
**VILLAGE OF SUGAR GROVE
BOARD REPORT**

TO: VILLAGE PRESIDENT & BOARD OF TRUSTEES
FROM: WALTER MAGDZIARZ, COMMUNITY DEVELOPMENT DIRECTOR
DANIELLE MARION, PLANNING & ZONING ADMINISTRATOR
SUBJECT: ORDINANCE: FINAL PUD PLAN, PRAIRIE GROVE COMMONS UNIT 2 LOT 1 (CASEY'S)
AGENDA: MARCH 21, 2023 VILLAGE BOARD MEETING
DATE: MARCH 10, 2023

ISSUE

Shall the Village Board discuss a final Planned Unit Development (PUD) plan for Lot 1 in Prairie Grove Commons Unit 2 for a Casey's gas station and mini-mart.

DISCUSSION

Lot 1 in Prairie Grove Commons Unit 2 is an undeveloped lot in Sugar Grove Center Planned Unit Development (PUD) and is located at the southwest corner of Galena Boulevard and Sugar Grove Parkway (IL 47). The applicant, Casey's, is proposing to develop the lot for a gas station mini-mart in accordance with the approved Prairie Grove Commons PUD.

The Zoning Regulations and the Prairie Grove Commons Annexation Agreement Amendment provide for a two-step process for approving PUD plans. The preliminary PUD plan, including the final subdivision plat, were approved by the adoption of the Special Use Permit for Planned Development for Prairie Grove Commons (Ordinance No. 2022-1101D). Individual final plans are required for each lot before building permits may be issued.

The Prairie Grove Commons Annexation Agreement Amendment and the PUD Ordinance permit approval of final development plans and issuing building permits in advance of construction of the utilities and other subdivision improvements. The off-site utilities are approved and IEPA permits have been approved and issued; the access to IL 47 is approved but the completion of the acquisition process is pending.

The proposed use is permitted in the Prairie Grove Commons PUD. The proposed final PUD plan conforms in all respects with the approved preliminary PUD plan and the requirements of the Prairie Grove Commons PUD Ordinance, including signs, landscaping and off-street parking.

The proposed development includes a 4,734 sqft mini-mart building and a freestanding canopy over six fuel pump islands. Access to the lot will be from a new private road aligned with Division Drive. A second access point on IL 47 is part of the overall subdivision improvements to be constructed by the subdivider, not Casey's. The lot also will have direct access to the lot immediately to the south. Other features of the proposed development include:

- Freestanding signs comply with the PUD Ordinance
- The proposed building provides 360-degree architecture and the freestanding canopy

- compliments the building.
- Verified tanker truck turning movements can be accommodated on the premises
- The bike path shown along Galena Boulevard and Sugar Grove Parkway will be provided by the subdivider, not Casey's, prior to occupancy and in accordance with the approved PUD Ordinance and Annexation Agreement Amendment.

Unrelated to the zoning matter, Casey's is proposing to establish video gaming on the premises and in a separate action will be making application for the necessary liquor license to enable video gaming on the premises.

The Planning Commission recommends approval of the final PUD plan for Lot 1 in Prairie Grove Commons Unit 2, subject to the addition of a bicycle rack in a location to be determined by the applicant and Village staff. The applicant had no objection to adding the requested bike rack.

One matter that was not addressed by the Planning Commission or in the Prairie Grove Commons PUD documents is the design of the pump island canopy. The Village has, in the past, required gas stations to wrap the support columns in masonry to match or compliment the principal building. Casey's proposed fuel island canopy has exposed metal support columns. The Village Board should provide Casey's and Village staff with direction on the preferred appearance of the support columns.

ATTACHMENTS

- Lot 1 site development plan, building and canopy elevations and renderings, truck turning diagram, sign program
- Planning Commission Recommendation PC23-002
- Ordinance Approving a Final PUD Plan for Lot 1 Prairie Grove Commons Unit 2

COSTS

All costs associated with the request are borne by the Applicant.

RECOMMENDATION

That the Village Board approve an Ordinance approving the final Planned Unit Development (PUD) plan for Lot 1 in Prairie Grove Commons Unit 2 for a Casey's gas station and mini-mart convenience store, subject to direction on the fuel island canopy support columns.

VILLAGE PRESIDENT

Jennifer Konen

VILLAGE CLERK

Alison Murphy



COMMUNITY DEVELOPMENT

VILLAGE TRUSTEES

Matthew Bonnie
Ted Koch
Heidi Lendi
Michael Schomas
Ryan Walter
James F. White

R E C O M M E N D A T I O N

PC23-002

TO: Village President and Board of Trustees
FROM: Planning Commission
DATE: Meeting of February 15, 2023
PETITION: 22-019
Prairie Grove Commons Unit 2 Lot 1 final PUD plan
Casey's gas station & mini-mart

PROPOSAL

Casey's is applying for a final PUD plan for Lot 1 in Prairie Grove Commons Unit Two.

LOCATION MAP



BACKGROUND & HISTORY

The subject property is part of Prairie Grove Commons Unit Two and a preliminary PUD plan has been previously approved for this development. The applicant is looking for approval of the final PUD plan for Lot 1 in order to construct a gas station and mini-mart on the property.

The facility will have 6 fueling islands and video gaming. Access to the lot will be from the private drive along the west side of the property aligning with Division Drive. There will also be an access point on the south side of the lot from the neighboring property. As Unit 2 is constructed, there also will be an access point to Sugar Grove Parkway (IL 47).

DISCUSSION

The Planning Commission reviewed and discussed the proposed final PUD plan. Commissioners were generally in agreement the final plan was consistent with the approved preliminary plan. Commissioners pointed out the proximity of the bike paths and included a bike rack as a condition of approval.

RECOMMENDATION

After careful consideration, the Planning Commission recommends the Village Board **approve** the final PUD plan for Lot 1 in Prairie Grove Commons Unit 2, subject to the addition of a bike rack in a location to be determined between the applicant and Village staff.

AYES: Guddendorf, Wilson, Bieritz, Eckert, Ochsenschlager

NAYES: None

ABSENT: Sabo, Jones

MOTION PASSED



**VILLAGE OF SUGAR GROVE
KANE COUNTY, ILLINOIS**

ORDINANCE NO. 2023-0321__

**AN ORDINANCE APPROVING A FINAL PUD PLAN FOR
LOT 1 PRAIRIE GROVE COMMONS UNIT 2
(CASEY'S)**

Adopted by the Board of Trustees and President of the Village of Sugar Grove
this 21st day of March 2023

Published in pamphlet form by authority of the Board of Trustees of the Village of Sugar Grove, Illinois,
this 21st day of March 2023

ORDINANCE NO. 2023-0321_

AN ORDINANCE APPROVING A FINAL PUD PLAN FOR LOT 1 PRAIRIE GROVE COMMONS UNIT 2 (CASEY'S)

WHEREAS, the Village of Sugar Grove is not a home rule municipality within Article VII, Section 6A of the Illinois Constitution and, pursuant to the powers granted to it under 65 ILCS 5/1-1 *et seq.*; and,

WHEREAS, Casey's has petitioned for approval of a final PUD plan for Lot 1 in Prairie Grove Commons Unit 2, legally described in **Exhibit A** herein; and

WHEREAS, the amendment requested is a modification to the exterior lighting plan; and,

WHEREAS, the Plan Commission has reviewed this minor amendment at their meeting on February 15, 2023 and the Commission recommended approval with conditions described in their report Recommendation PC23-002; and,

WHEREAS, the Village Board has reviewed the request and has deemed that the Final PUD Plan is in compliance with The Prairie Grove Commons Unit 2 PUD (Ordinance 2022-1101D) and is consistent with the spirit and intent of the Comprehensive Plan and all Ordinances of the Village of Sugar Grove.

NOW, THEREFORE, BE IT ORDAINED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, as follows:

SECTION ONE: FINAL PLANNED UNIT DEVELOPMENT APPROVAL

The Final Planned Unit Development plan, pursuant to Section 11-11-6 of the Village of Sugar Grove Zoning Ordinance, attached hereto as Exhibit B and made a part hereof by this reference, is hereby approved on the subject property described in Exhibit A which is attached and made a part hereof by this reference. Said Final Planned Unit Development consists of and said approval is conditioned upon compliance with the following:

1. Site Plan by Gleason Architects dated July 25, 2017
2. Landscape Plan by Heller & Associates, LLC dated July 27, 2017
3. Elevation Plan by Gleason Architects dated May 23, 2017
4. Sign Plan by Archetype dated June 6, 2017 revised July 27, 2017
5. Site Improvements by Caldwell Engineering, LTD dated August 12, 2017
6. Photometric Plan by Cree dated September 26, 2017
7. Trash Enclosure Plan by Gleason Architects dated July 25, 2017
8. A bicycle rack be added to the site development plan

SECTION TWO: GENERAL PROVISIONS

REPEALER: All ordinances or portions thereof in conflict with this ordinance are hereby repealed.

SEVERABILITY: Should any provision of this Ordinance be declared invalid by a court of competent jurisdiction, the remaining provisions will remain in full force and effect the same as if the invalid provision had not been a part of this Ordinance.

EFFECTIVE DATE: This Ordinance shall be in full force and effect on and after its approval, passage and publication in pamphlet form as provided by law.

PASSED AND APPROVED by the President and Board of Trustees of the Village of Sugar Grove, Kane County, Illinois, this 21st day of March 2023.

ATTEST:

Jennifer Konen,
President of the Board of Trustees

Alison Murphy,
Village Clerk

	Aye	Nay	Absent	Abstain
Trustee Matthew Bonnie	___	___	___	___
Trustee Sean Herron	___	___	___	___
Trustee Heidi Lendi	___	___	___	___
Trustee Michael Schomas	___	___	___	___
Trustee Ryan Walter	___	___	___	___
Trustee James White	___	___	___	___

EXHIBIT A

Legal description

Lot 1 in Prairie Grove Commons Unit 2 being a subdivision in Sugar Grove, Kane County, Illinois

VILLAGE PRESIDENT

Jennifer Konen

VILLAGE CLERK

Alison Murphy



COMMUNITY DEVELOPMENT

VILLAGE TRUSTEES

Matthew Bonnie
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R E C O M M E N D A T I O N

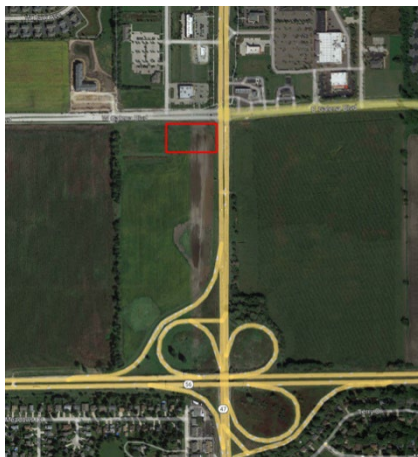
PC23-002

TO: Village President and Board of Trustees
FROM: Planning Commission
DATE: Meeting of October 18, 2017
PETITION: 22-019
Casey's final PUD plan

PROPOSAL

Casey's is applying for a final PUD plan for Lot 1 in Prairie Grove Commons Unit Two.

LOCATION MAP



BACKGROUND & HISTORY

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DISCUSSION

The Planning Commission reviewed and discussed the proposed final PUD plan. Commissioners were generally in agreement the final plan was consistent with the approved preliminary plan. Commissioners pointed out the proximity of the bike paths and included a bike rack as a condition of approval.

RECOMMENDATION

After careful consideration, the Planning Commission recommends the Village Board **approve** the final PUD plan for Lot 1 in Prairie Grove Commons Unit 2, subject to the addition of a bike rack in a location to be determined between the applicant and Village staff.

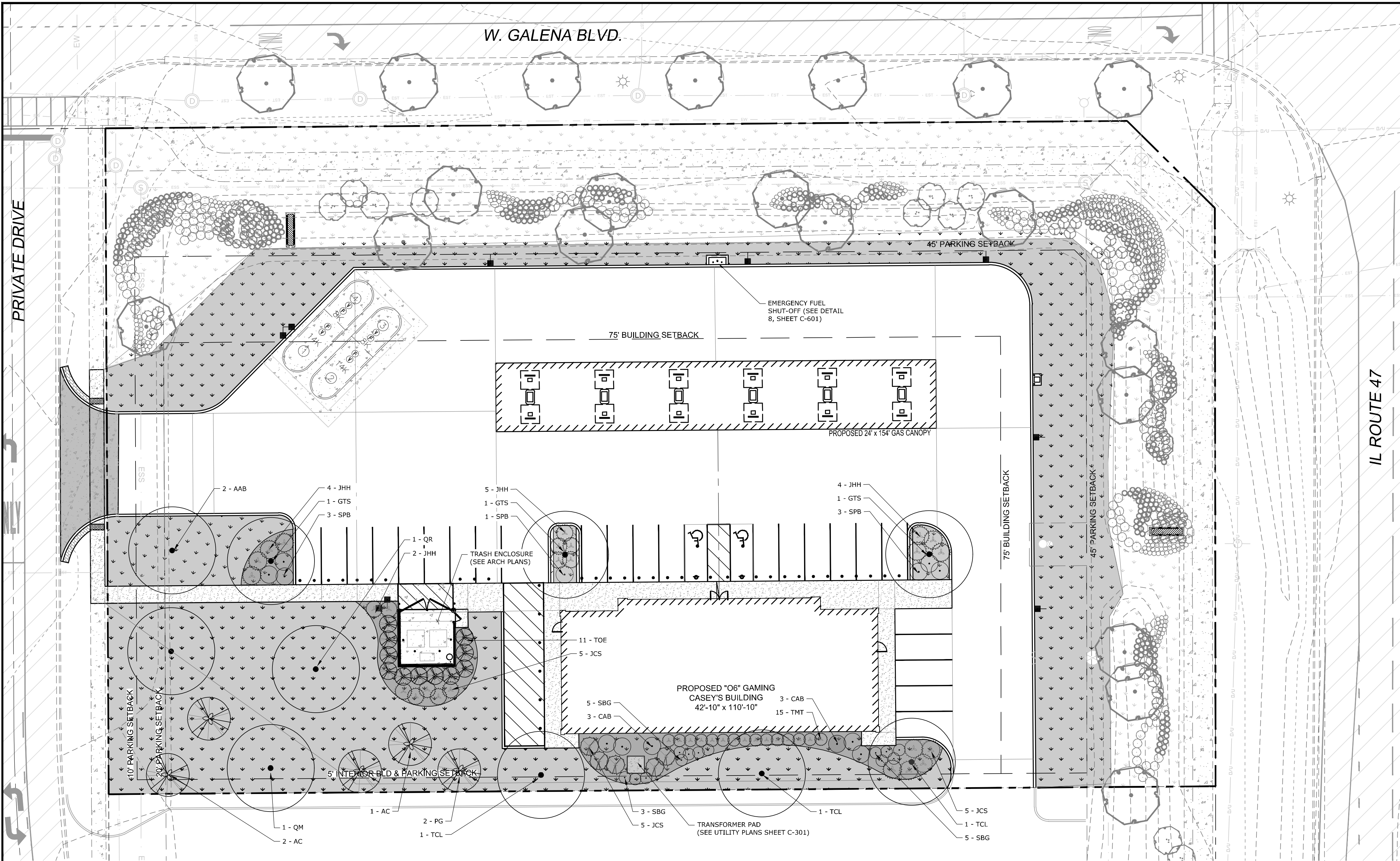
AYES: Guddendorf, Wilson, Bieritz, Eckert, Ochsenschlager

NAYES: None

ABSENT: Sabo, Jones

MOTION PASSED

		5291 ZENITH PARKWAY LOVES PARK, IL 61111 VOICE: (815) 484-4300 FAX: (815) 484-4303	www.arcdesign.com Design Firm License No. 194-001334		
CASEY'S GENERAL STORE - 10-25 GROVE, IL			2111		
PROJECT LOCATION & OWNER:					
SW CORNER OF IL 47 & N. GALENA BLVD SUGAR GROVE, IL 60054 CASEY'S RETAIL COMPANY ONE CONVENTENCE BLVD ANKENY, IA 50003 MICHAEL MCGAHAN (815) 119-6964		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left; padding: 5px;"> DESIGNED FOR 10-25-2022 1. CLIENT REVIEW 2. AGENCY REVIEW 3. AGENCY REVIEW </th> <th style="text-align: left; padding: 5px;"> 10-31-2022 PERMITS 1. --- 2. --- 3. --- 4. --- 5. --- 6. --- </th> </tr> </thead> </table>		DESIGNED FOR 10-25-2022 1. CLIENT REVIEW 2. AGENCY REVIEW 3. AGENCY REVIEW	10-31-2022 PERMITS 1. --- 2. --- 3. --- 4. --- 5. --- 6. ---
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DRAWN BY: SDF CHECKED BY: LND IN: RGS		LAYOUT C-101			



LEGEND

- EVERGREEN / DECIDUOUS SHRUBS
- DECIDUOUS SHADE TREE
- EVERGREEN TREE
- SEED AND STRAW MULCH OR BLANKET ALL ON SITE DISTURBED AREAS NOT DESIGNATED TO BE SOD, PLANTING BED, PAVEMENT OR BUILDING. SEE PLANTING NOTE 18.
- SOD AREAS. SLOPE STAKES REQUIRED FOR SLOPES STEEPER THAN 5:1. SEE PLANTING NOTE 17.
- PLANTING BED
- EXISTING PLANT MATERIAL (TO BE INSTALLED BY OTHERS)

PLANT LIST

KEY	QTY	Botanical name COMMON NAME	SIZE / TYPE	REMARKS
AAB	2	Acer x 'Autumn Brilliance' AUTUMN BRILLIANCE MAPLE	3" CAL / B&B	MIN. 30' O.C.
AC	3	Abies concolor WHITE FIR	6' / B&B	EVERGREEN
GTS	3	Gleditsia triacanthos 'Skyline' SKYLINE HONEYLOCUST	3" CAL / B&B	MIN. 30' O.C.
PG	2	Picea pungens GREEN SPRUCE	6' / B&B	EVERGREEN
QM	1	Quercus macrocarpa BUR OAK	3" CAL / B&B	MIN. 30' O.C.
QR	1	Quercus rubra RED OAK	3" CAL / B&B	MIN. 30' O.C.
TCL	3	Tilia cordata LITTLE LEAF LINDEN	3" CAL / B&B	MIN. 30' O.C.
CAB	6	Cornus alba 'Byboughten' NEON BURST WHITE DOGWOOD	30" / 5 GAL	6'-0" O.C. DECIDUOUS
JCS	15	Juniperus ch. x sargentii 'Viridis' GREEN SARGENT JUNIPER	18" / 5 GAL	6'-0" O.C. EVERGREEN
JHH	14	Juniperus horizontalis 'Hughes' HUGHES JUNIPER	12" / 5 GAL	6'-0" O.C. EVERGREEN
SBG	13	Spiraea betulifolia 'Goldflame' GOLDFLAME SPIREA	18" / 5 GAL	4'-0" O.C. DECIDUOUS
SPB	7	Syringa patula x 'Bloomerang' DWARF REBLOOMING KOREAN LILAC	30" / 5 GAL	6'-0" O.C. DECIDUOUS
TMT	15	Taxus media x 'Tauntoni' TAUNTON JAPANESE YEW	24" / 5 GAL	4'-0" O.C. EVERGREEN
TOE	11	Thuja occidentalis x 'Smaragd' EMERALD GREEN ARBORVITAE	6' / B&B	6'-0" O.C. EVERGREEN

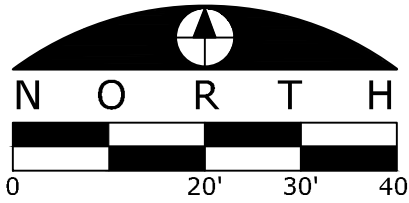
SURVEY EXHIBIT CONTAINS INFORMATION PROVIDED BY KNOCKE ENGINEERING. ANY IMPROVEMENTS PROPOSED BY KNOCKE ENGINEERING ARE SHOWN AS EXISTING CONDITION. CONTRACTOR SHALL VERIFY AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

PLANTING NOTES

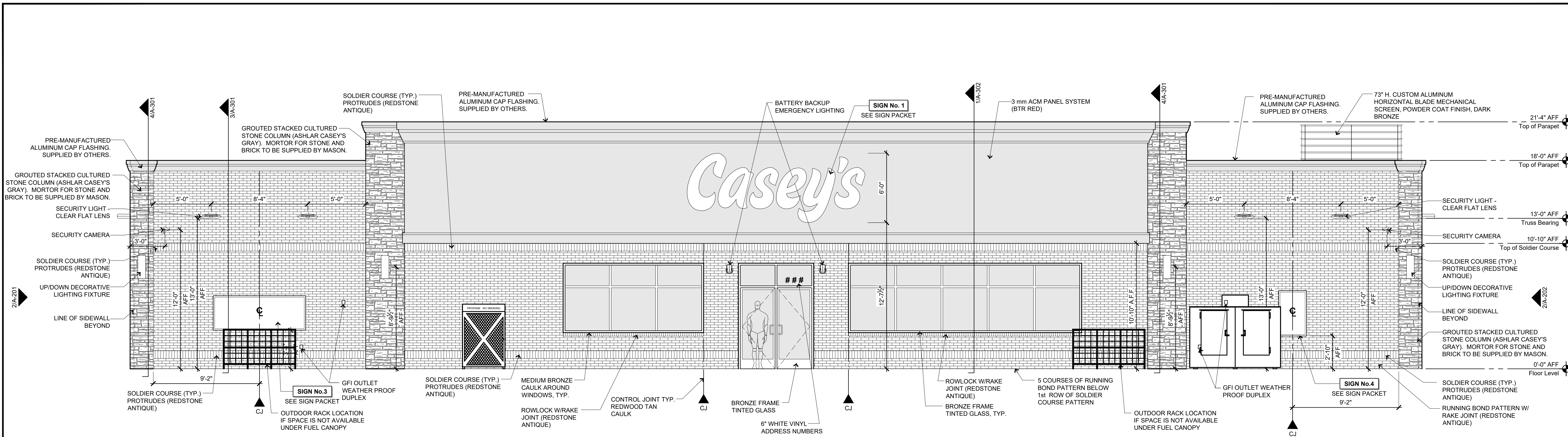
- Landscape Contractor (Contractor) shall make a site visit prior to bidding/construction to inspect the current site conditions and review proposed planting plan and related work. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- Contractor shall verify locations of all underground utilities prior to beginning construction on his phase of work. Electric, gas, telephone, and cable television can be located by calling J.U.L.I.E. at '811'. For regional locating, contact "Digger's Hotline". Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- For details pertaining to Utilities, Easements, Grading, Retaining Walls, Layout, Geometry, Wetland/Flood Plain Delineations, etc., or other trades refer to Architectural and Civil Engineering plans and/or owner.
- Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and landscape architect.
- Contractor shall grade entire site as per grading/engineering plans and/or correct surface irregularities in preparation for seed/sod. Roto-till, disc, drag, harrow or hand rake sub grade to a depth of 4" in all lawn areas and remove construction debris, foreign matter or stones larger than 2". Grading shall provide slopes which are smooth, continuous, free from depressions or ridges. Level, rake and roll as necessary to an even and true condition and obtain positive drainage in all areas. Finish grades shall meet the approval of owner prior to lawn installation.
- All disturbed areas are to receive a minimum 6" of approved topsoil and be finished with mulch, straw mulch, seed, sod, etc. or as noted. All lawn areas to be watered until a healthy stand of grass is established. (see seed/sod notes for acceptance details).
- Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over the lists.
- Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities and sizes shall remain consistent with these plans.
- Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD

- OF NURSERY STOCK, by the American Nursery & Landscape Association. Plant material shall be nursery grown and be either balled and burlap or container grown.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.
 - Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation. Sizes and/or spread on plant list represent minimum requirements at the time of installation; mature growth may exceed figures listed.
 - Any plant materials with damaged or crooked/disfigured leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect and/or Owner. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump.
 - Upon inspection and acceptance of all landscape items by Landscape Architect and/or Owner the contractor shall assume maintenance responsibilities for a period of thirty (30) days, for all plant material, to include: watering, cultivating, weeding, pruning, mulching and spraying as necessary to keep plants free of insects and in a healthy, vigorous condition until responsibility is transferred to the owner (see below).
 - All plant material shall be guaranteed for two years after acceptance by landscape architect and/or owner. After the first thirty (30) days, the owner shall assume maintenance responsibilities as described (see above). Contractor shall replace without cost to owner any dead or unacceptable plants, as determined by the landscape architect at the end of two year guarantee period. Contractor shall notify immediately, in writing, any concerns related to maintenance practices.
 - All planting beds and tree saucers shall be finished continuous with 3" depth washed aggregate stone, 1-3" size (CA1), or brick chips with heavy duty weed barrier fabric; see planting details. All deciduous trees (shade / ornamental) that are not located in a planting bed shall be edged and finished with a 3'-0" diameter circle of stone and fabric. Evergreen trees shall be edged and finished with stone and fabric to outer-most branches at the time of installation.
 - Planting edge delineation at all planting bed lines and tree saucers shall require installation of 4" interlocking steel

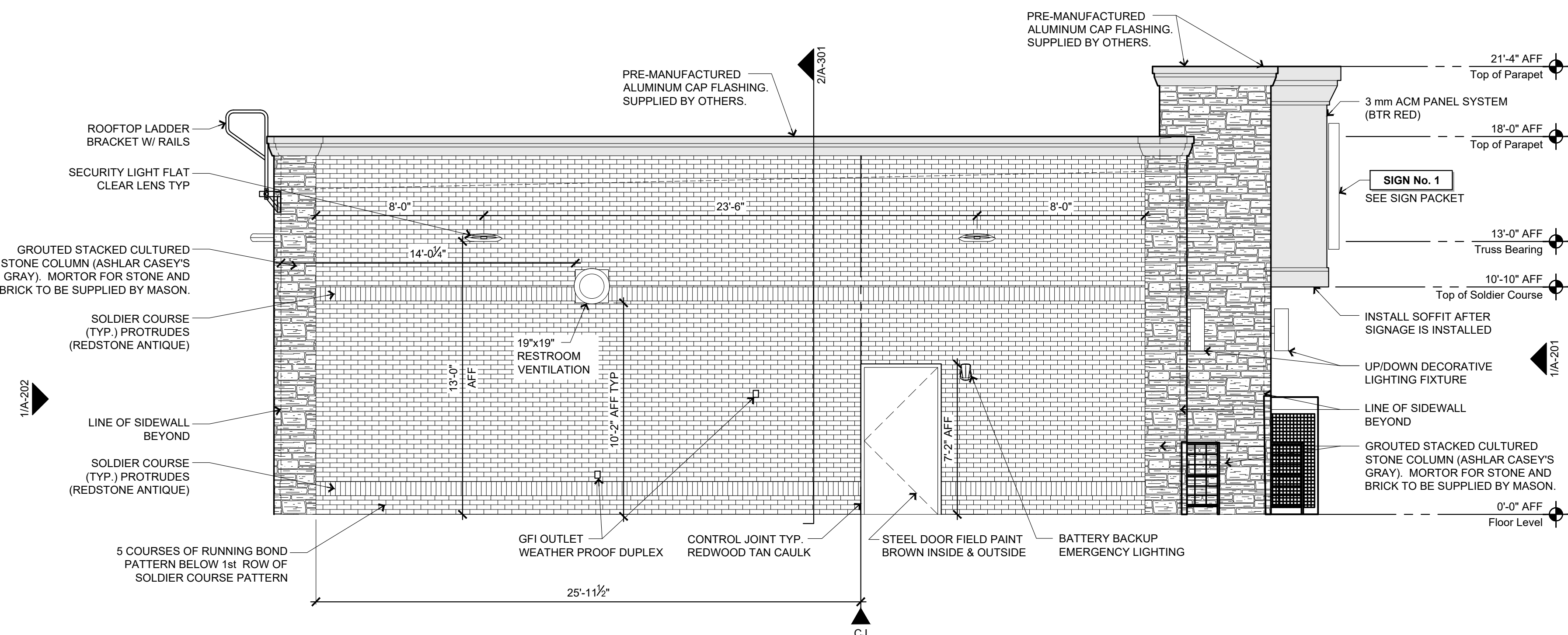
- edge with steel stakes continuous between lawn and mulched areas as indicated on plan.
- Contractor to install sod in all areas indicated on plan. Sod to be well established mineral type growth, no peat sod will be allowed. Sod grass blend shall consist of the following suggested bluegrass types: 55% Barrons, 15% Majestic, 15% Adelphi, 15% Glade. Sod pieces are to fit tightly together so that no joints are visible, alternate and stagger courses and tamp or roll firmly. All sodded lawn areas shall be fertilized at first cutting with 15-40-5 analysis fertilizer, at a rate of 6 lbs. per 1,000 s.f.. Acceptance and guarantee note shall apply to all sod areas.
 - Contractor to seed all lawn areas as indicated on plan. Seeded lawn to be a combination of bluegrass, perennial rye and red fescue with the suggested following analysis by weight: 30% rugby Kentucky bluegrass, 20% park Kentucky bluegrass, 20% creeping red fescue, 20% scalds hard fescue, and 10% perennial ryegrass. Seed to be applied at a rate of 4 lbs. per 1,000 s.f.. All seeded lawn areas shall be covered with straw mulch or erosion control netting, consisting of hand or machine application at a rate of 2 ton per acre. Mulch shall be compact enough to reduce erosion of seed and topsoil but loose enough to allow air to circulate. Install per Method 1, Section 251, of the Standard Specifications for Road and Bridge Construction.
 - All seeded lawn areas shall be fertilized at installation with 0-26-26 analysis, at a rate of 6 lbs. per 1,000 s.f.. A second application of 15-40-5 to be applied at rate of 6 lbs. per 1,000 s.f. after the first cutting. Acceptance and guarantee notes shall apply to all seeded areas.
 - Acceptance of grading and sod and/or seed shall be by landscape architect and/or owner. Contractor shall assume maintenance responsibilities for a minimum of sixty (60) days or until second cutting, whichever is longer. Maintenance shall include watering, weeding, re-seeding (wash-offs), replacement (sod) and other operations necessary to keep lawn in a thriving condition. Upon final acceptance, owner shall assume all maintenance responsibilities. After lawn areas have germinated, areas which fail to show a uniform stand of grass for any reason whatsoever shall be re-seeded or replaced repeatedly until all areas are covered with a satisfactory stand of grass. Minimum acceptance of seeded lawn areas may include scattered bare or dead spots, none of which are larger than one (1) square foot and when combined do not exceed 2% of total lawn area.
 - Irrigation for all lawn areas inside the property line is to be designed and installed by licensed contractor.



ARC DESIGN RESOURCES INC.		5291 ZENITH PARKWAY LOVES PARK, IL 61111 VOICE: (815) 484-4300 FAX: (815) 484-4303	www.arcdesign.com Design Firm License No. 194-001334
CASEY'S GENERAL STORE - SUGAR GROVE, IL		21115	LANDSCAPE PLAN
PROJECT LOCATION & OWNER: SW CORNER OF IL 47 & W. GALENA BLVD SUGAR GROVE, IL 60554 CASEY'S RETAIL COMPANY ONE CONVENIENCE BLVD ANKENY, IA 50021 RICHARD MOHAMMAD (515) 315-9844		REVISIONS: 1. CLIENT REVIEW 10-25-2022 2. AGENCY REVIEW 10-31-2022 3. AGENCY REVIEW 01-30-2023 4. — — — 5. — — — 6. — — — 7. — — — 8. — — —	FOR CONSTRUCTION: 1. — — — 2. — — — 3. — — — 4. — — — 5. — — — 6. — — —
DRAWN BY: SDF CHECKED BY: LND IN CHARGE: RCS		C-701	



1 Exterior Elevation - Front of Building (Plan South)
1/4"=1'-0"



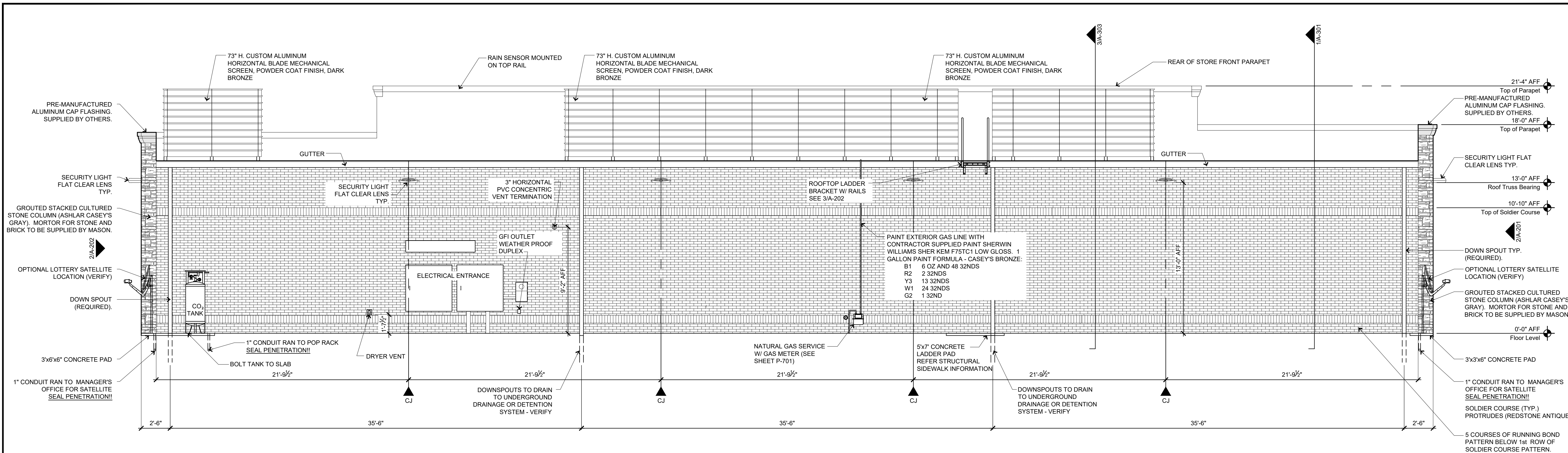
2 Exterior Elevation - Left Side of Building (Plan West)
1/4"=1'-0"

General Notes

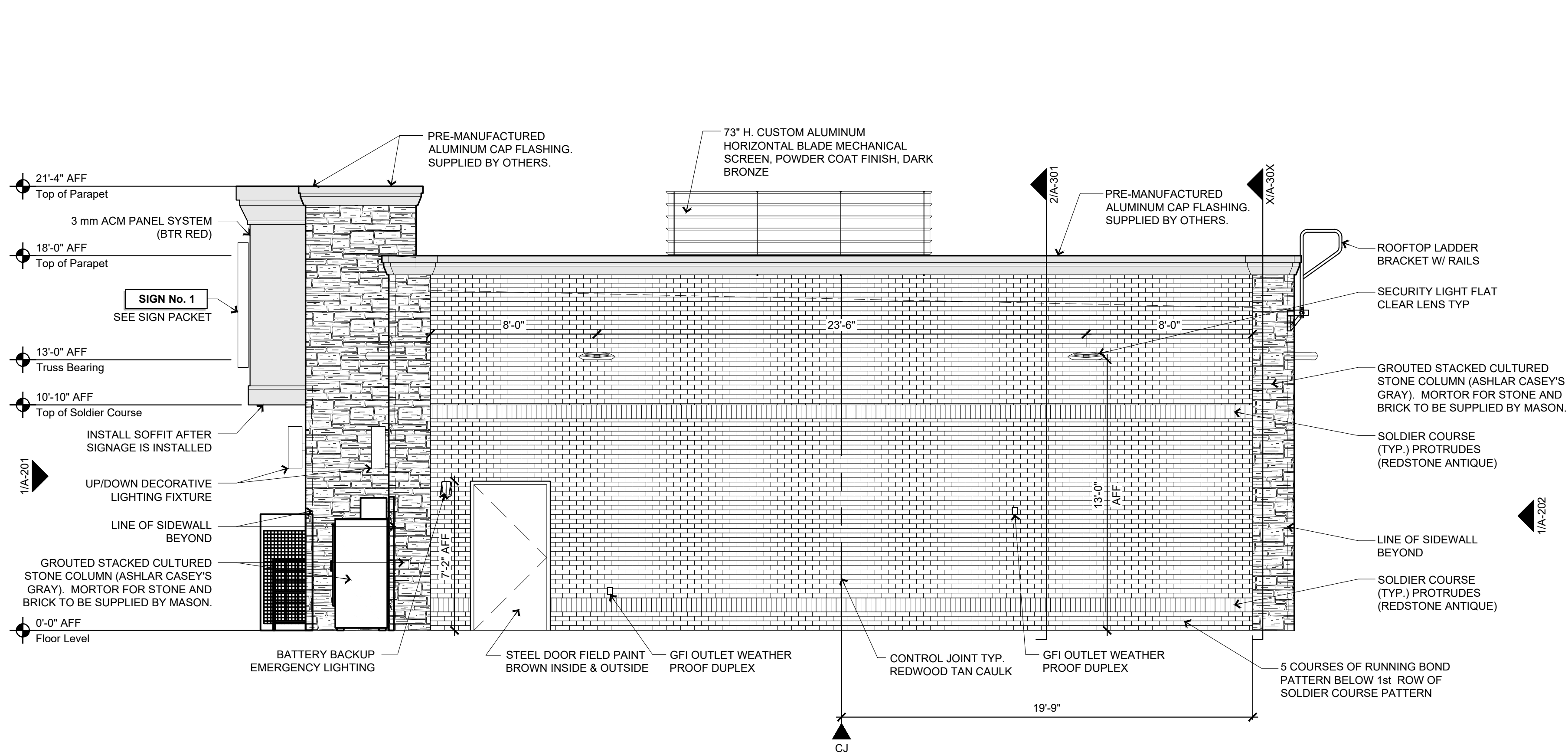
- REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN. NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
- RELATED DRAWING SHEETS:** REFER TO THE FOLLOWING:
AL-101: FOR BUILDING LOCATION ON SITE
AL-601: FOR INFORMATION RELATING TO SIGNAGE
A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT
A-121: ROOF PLAN/ROOF TOP EQUIPMENT
A-601: DOOR & WINDOW SCHEDULES AND NOTES
S-101: FOOTINGS AND FOUNDATIONS
S-102: ROOF TRUSSES
- WORKING POINT:** THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
- ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.

SCREENING

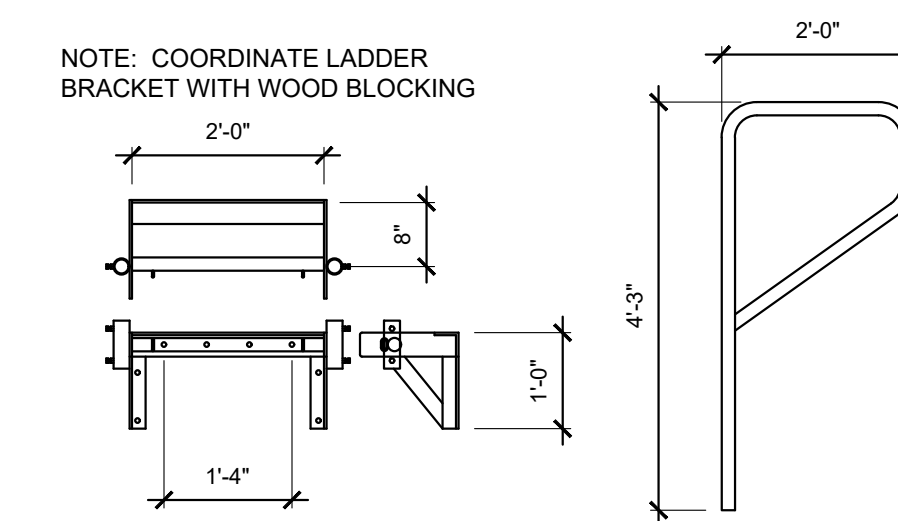
			
Casey's			
CASEY'S CONSTRUCTION DIVISION			
One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100			
PROJECT:	05/13/22 07/13/22 10/14/22		DRAWING INFORMATION:
2022 "06" STYLE STORE V.04 FLAT ROOF			EXTERIOR ELEVATIONS
PROTOTYPE AND VERSION: 2022 - 06 - V.04		CHECKED BY:	A-201
DRAWN BY: Arion Goforth III			



1 Exterior Elevation - Back of Building (Plan North)
1/4"=1'-0"



2 Exterior Elevation - Right Side of Building (Plan East)
1/4"=1'-0"



3 Ladder Bracket
1/2"=1'-0"

General Notes

- REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN, NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
- RELATED DRAWING SHEETS:** REFER TO THE FOLLOWING:
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- ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.

SCREENING

			
Casey's CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100			
PROJECT		FILED DATE	DRAWING INFORMATION
2022 "06" STYLE STORE V.04 FLAT ROOF		05/13/22	EXTERIOR ELEVATIONS
		07/13/22	
		10/14/22	
PROTOTYPE AND VERSION			
2022 - 06 - V.04			
DRAWN BY:		CHECKED BY:	
Arion Goforth III			



FRONT



BACK



FRONT ELEVATION



RIGHT ELEVATION



BACK ELEVATION

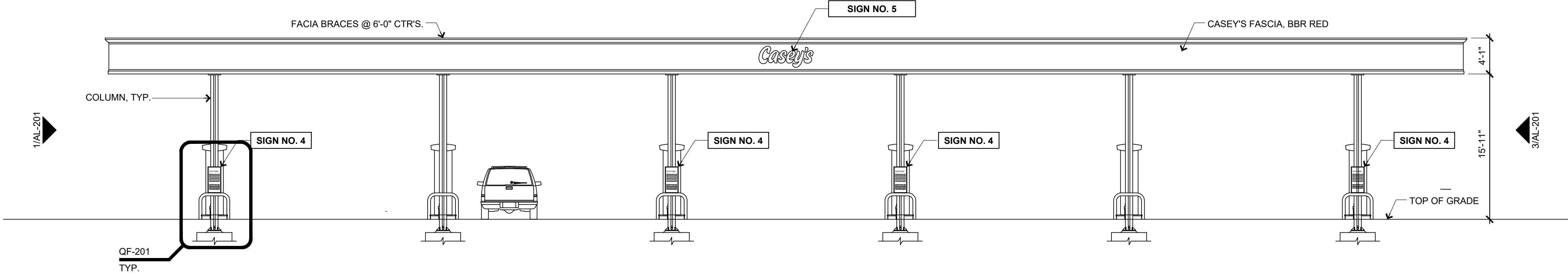


LEFT ELEVATION

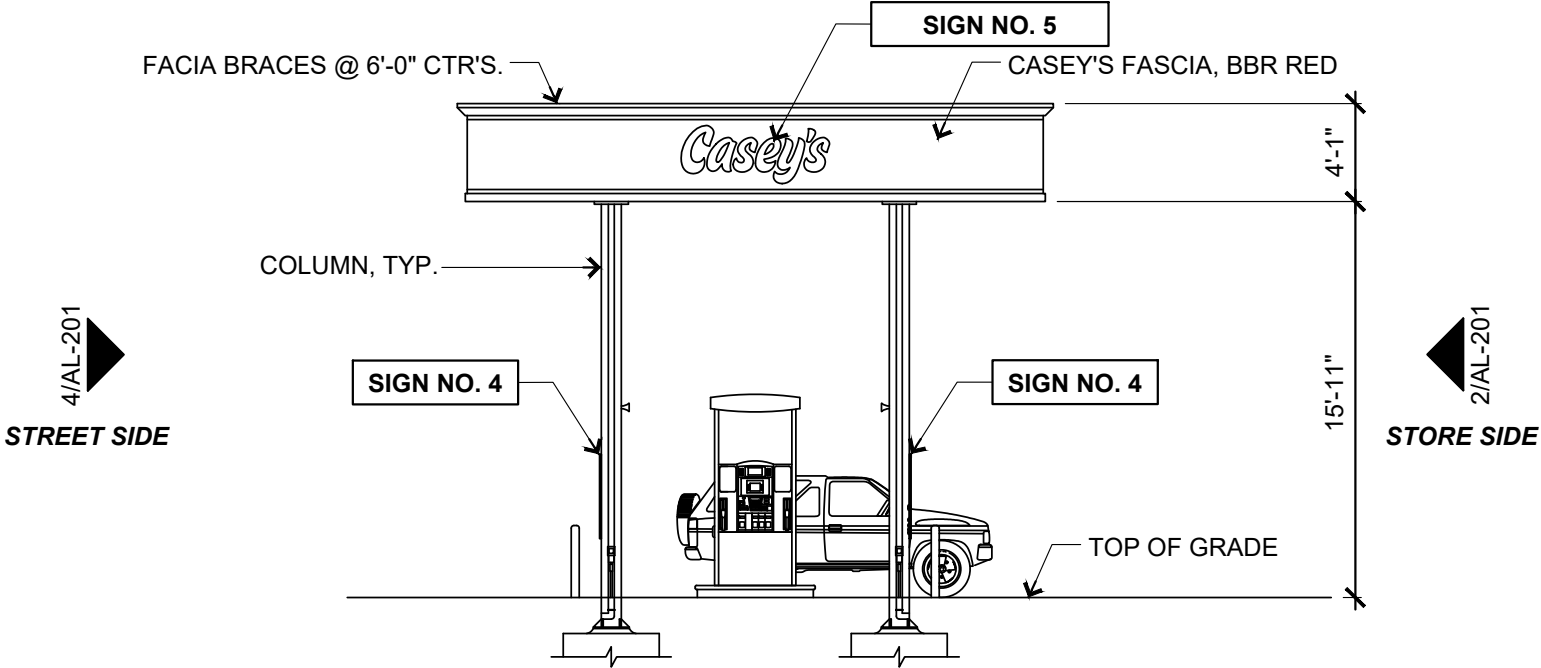
****VERIFY ALL SIGNAGE WITH SIGN PERMITS****

General Notes

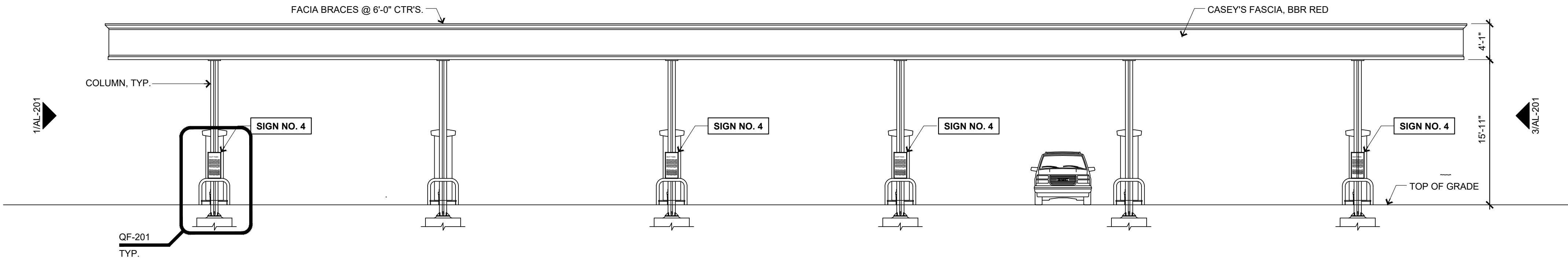
1. **RELATED SHEETS:** FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE THE FOLLOWING SHEETS:
- | | |
|-------------|--|
| G-001 | FOR GENERAL PROJECT NOTES |
| AL-101 | FOR GENERAL SITE PLAN |
| Sign Packet | FOR SIGNAGE SCHEDULE AND NOTES |
| QF-Series | FOR DESIGN AND DETAILS RELATED TO FUELING FACILITY |
2. **GASOLINE ISLAND CANOPY:** REVIEW SHOP DRAWINGS PROVIDED BY CANOPY SUPPLIER AND ADVISE CASEY'S CONSTRUCTION MANAGER OF ANY DISCREPANCIES
3. **EMERGENCY GAS SHUT OFFS:** REFER TO SHEETS A-201, AQ-101 & E-101 FOR EMERGENCY SHUT OFF LOCATIONS.



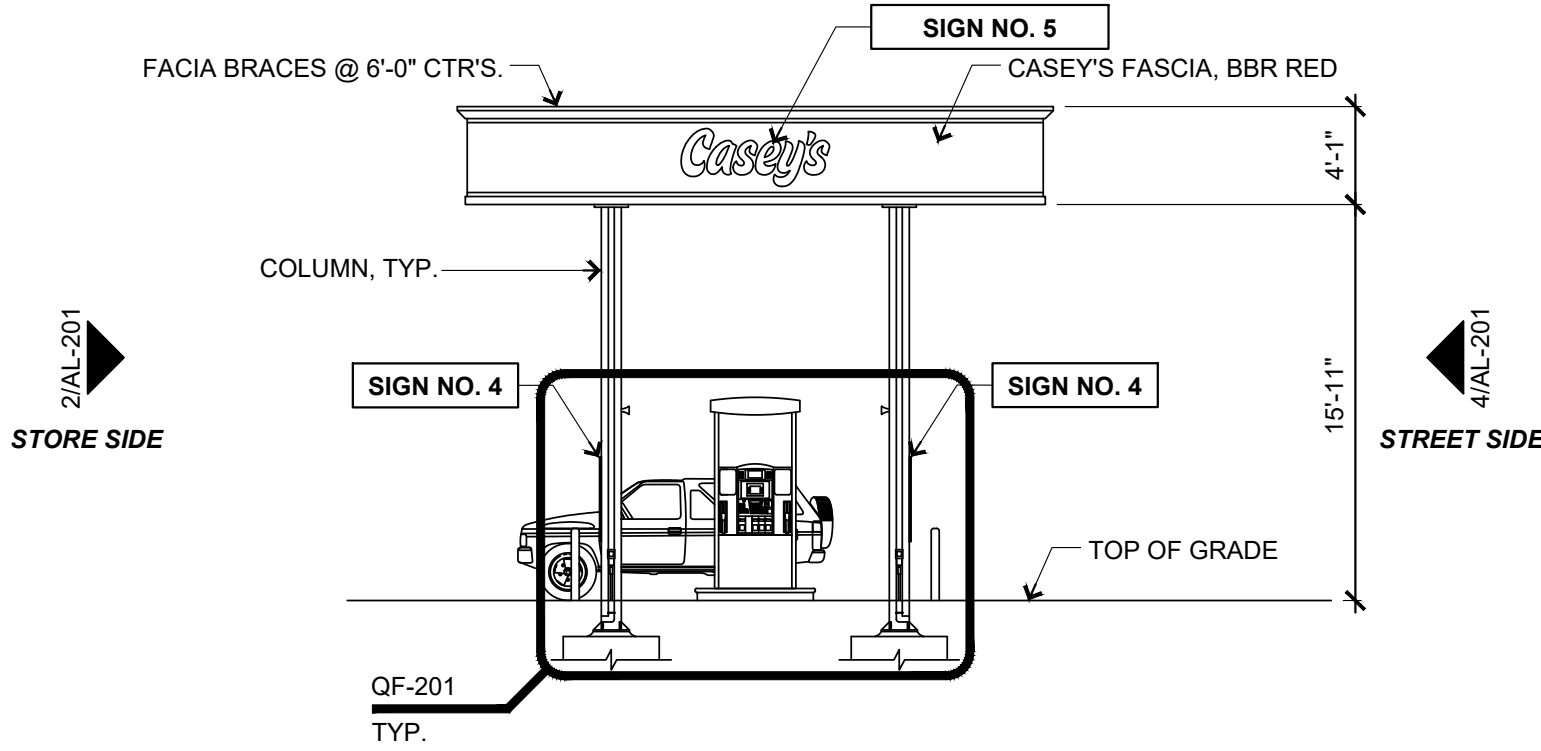
4 Pump Island Canopy - (Street Side)
1/8" = 1'-0"



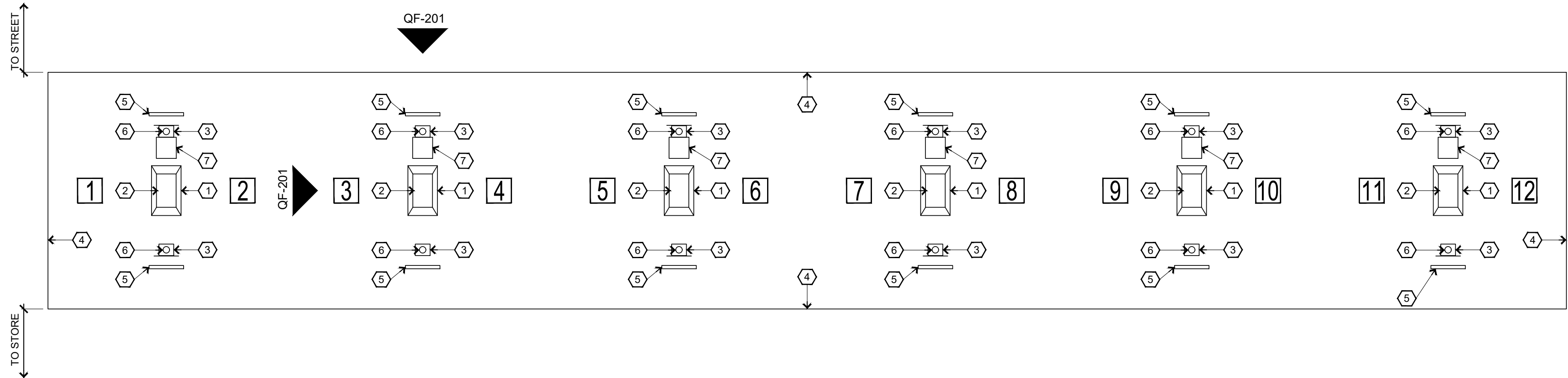
3 Pump Island Canopy - Right Side Elevation
1/8" = 1'-0"



2 Pump Island Canopy - (Store Side)
1/8" = 1'-0"



1 Pump Island Canopy - Left Side Elevation
1/8" = 1'-0"



5 Canopy Layout Plan
Not To Scale

Keyed Canopy Layout Plan Notes

1. **FUEL ISLANDS**
2. **FUEL DISPENSERS:** SUPPLIED BY OWNER
3. **CANOPY COLUMN:** SUPPLIED BY CANOPY MFG.
4. **EDGE OF CANOPY:** ABOVE
5. **STEEL GUARD PIPE:** SET INTO CONC SLAB AS INDICATED IN DETAIL ELEVATIONS (2 PER ISLAND)
6. **INTERNAL DOWNSPOUTS:** ROUTE THROUGH COLUMNS AND UNDERGROUND TO STORM SEWER OR DETENTION IF APPLICABLE
7. **TRASH CAN AND WASH BUCKETS**
8. **PUMP LABELS:** MOUNTED ON CANOPY COLUMNS

6 DISPENSERS - IN-A-ROW - H.I.I.

 Casey's 	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100	
PROJECT: 2022 Standard Site Details	DATE: 01/13/22 REVISED: 09/20/22 10/12/22
DRAWING INFORMATION: CONSTRUCTION DIVISION DRAWN BY: B. RAHN	CHECKED BY:
GASOLINE ISLAND CANOPY ELEVATIONS AL-201	



FRONT



BACK



FRONT ELEVATION



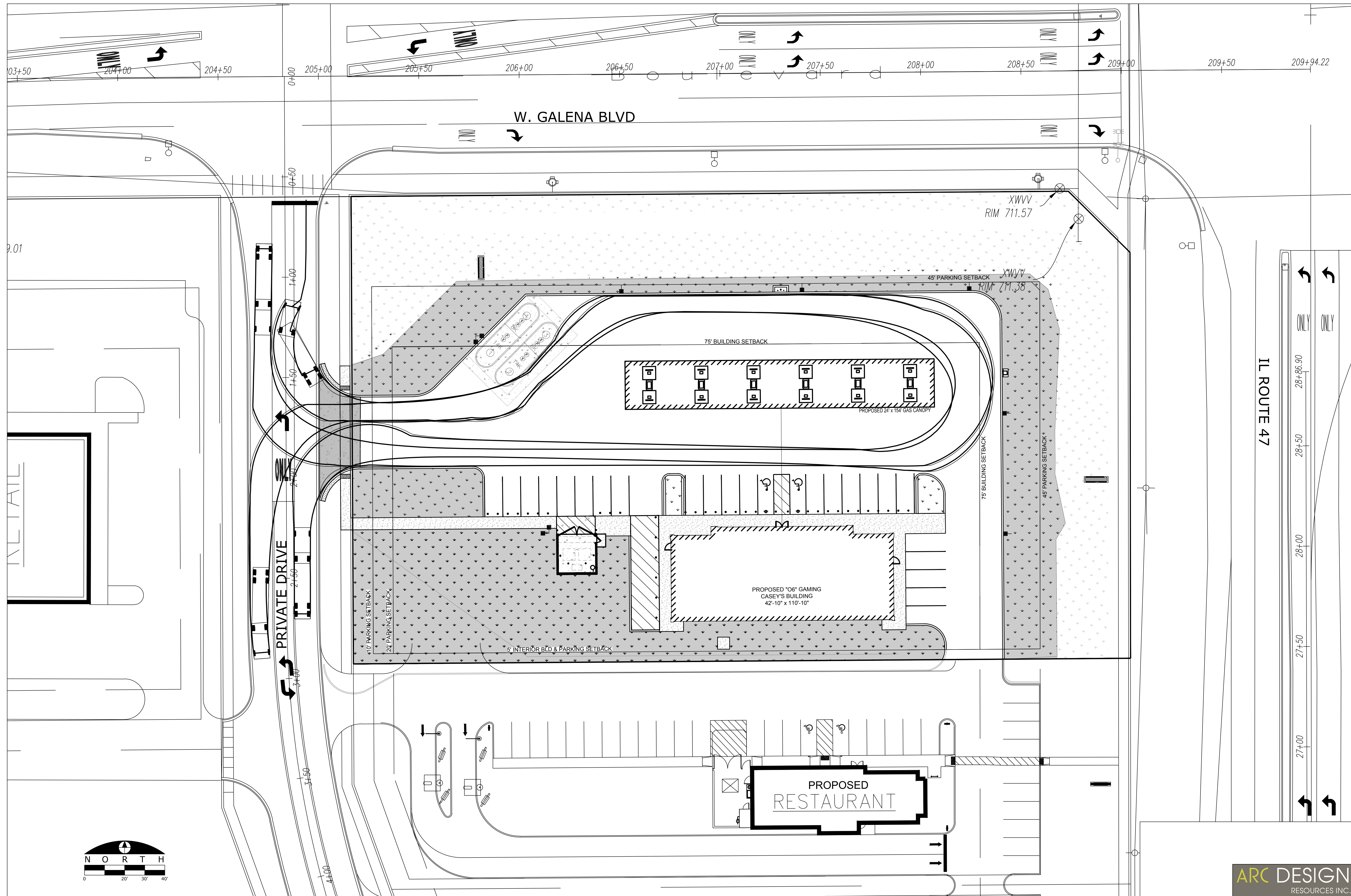
RIGHT ELEVATION



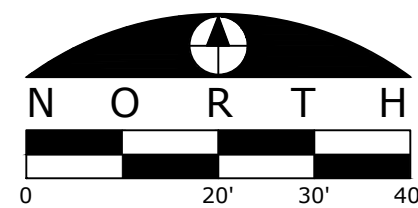
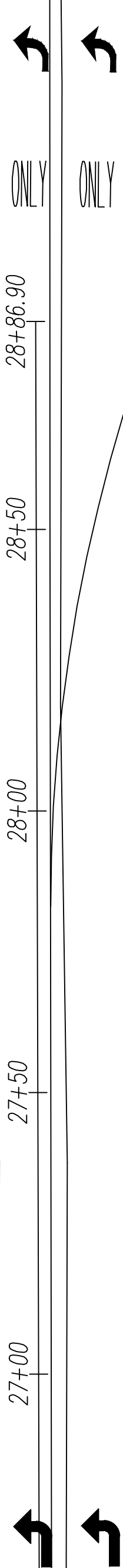
BACK ELEVATION



LEFT ELEVATION



IL ROUTE 47



Casey's SIGN PACKET

JACOB CLARK | SIGNAGE PROJECT BUYER
3305 SE Delaware Ave | Ankeny, IA 50021
P: 515-963-3831 | E: jacob.clark@caseys.com

Sugar Grove, IL #4244

O6 Flat

- 6' Building Signage
- 29" Canopy Signage
- 3 Product Monument

03-12-22

Building & Wall Signs (O6 Flat Roof)

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft ²
1	"Casey's"	Surface	Building Front	Internal	6'-0"	15' 4-1/4"	12' 2"	18' 2"	37.85
2	DO NOT INSTALL								
3	Snap Frame	Advertising	Building Front	N/A	3' 0"	8' 0"	3' 4"	6' 8-1/2"	24
4	Snap Frame	Advertising	Building Front	N/A	3' 8"	2' 4"	2' 10"	6' 10-1/2"	8.56
								Total	70.41

Canopy

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft ²
5	"Casey's"	Surface	Canopy Front	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	6.14
5	"Casey's"	Surface	Canopy Side	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	6.14
5	"Casey's"	Surface	Canopy Side	Internal	2' 5"	6' 2-3/16"	17' 3"	19' 8"	6.14
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
4	Snap Frame	Advertising	Canopy Column	N/A	3' 8"	2' 4"	3' 0"	7' 0-1/2"	8.56
								Total	86.9

Brick Monument Sign (3 Product Monument at 10' OAH)

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft ²
6	Price Sign	Freestanding	Street	Internal	4' 4"	9' 9"	4' 11"	9' 3"	42.25
	Product Tag	Freestanding	Street	N/A	2' 0"	4' 0"	2' 4"	4' 4"	8
								Total	50.25

Brick Monument Sign (3 Product Monument at 10' OAH)

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft ²
6	Price Sign	Freestanding	Street	Internal	4' 4"	9' 9"	4' 11"	9' 3"	42.25
	Product Tag	Freestanding	Street	N/A	2' 0"	4' 0"	2' 4"	4' 4"	8
								Total	50.25

SIGN 1

1

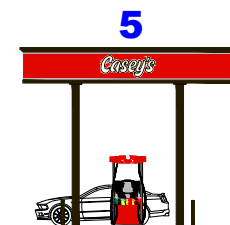
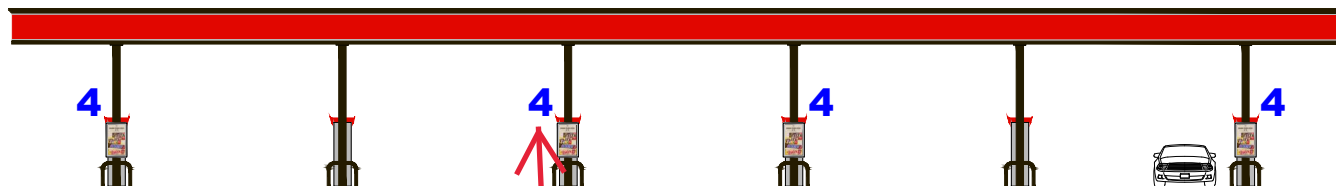
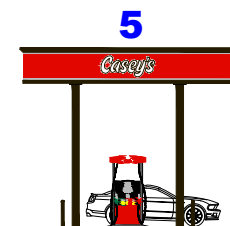


3

4

Per page 2, signs 3 and 4
are not to be installed.

SIGN 5



Per page 2, sign 4 are not to be installed.



GAS CANOPY 6 IN A ROW HEAD-IN

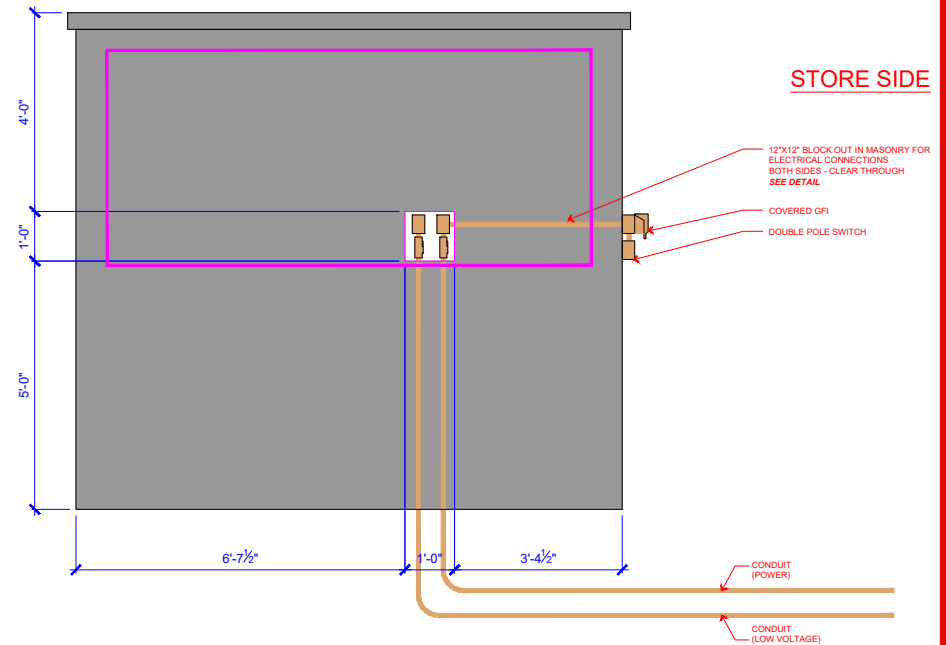
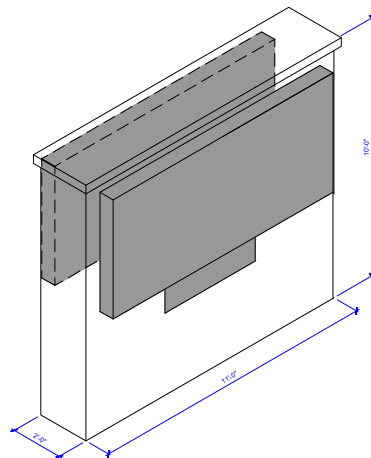
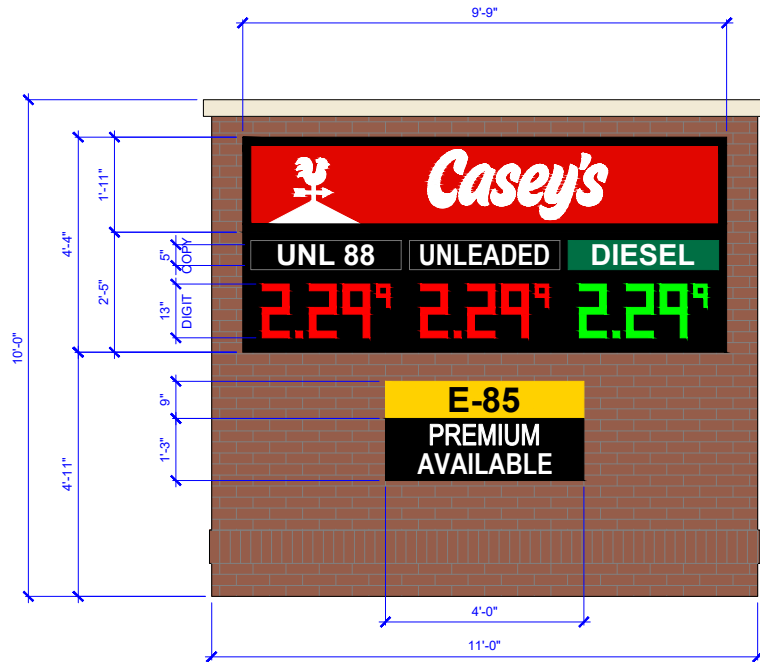
DRAWN BY:
J. CLARK

DATE:
02-08-21

Brick Monument Sign (3 Product Monument at 10' OAH)

SIGN 6

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Height	Width	Bottom	Top	Area Ft ²
6	Price Sign	Freestanding	Street	Internal	4' 4"	9' 9"	4' 11"	9' 3"	42.25
	Product Tag	Freestanding	Street	N/A	2' 0"	4' 0"	2' 4"	4' 4"	8
Total									50.25



PRICER NOTES:

- 13" RED AND GREEN LED DIGITS
- STATIC LABELS, NON-INTERCHANGEABLE
- DIESEL ON THE RIGHT, BOTH SIDES

OTHER NOTES

- PRODUCT "TAG" IS NON-ILLUMINATED
- CABINET IS BLACK IN COLOR
- 300' WIRELESS KEYPAD RANGE



BRICK MONUMENT SIGN

3 PRODUCT - 10' OAH

DRAWN BY:
J. CLARK

DATE:
11-01-21