable trim to all window openings to match Waterford Place
  - d. All windows should have divided glass to match Waterford Place
  - e. Architectural shingles should be used to match/compliment Waterford Place buildings

- f. Add more window openings to the side and rear elevations
  - g. Building materials and colors should be similar to those used in Waterford Place
- 3) Final PUD development plan shall be in substantial conformance with the preliminary PUD plan.

AYES: Guddendorf, Wilson, Sabo, Speciale, Ochsenschlager

NAYES: None

ABSENT: Jones, Bieritz

**MOTION PASSED**



**VILLAGE OF SUGAR GROVE  
KANE COUNTY, ILLINOIS**

**ORDINANCE NO. 2024-0507\_\_**

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**AN ORDINANCE GRANTING APPROVAL OF  
AN AMENDMENT TO WATERFORD PLACE  
PUD AND APPROVAL OF A PRELIMINARY  
PUD PLAN FOR 391 CAPITOL DRIVE**

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Adopted by the Board of Trustees and President of the Village of Sugar Grove  
this 7<sup>th</sup> day of May 2024

Published in pamphlet form by authority of the Board of Trustees of the Village of Sugar Grove, Illinois,  
this 7<sup>th</sup> day of May, 2024



**ORDINANCE NO. 2024-0507\_\_**

**AN ORDINANCE GRANTING APPROVAL OF  
AN AMENDMENT TO WATERFORD PLACE PUD AND APPROVAL OF A  
PRELIMINARY PUD PLAN FOR 391 CAPITOL DRIVE**

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**WHEREAS**, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution, and accordingly, acts pursuant to the powers granted to it under 65 ILCS 5/1-1 *et seq.* and other applicable statutes; and,

**WHEREAS**, the applicant, Phil Kuhn (“Applicant”), has requested approval of an amendment to Waterford Place PUD (“Amendment”) and approval of a Preliminary PUD Plan (“Preliminary Plan”) for 391 Capitol Drive, with the subject property legally described in Exhibit A, attached hereto and incorporated herein by reference (“Subject Property”); and,

**WHEREAS**, the Planning Commission/Zoning Board of Appeals held a meeting on April 24, 2024, to consider the Amendment and the approval of the Preliminary Plan for 391 Capitol Drive and recommended approval as described in their report PC Recommendation 24-01; and ,

**WHEREAS**, the Village Board has reviewed the request and has deemed that the Amendment and Preliminary Plan is in compliance with the Zoning Ordinance of the Village of Sugar Grove;

**NOW, THEREFORE, BE IT ORDAINED** by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois is as follows:

**SECTION ONE: APPROVAL OF AMENDMENT AND PRELIMINARY PLAN**

Pursuant to Section 11-11-6 -C and 11-11-7 the Amendment and Preliminary Plan, attached hereto as Exhibit B and made a part hereof by this reference, is hereby approved on the Subject Property. The Final PUD Plan shall be submitted in accordance with Section 11-11-6-D.

**SECTION TWO: GENERAL PROVISIONS**

**REPEALER**: That all ordinances or portions thereof in conflict herewith are hereby repealed to the extent of any such conflict.

**SEVERABILITY**: Should any provision of this ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this ordinance.

**EFFECTIVE DATE**: This ordinance shall be in full force and effect on and after its approval, passage and publication in pamphlet form as provided by law.

**PASSED AND APPROVED** by the President and Board of Trustees of the Village of Sugar Grove, Illinois, this 7<sup>th</sup> day of May, 2024.

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Jennifer Konen,  
Village President

ATTEST:

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Tracey Conti,  
Village Clerk

	<b>Aye</b>	<b>Nay</b>	<b>Absent</b>	<b>Abstain</b>
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Trustee Matthew Bonnie				
Trustee Sean Herron				
Trustee Heidi Lendi				
Trustee Sean Michaels				
Trustee Michael Schomas				
Trustee James F. White				

Exhibit A

Legal Description

Lot 27 Waterford Place, being a Resubdivision of Lot 14 of Sugar Grove Corporate Center Unit 2, according to the Plat thereof recorded October 27, 2000 as Document 2000K085928, in the Village of Sugar Grove, Kane County, Illinois.

# ENGINEERING PLANS FOR **391 CAPITOL DRIVE SITE PLAN**

# SECTION 16, TOWNSHIP 38 NORTH , RANGE 7 EAST

**391 CAPITOL DRIVE  
SUGAR GROVE, IL 60554  
KANE COUNTY  
APRIL, 2024**

## LEGEND

		PROPERTY BOUNDARY	
		EXISTING CONTOUR LINE	
		EXISTING STORM SEWER	
		EXISTING SANITARY SEWER LINE	
		EXISTING WATERMAIN	
		EXISTING UNDERGROUND ELECTRIC	
		EXISTING OVERHEAD ELECTRIC	
		EXISTING GAS SERVICE	
		EXISTING TELEPHONE	
		PROPOSED CONTOUR LINE	
		PROPOSED WATERMAIN	
		PROPOSED STORM SEWER	
		PROPOSED SANITARY SEWER LINE	
		PROPOSED GREASE SERVICE LINE	
		PROPOSED VENT LINE	
		EXISTING FENCELINE	
		PROPOSED SILT FENCE	
x 686.00		EXISTING SPOT SHOT	
x 686.00		PROPOSED SPOT GRADE	
	EXIST	PROP	
WATER:			B-BOX
			HYDRANT
			VALVE VAULT
STORM:			INLET-CURB
			INLET OR MANHOLE
			FLARED END SECTION
SANITARY:			CLEANOUT
			MANHOLE
PAVEMENT:			GRAVEL
			ASPHALT
X			CONCRETE
	R.O.W. MONUMENT		UTILITY POLE
	PROPERTY PIN		GUY WIRE LOC.
	P.K. NAIL		UTIL CABINET
	CHISELED MARK		UTIL PEDESTAL
	BENCHMARK		LIGHT POLE
	HUB & TACK		TRAFFIC SIGNAL
	SOIL BORING		ELECTRIC VAULT
	OVERLAND RELIEF		GAS VALVE
	FLOW DIRECTION		



Know what's **below**.  
**Call** before you dig.

Contractor and or sub-contractors shall verify locations of all underground utilities prior to digging. Contact J.U.L.I.E. (Joint Utility Locating for Excavators) at 1-800-892-0123 or dial 811.

## INDEX TO SHEETS

1. COVER SHEET
2. EXISTING CONDITIONS & DEMOLITION PLAN
3. CIVIL SITE PLANS
4. GENERAL NOTES & DETAILS

### UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE FIELD EVIDENCE AND EXISTING DRAWINGS, MAPS AND RECORDS SUPPLIED TO THE SURVEYOR. THE SURVEYOR MAKES NO GUARANTEES THAT THE UTILITIES SHOWN CORRESPOND TO THE ACTUAL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. THE SURVEYOR HAS PHYSICALLY LOCATED VISIBLE STRUCTURES; HOWEVER, HE HAS NOT PHYSICALLY LOCATED THE UNDERGROUND LINES.

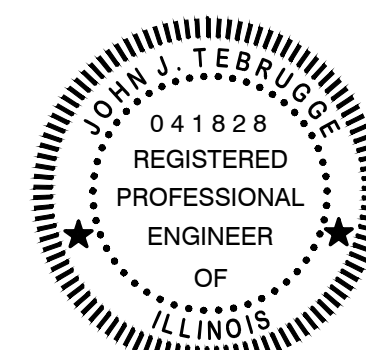
## TOPOGRAPHY STATEMENT

EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY TEBRUGGE ENGINEERING.  
CONTRACTOR SHALL FIELD CHECK EXISTING HORIZONTAL AND VERTICAL SITE FEATURES AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

PROFESSIONAL ENGINEER'S CERTIFICATION  
STATE OF ILLINOIS, COUNTY OF KENDALL

I JOHN J. TEBRUGGE, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY PERSONAL DIRECTION BASED ON AVAILABLE DOCUMENTS AND FIELD MEASUREMENTS FOR THE EXCLUSIVE USE OF THE CLIENT NOTED HEREON.

GIVEN UNDER MY HAND & SEAL THIS 2<sup>ND</sup> DAY OF APRIL, 2024.

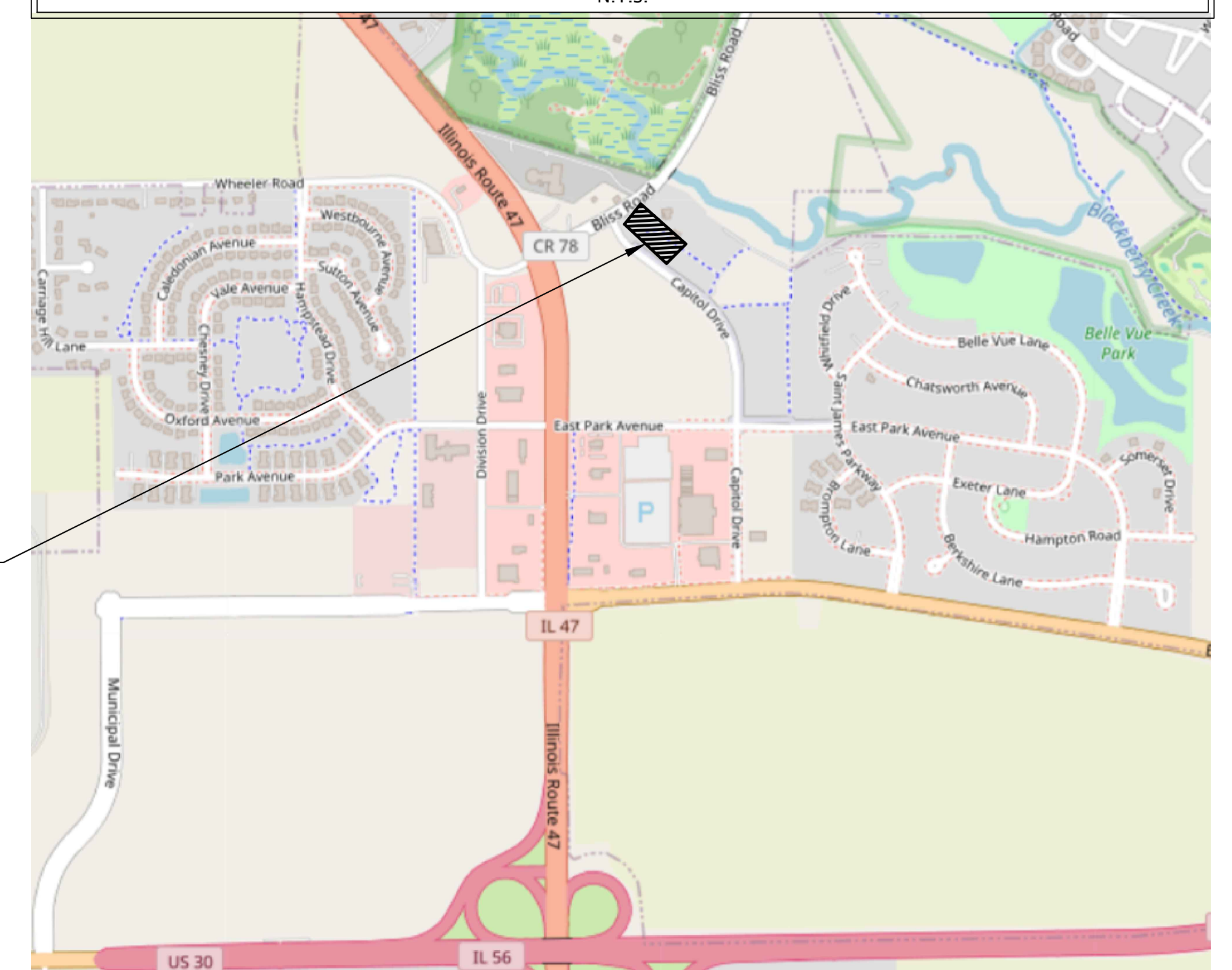


*John J. Bruggs*  
ILLINOIS REGISTERED PROFESSIONAL ENGINEER  
NO. 0062-041828 EXPIRES NOV. 30, 2025

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ALL RIGHTS RESERVED. NO PART OF THESE CIVIL ENGINEERING PLANS  
MAY BE REPRODUCED, DISTRIBUTED, OR TRANSMITTED IN ANY FORM  
OR BY ANY MEANS, INCLUDING PHOTOCOPYING, RECORDING, OR OTHER  
ELECTRONIC OR MECHANICAL METHODS, WITHOUT THE PRIOR WRITTEN  
PERMISSION OF TEBRUGGE ENGINEERING.

## LOCATION MAP

N.T.S.



### BENCHMARKS:

BENCHMARKS:

SOURCE BENCHMARK:  
CITY OF AURORA MONUMENT #5S  
ELEVATION= 690.81

SITE BENCHMARK (SITE TBM):  
CUT "X" AT TOP OF CURB ADJACENT  
TO FIRE HYDRANT ON CAPITOL DRIVE.  
(AS NOTED)  
ELEVATION=703.52

**PLANS PREPARED FOR:**

PHIL KUHN  
133 VALE AVE  
SUGAR GROVE, IL 60554  
PHONE: (630) 330-1419  
EMAIL: PHILKUHN@SBCGLOBAL.NET

**CIVIL ENGINEER:**

TEBRUGGE ENGINEERING  
410 E CHURCH ST - SUITE A  
SANDWICH, ILLINOIS 60548  
(815) 786-0195

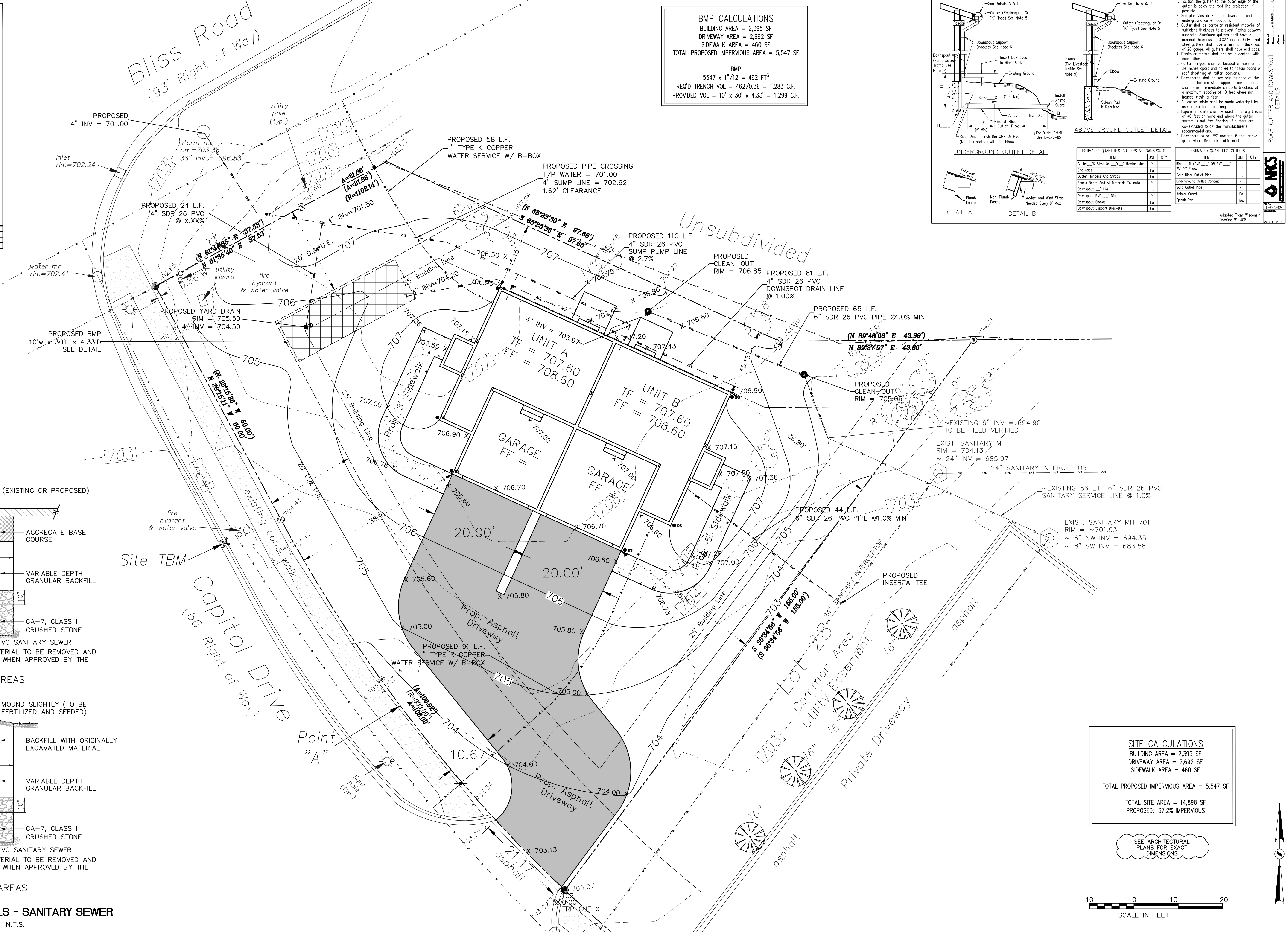
INFO@TEBRUGGEENGINEERING.COM  
WWW.TEBRUGGEENGINEERING.COM

[illegible]









INSIDE DIAMETER OF SEWER PIPE (INCHES)	MAXIMUM TRENCH WIDTH
6	3'-2"
8	3'-2"
12	3'-4"
15	3'-6"
18	3'-10"
21	4'-4"
24	4'-8"
27	4'-11"
30	5'-3"
36	6'-4"
42	6'-11"
48	7'-6"
54	8'-7"
60	9'-2"
66	9'-9"

Diagram illustrating the cross-section of a sanitary sewer installation, showing the layers and materials:

- PAVEMENT (EXISTING OR PROPOSED)
- AGGREGATE BASE COURSE (2'-6" thick)
- VARIABLE DEPTH GRANULAR BACKFILL
- CA-7, CLASS I CRUSHED STONE (1' thick)
- PVC SANITARY SEWER (4" diameter)
- UNSUITABLE MATERIAL TO BE REMOVED AND REPLACED ONLY WHEN APPROVED BY THE ENGINEER.

Diagram illustrating the cross-section of a trench for a PVC sanitary sewer, showing the required backfill and granular layers.

Labels and Dimensions:

- MOUND SLIGHTLY (TO BE FERTILIZED AND SEED)
- BACKFILL WITH ORIGINALLY EXCAVATED MATERIAL
- 2'-6"
- VARIABLE
- VARIABLE DEPTH GRANULAR BACKFILL
- 10"
- CA-7, CLASS I CRUSHED STONE
- 4"
- PVC SANITARY SEWER
- UNSUITABLE MATERIAL TO BE REMOVED AND REPLACED ONLY WHEN APPROVED BY THE ENGINEER.

**TRENCH DETAILS - SANITARY SEWER**  
N.T.S.

SITE CALCULATIONS

BUILDING AREA =	2,395 SF
DRIVEWAY AREA =	2,692 SF
SIDEWALK AREA =	460 SF
TOTAL PROPOSED IMPERVIOUS AREA = 5,547 SF	
TOTAL SITE AREA = 14,898 SF	
PROPOSED: 37.2% IMPERVIOUS	

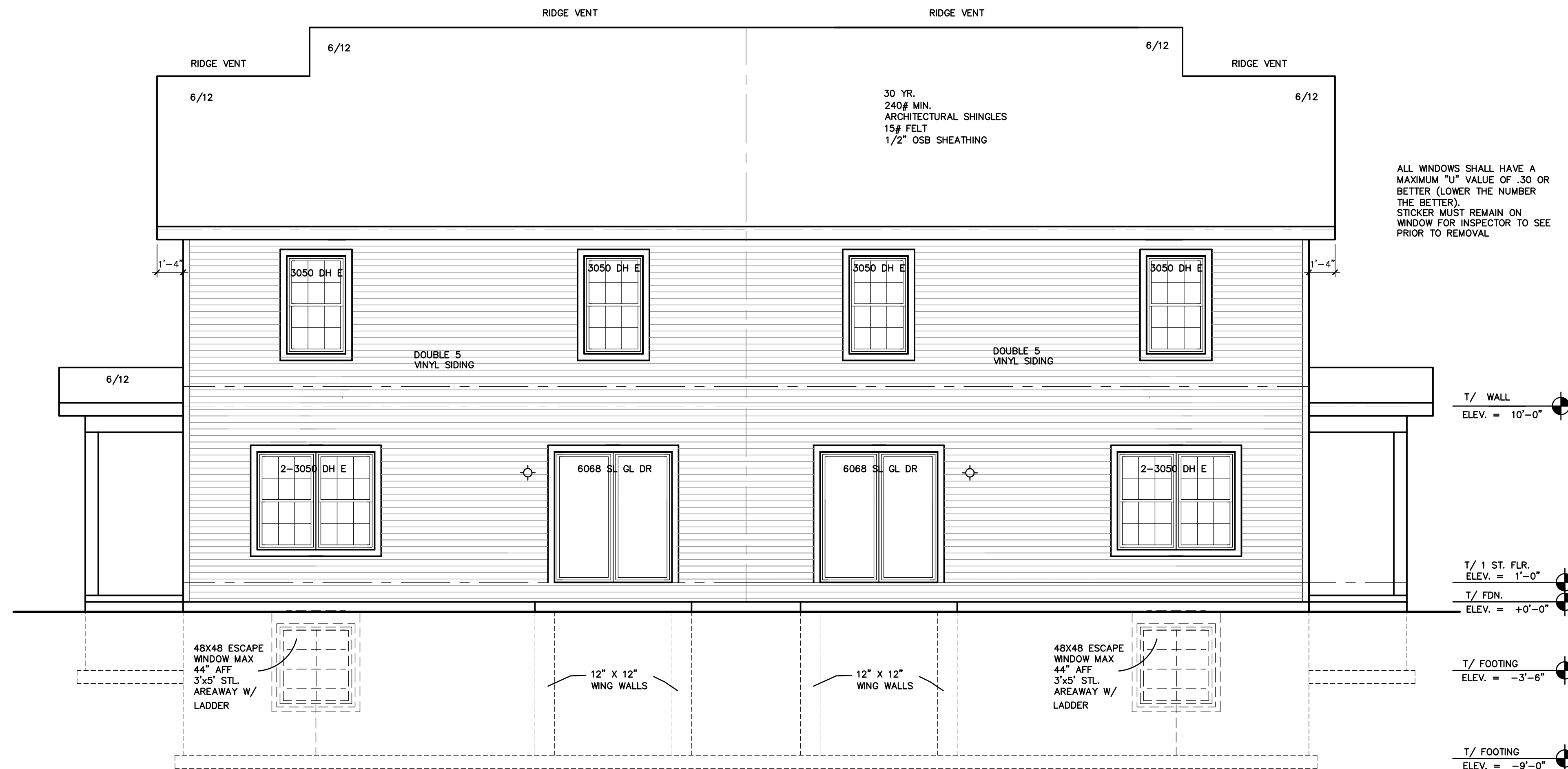
SEE ARCHITECTURAL  
PLANS FOR EXACT  
DIMENSIONS





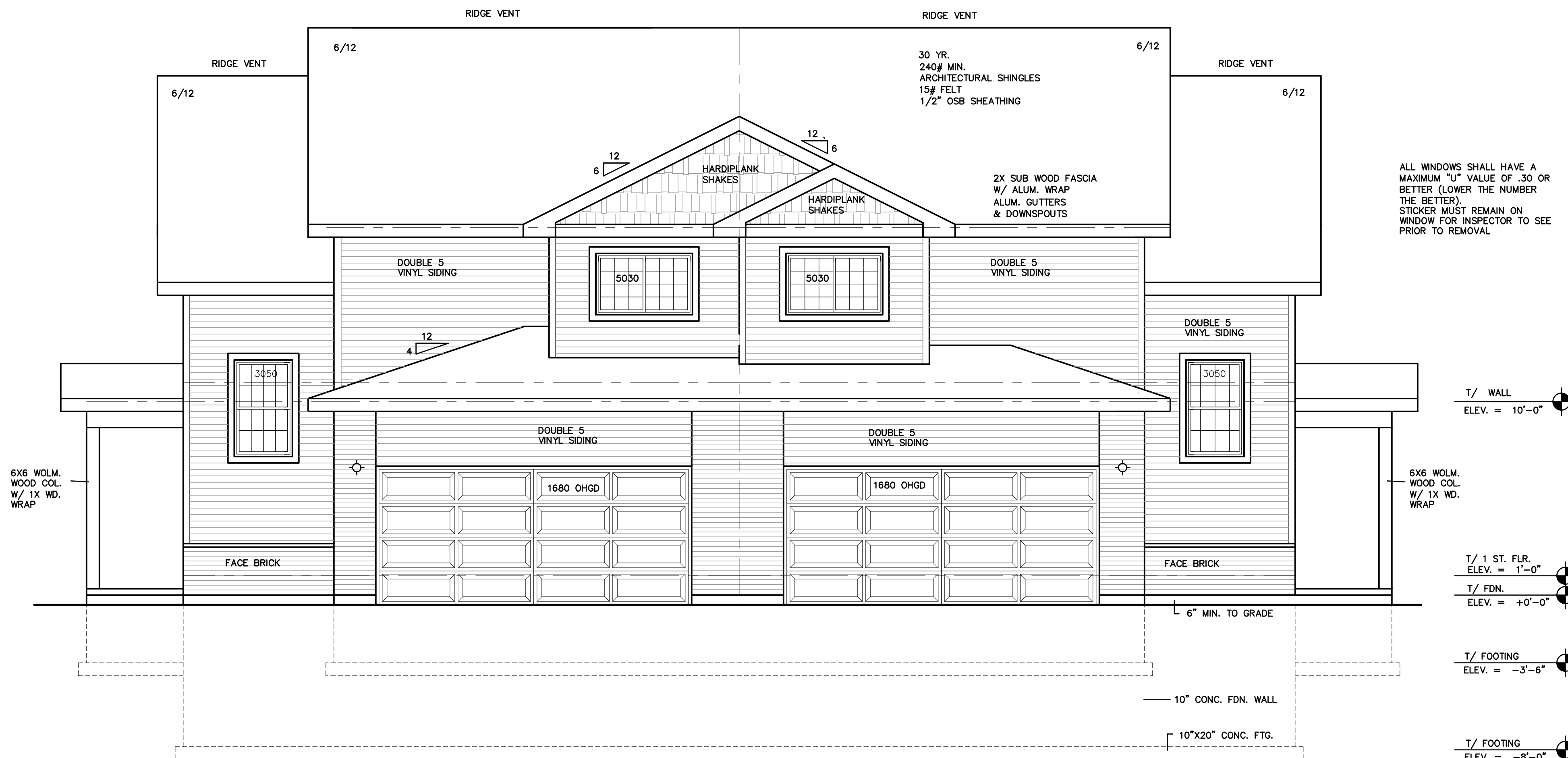






REAR ELEVATION RIGHT UNIT  
SCALE = 1/4" = 1'-0"

REAR ELEVATION LEFT UNIT  
SCALE = 1/4" = 1'-0"



FRONT ELEVATION LEFT UNIT  
SCALE = 1/4" = 1'-0"

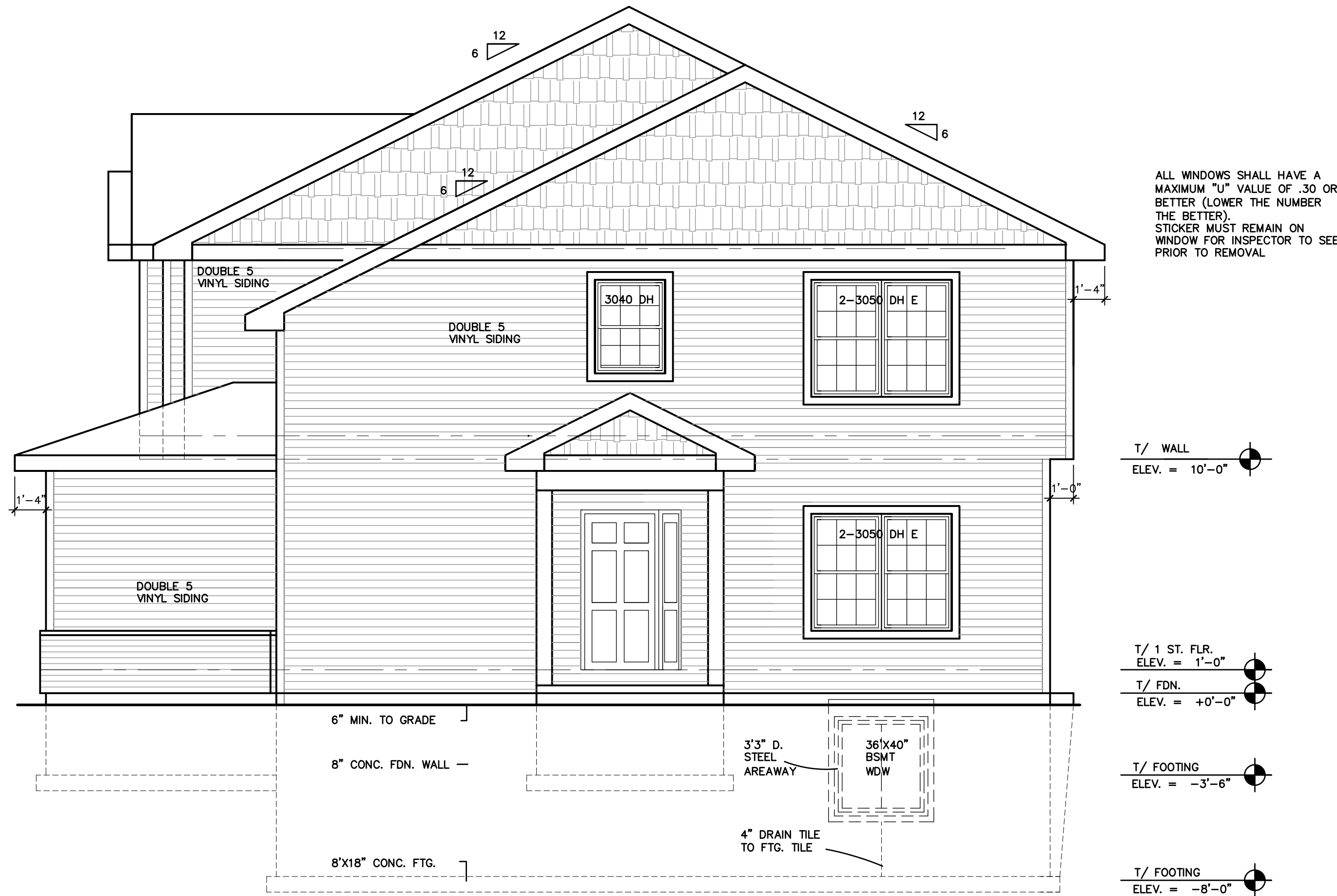
FRONT ELEVATION RIGHT UNIT  
SCALE = 1/4" = 1'-0"

NEW DUPLEX FOR :  
MR. PHILIP KUHN  
391 CAPITOL DRIVE  
SUGAR GROVE, ILLINOIS

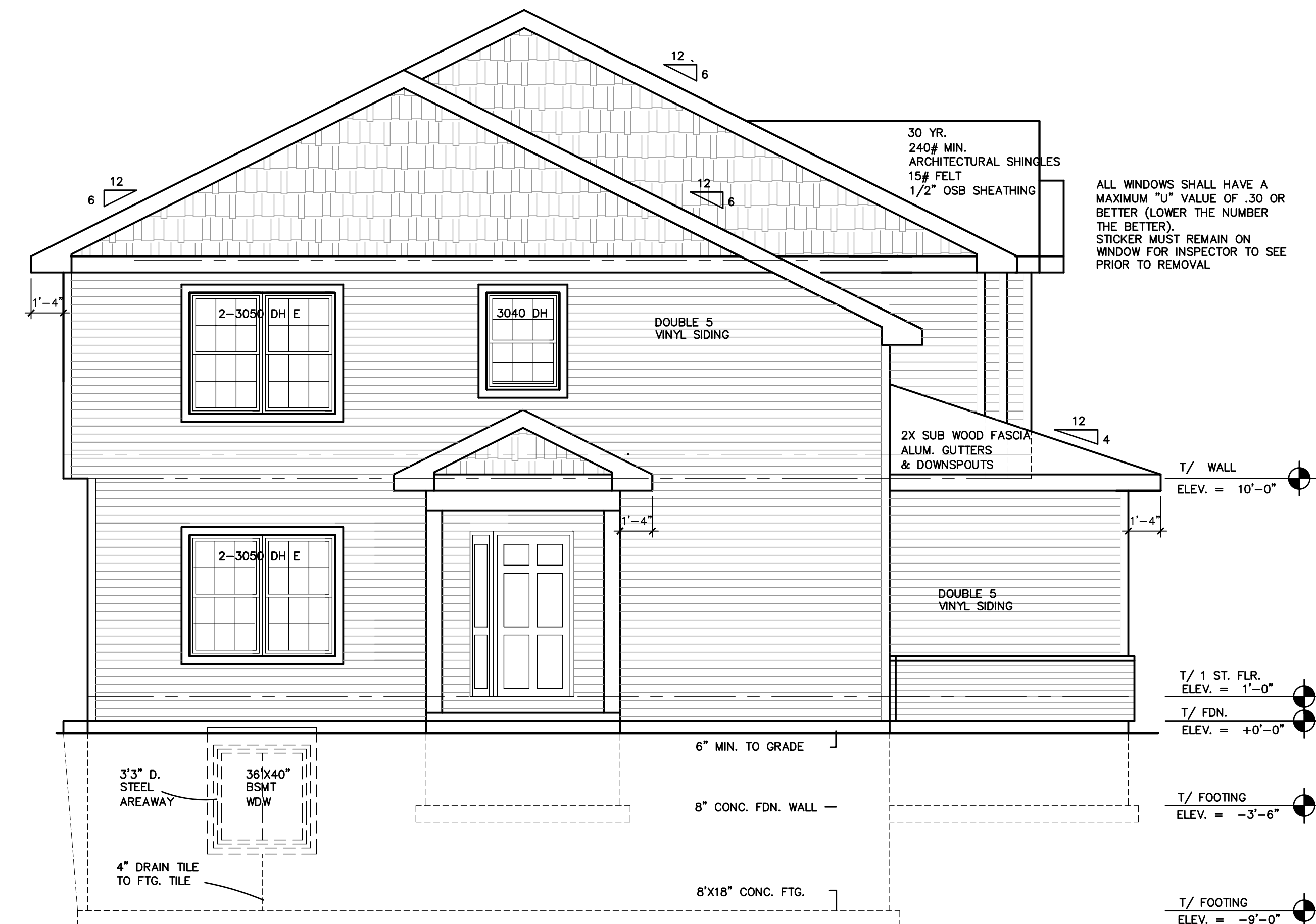
STEVEN W. HANSEN  
ARCHITECT  
880 LONGVIEW CT.  
SUGAR GROVE,  
IL. 60042-8613

DATE	DESCRIPTION
1 3-27-2024	REVIEW
2 4-15-2024	REVIEW
3 4-24-2024	REVIEW

PROJECT NO. 2024-391



RIGHT ELEVATION  
SCALE = 1/4" = 1'-0"



LEFT ELEVATION  
SCALE = 1/4" = 1'-0"

NEW DUPLEX FOR :  
MR. PHILLIP KUHN  
391 CAPITOL DRIVE  
SUGAR GROVE, ILLINOIS

STEVEN W. HANSEN  
ARCHITECT  
880 LONGVIEW CT.  
SUGAR GROVE,  
IL. 60042-8613

#	DATE	DESCRIPTION
1	3-27-2024	REVIEW
2	4-15-2024	REVIEW
3	4-24-2024	REVIEW

PROJECT NO. 2024-391

PROVIDE ARC-FAULT PROTECTION IN ALL SLEEPING ROOMS

FLEXIBLE DUCT  
MAX. 6' LENGTH MEETING NFPA STANDARDS 90A AND 90B AND IS UL LISTED 181-CLASS 1, WITH A MINIMUM POSITIVE PRESSURE RATING OF 6" WATER GAGE.  
HEAT SUPPLY DUCTS ARE NOT PERMITTED IN EXTERIOR WALLS OR HOUSE-TO-GARAGE COMMON WALLS

FIRESTOPPING  
FIRESTOP MECHANICAL PENETRATION, STUD, JOIST, AND RAFTER SPACERS TO MEET CODE REQUIREMENTS.

NOTES:

ALL FLOOR JOISTS, CEILING JOISTS AND RAFTERS SHALL BE  
S.P.F. #2 OR BETTER (CANADIAN)  
Fb = 875 PSI, E = 1,400,000 PSI

ALL ML LVL SHALL BE  
TRUSS JOIST CORPORATION  
Fb = 2,600 psi, E = 1,900,000 psi

ALL FLOOR LOADS 40 psf LIVE LOAD  
10 psf DEAD LOAD  
SLEEPING ROOMS 40 psf LIVE LOAD  
10 psf DEAD LOAD  
CEILING LOAD 20 psf LIVE LOAD  
10 psf DEAD LOAD  
ROOF RAFTER 30 psf LIVE LOAD  
10 psf DEAD LOAD

DOUBLE ALL JOISTS UNDER ALL PARALLEL PARTITIONS ABOVE

DOUBLE ALL JOISTS @ WHIRLPOOL TUB  
ALL GLAZING SHALL FOLLOW  
IRC CODE AS REQ'D.

PROVIDE BRIDGING AS REQUIRED  
IRC CODE AS REQ'D.

IF PROVIDED CONVENTIONAL BIRD'S MOUTH NOTCH AT ALL RAFTERS, ANY OVER CUT OF RAFTERS WILL BE REJECTED AND RECONSTRUCTED AT COST TO THE FRAMER. SET ALL TOP/TOP PLATES HEIGHTS ACCORDINGLY PRIOR TO ANY INCORRECT RAFTER CUTS

◇ TYPICAL EGRESS SYMBOL  
WHERE INDICATED OPERABLE WINDOWS SHALL MEET THE FOLLOWING OPENING REQUIREMENTS FOR EGRESS  
20" MIN. CLEAR WIDTH  
24" MIN. CLEAR HEIGHT  
5.7 SF MIN. OVERALL CLEAR SASH OPENING  
OPENING SHALL BE ACCOMPLISHED BY NORMAL OPERATION OF THE WINDOW

INSULATION MATERIALS INSTALLED WITH-IN FLOOR CEILING ASSEMBLIES CRAWL SPACES AND ATTICS SHALL A FLAME-SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84

HANDRAIL NOTE:  
ALL STAIRWAYS WITH MORE THAN ONE RISER SHALL HAVE  
HANDRAILS AS REQUIRED  
PER LOCAL CODE

VENT CALCULATION:  
PROVIDE ATTIC VENTILATION TOTALING 1,678 SF X 1/300 = 5.59 SF MIN.  
ALLOW 50 SI (.35 SF) PER VENT  
PROVIDE 50% AT EAVE - 50% ROOF VENTS  
5.59 SF/2 / .35 SF = 7.98 VENTS REQUIRED

ALL WINDOWS SHALL HAVE A MAXIMUM "U" VALUE OF .35 OR BETTER (LOWER THE NUMBER THE BETTER).  
STICKER MUST REMAIN ON WINDOW FOR INSPECTOR TO SEE PRIOR TO REMOVAL

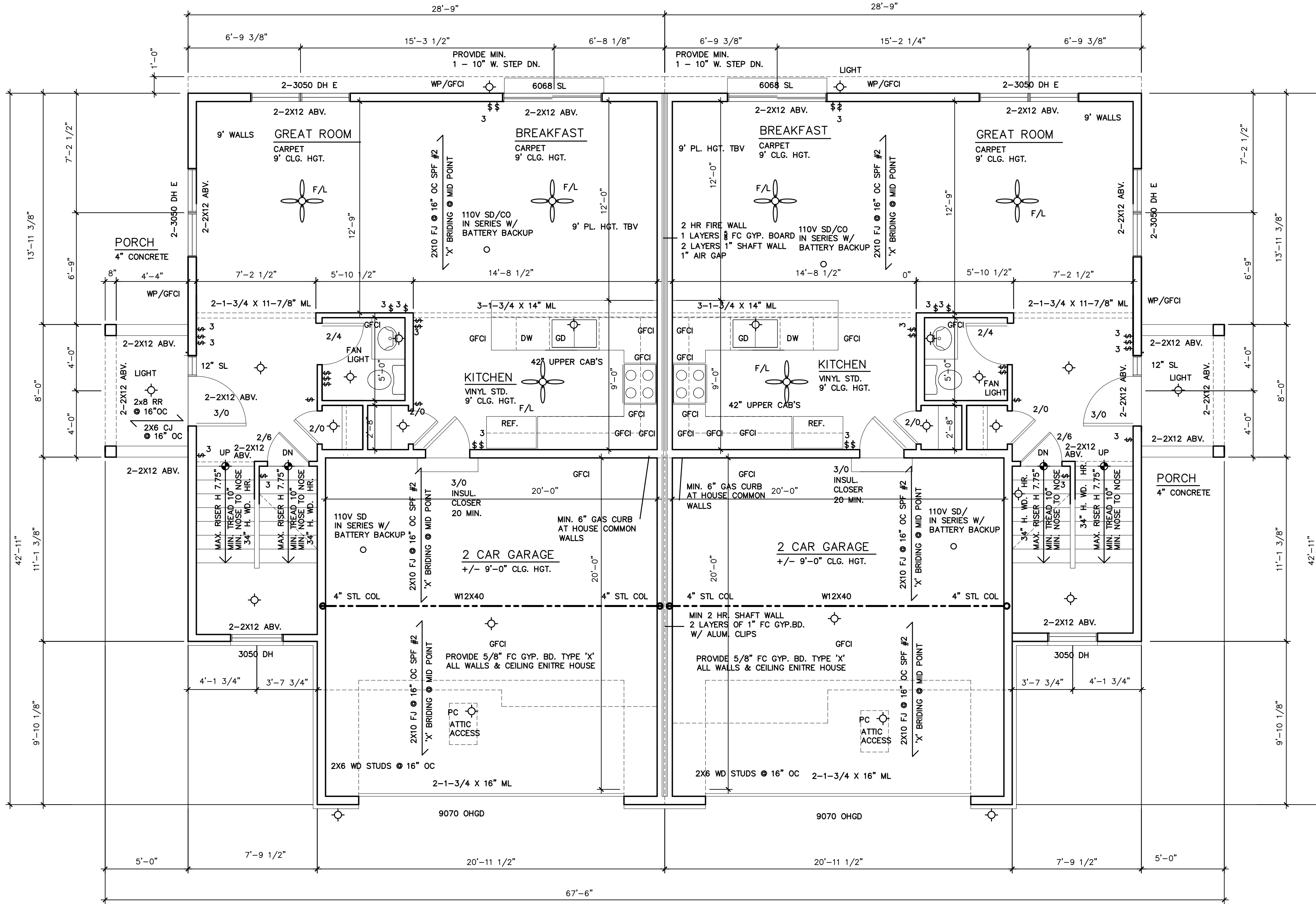
2018 IECC ENERGY REQUIREMENTS

FENESTRATION MAX. "U" = .30  
SKYLIGHT MAX. "U" = .55  
CEILING MIN. "R" = 49  
WALL R-20 OR R13 + R5 CONTINUOUS  
FLOOR R-30  
BASEMENT MIN. 4" DOWN R-15 CONT. OR R-19 HEATED SLAB R-10 2 FT. FROM EXTERIOR CRAWL SPACE R-15 CONTINUOUS OR R-19

PROVIDE 2-2X12'S ABV. ALL OPENINGS UNLESS NOTED OTHERWISE

ALL EXTERIOR WALLS ON CONDITIONED SPACE TO BE 2X8'S @ 16" OC.

TYPICAL BEARING HEADERS TO BE 2 - 2X12'S



MOUNT OF ELEC. PNL.  
PERMANENT CERTIFICATE  
STATING  
"U" & "R" VALUES OF  
COMPONENTS USED IN  
CONSTRUCTION PER IECC  
2009 SECTION 401.3

ELECTRICAL OUTLETS  
SHALL BE SPACED  
AND LOCATED IN  
COMPLIANCE WITH  
ART. 210-52 OF THE  
NEC CODE

ELECTRICAL OUTLETS  
SHALL BE SPACED  
AND LOCATED IN  
COMPLIANCE WITH  
ART. 210-52 OF THE  
NEC CODE

CLOSET LIGHTS SHALL BE ONE  
OF THE FOLLOWING  
1. WITH GLOBES  
2. RECESSED  
3. FLOURESCENT

A MINIMUM OF 50% OF THE  
LAMPS IN PERMANENTLY  
INSTALLED LIGHTING FIXTURES  
SHALL BE HIGH EFFICACY  
LAMPS 2008 IECC 404.1

ALL 120V. SINGLE PHASE, 15A-20A RECEPTACLES INSTALLED  
IN BEDROOMS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS,  
PARLORS, LIBRARIES, DENS, SUNROOMS, RECREATION ROOMS,  
CLOSETS, HALLWAYS OR SIMILAR ROOMS SHALL BE INSTALLED  
WITH ARC-FAULT INTERRUPTER. 2008 NEC #210.12(B).

ELECTRICAL REQUIREMENT  
1. METER SOCKET SHALL  
HAVE DRIVEN GROUND  
ROD  
2. SERVICE SHALL BE  
GROUNDED TO STREET  
SIDE OF WATER SERVICE  
WITH JUMPER ACROSS  
METER

NO LIVE SERVICE ENTRANCE  
SHALL EXTEND OVER FIVE (5)  
FEET WITHIN THE BUILDING  
WITHOUT A MAIN DISCONNECT AT  
THE METER. VODG 10.2(B)(A)

AUTOMATIC GARAGE DOOR  
OPENERS SHALL BE LISTED IN  
ACCORDANCE WITH UL 325 AND  
WIRED IN ACCORDANCE WITH THE  
PROVISIONS OF THE 2008 NEC.

IN ALL AREAS SPECIFIED IN 2008 NEC 210.52  
(DWELLING UNIT RECEPTACLE OUTLETS), AL 125  
VOLT, 15 AMP - 20 AMP. RECEPTACLES SHALL  
BE LISTED TAMPER-RESISTANT RECEPTACLES  
2008 NEC 406.11

THERE MUST BE A  
MIN. OF 30 CIRCUITS  
FOR THE NEW 200  
AMP PANEL. VODG  
220.40(A)

1 ST. FLOOR PLAN UNIT LEFT

SCALE = 1/4" = 1'-0"

1 ST. FLOOR PLAN UNIT RIGHT

SCALE = 1/4" = 1'-0"

NEW DUPLEX FOR :

MR. PHILIP KUHN

391 CAPITOL DRIVE  
SUGAR GROVE, ILLINOIS

STEVEN W. HANSEN  
ARCHITECT

880 LONGVIEW CT.  
SUGAR GROVE,  
IL 60139-4204

DATE DESCRIPTION REVIEW

1 3-27-2024 REVIEW

2 4-15-2024 REVIEW

3 4-24-2024 REVIEW

PROJECT NO. 2024-391

A1.0