

COLERAIN TOWNSHIP ZONING COMMISSION

Regular Meeting

Tuesday, November 20, 2018 - 6:00 p.m.

Colerain Township Government Complex
4200 Springdale Road - Cincinnati, OH 45251

1. Meeting called to order.
Pledge of Allegiance.
Roll Call.
2. Approval of Minutes: September 18, 2018 Meeting.
3. Public Address: None.
4. Final Development Plan:

ZA2006-07 Triple Creek Retirement Community
11230 Pippin Road
Final Development Plan for Addition

ZA2014-09 Chick-fil-a
9496 Colerain Avenue
Minor Amendment to a Final Development Plan
5. Public Hearings: None.
6. Informal Concept Review: None.
7. Old Business: None.
8. New Business: None.
9. Administration: None.
10. Announcements: None.
11. Next Meeting: December 18, 2018.
12. Adjournment.



4200 Springdale Road
Colerain Township, OH 45251

STAFF REPORT: Major Modification to a Final
Development Plan
Case #ZA2007-07
11230 Pippin Rd.
November 20, 2018

PREPARED BY: Marty Kohler
Senior Planner

Request:

The submission of an amended Final Development Plan based on an approved Major Modification to the Preliminary Development Plan for Triple Creek Nursing Care in an existing PD-B Planned Development Business District.

Purpose:

To increase the permitted beds per acre from 18.0 to 19.4 to allow for a building expansion to accommodate 7 additional beds.

Applicant/Owner:

Michael Brand – C&K Partnership

Location:

11230 Pippin Road located just north of I-275 and across from Triple Creek Park.

Site Description:

Tract Size:	4.895 acres
Frontage:	350 feet on Pippin Road
Topography:	Relatively flat
Existing Development:	Nursing Home

Surrounding Conditions:

<u>Zone</u>	<u>Land Use</u>
North: R-6 Urban Residential	Single Family
South: PD-B Planned Business	Multi-Family
East: PD-B Planned Business	Multi-Family
West: R-6 Urban Residential	Triple Creek Park

Case History:

In August of 2006, a 52,059 square foot skilled nursing care facility along with 15 independent living duplex villas and a medical office were approved as part of a zone change under the previous zoning designations (pre-2006 Zoning Resolution Update) from B-2 Single Family to OO Planned Office. The proposal also included a medical/professional building on the southwest corner of the development. This building was planned to be developed in the future after both the nursing facility and villas were built. However, it was never constructed and that portion of the site remains vacant.

Right-of-way for Pippin Road was dedicated and sidewalks constructed on the frontage were constructed as part of the original development.

An amended Preliminary Development Plan was submitted and approved by the Colerain Township Trustees on October 9, 2018 for a Major Modification to the approved Preliminary Development Plan to allow the maximum density of beds per acre from 18 beds to 19.4 beds. This modification was processed similar to a zone change request with a review and recommendation by the Regional Planning Commission and the Township Zoning Commission, with the final vote by the Township Trustees.

Proposed Use:

The applicant is proposing to construct a 2,449 square foot one-story building addition to the existing skilled nursing care facility to add four new skilled care units (8 additional beds). Interior renovations would remove an existing unit where the total number of rooms would increase from 71 to 74 rooms and the total number of beds would increase from 88 to 95 beds. The project also includes interior remodeling which does not affect the total number beds in the facility. No alterations are being proposed to the parking lot or driveways around the skilled nursing care facility. No alterations are being proposed for the villas section of the development.

Conformance with Zoning Regulations:

Since the addition is relatively small compared to the size of the property, there is no adverse impact on zoning requirements. Two trees are being removed and two new trees are being planted. The lot coverage is still in compliance with zoning regulations. The addition meets with the minimum setback requirements. The architectural requirements only apply to the street front of the building, therefore the elevation plans submitted meet zoning requirements. The additional beds require 3.5 parking spaces and the site is slightly in excess of the parking requirement so no additional parking is needed. The one added exterior light at the new back door meets zoning requirements. No other changes are being proposed for signs, landscaping, façade of the existing building, traffic circulation, etc.

Recommendation:

Staff recommends **APPROVAL** of the Major Modification to the Final Development Plan with the following conditions:

Conditions:

1. That all conditions approved as part of case Colerain ZA2006-07 shall remain in effect for the subject site.
2. That the proposed development be permitted a maximum density of 19.4 beds per acre as approved by the Colerain Zoning Commission and the Colerain Township Trustees.



**Application/Submission Requirements
Colerain Township Zoning Commission
for Final Development Plan**

For office use only:

Case #:

2A200607

See Zoning Resolution Section 4.3 for full description of the FDP review process. For questions, clarification, and confirmation of meeting times, please call the Colerain Township Planning & Zoning Department at (513) 385-7505.

All required items must be submitted by the published deadline for the desired Zoning Commission meeting.

NAME OF PROJECT: Triple Creek Retirement Community Building Addition

PROPERTY ADDRESS: 11230 Pippin Road Colerain, OH 45231

- ☒ Application letter signed by the applicant, describing conformance with the approved zone change resolution and preliminary plan. (10 copies)
- ☒ Application fee
- ☐ Performance bond for landscaping and/or storm drainage facilities (if applicable)

Drawing Copies required:

Ten (10) full size copies of the drawings listed below, signed and stamped by registered professional preparer. These should be folded to 8.5" x 11", with title block visible.

Ten (10) 11" x 17" copies of the drawings listed below.

Digital version REQUIRED for each of the drawings listed below, in JPEG or PDF format (use colors readable on white background), on CD. To email, contact the Planning & Zoning Dept. for contact: 513-385-7505.

Site Drawing(s) shall include:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Property lines, dimensions, and orientations. | <input checked="" type="checkbox"/> Parking and loading configuration, including calculation of total spaces, criteria used to determine total needed, pavement detail, curb location, curb detail, and aisle and stall dimensions. |
| <input checked="" type="checkbox"/> Adjacent streets and rights-of-way. | <input checked="" type="checkbox"/> Existing site contours (5' minimum) and proposed grading plan. |
| <input checked="" type="checkbox"/> Proposed new construction and site work. | <input checked="" type="checkbox"/> Impervious surface ratio (for non-single family projects). |
| <input checked="" type="checkbox"/> Equipment, outbuildings, dumpster locations, etc. that will be visible on the site. | <input type="checkbox"/> Location(s) of any proposed ground signage. |
| <input checked="" type="checkbox"/> Total gross and net acreage of the site and square footage of proposed buildings. | <input type="checkbox"/> All restrictive covenants required by the zone change and preliminary development plan Resolution adopted by the Colerain Township Board of Trustees. |
| <input type="checkbox"/> Proposed flood plain drainage and control measures. | <input type="checkbox"/> Other applicable conditions and/or restrictive covenants. |
| <input type="checkbox"/> Watershed details for site and within 200 feet around site. Include GPM calculations for expected runoff for 5, 10, and 50 year storms. | <input type="checkbox"/> Deed of Acceptance signed by owners. (After approval).* |
| <input checked="" type="checkbox"/> Proposed site drainage, including water retention/detention and sedimentation control measures. | <input type="checkbox"/> Declaration of Condominium (if applicable). |
| <input checked="" type="checkbox"/> Building downspouts and storm sewer sizes and locations. | |
| <input type="checkbox"/> Legal descriptions for easements and other site restrictions. | |
| <input checked="" type="checkbox"/> Setbacks and rights-of-way. | |

***AFTER FDP IS APPROVED, FINAL SITE PLAN MUST BE SUBMITTED LISTING DATE OF APPROVAL AND CONDITIONS.**

RECEIVED

OCT 10 2018

(over)

COLERAIN ZONING

Landscape Drawing(s) shall include:

- ☒ Clearing limits and existing plant material that is to remain, including an indication of the size of all major trees, shrubs, etc. Existing trees of four-inch caliper and greater must be shown if subject to removal. (Size and extent may be conveyed by photograph.)
- ☒ Proposed new landscaping including notation indicating size and species of all new plants.
- ☐ Existing landscaping on adjacent properties must be indicated if it influences the landscape planning for the site under construction (may be conveyed by photograph).

Building Drawing(s) shall include:

- ☒ A building plan for each building, showing the interior layout of the building and overall dimensions.
- ☒ Exterior elevations shall show all major mechanical equipment, satellite dishes, etc. that will be located on the exterior of the building and the method(s) of screening these items.
- ☒ Exterior elevations of all sides of proposed new construction (including significant renovation). Building materials should be noted. (For additions to existing buildings, sufficient portions of the existing building shall be shown in elevation to convey an understanding of the relationship between new construction and existing.
- ☐ A roof plan shall be submitted if any major items of equipment are to be located on the roof. (Drawings, photographs, and/or manufacturer's literature may be required to convey the size and character of these items.)

Lighting and Signage Drawing(s) shall include:


- ☒ Text, color, dimensions, character, and location of all existing and proposed signage. (Building mounted signage may be shown on the building elevations.)
- ☒ Location, dimensions, details and specifications for exterior lights, including type of standards and radius of lights.
- ☒ Photometric chart showing intensity in footcandles across the site and at property lines.

APPLICANT: The Mannik & Smith Group, Inc.

ADDRESS: 23225 Mercantile Road Beachwood, Ohio 44122

TELEPHONE NO./EMAIL: The Mannik & Smith Group, Inc.

Checklist completed by: Patrick Blake
(print or type name)

Signature: 

<i>For Office Use Only:</i>
Fees Paid: <u>\$550</u>
CD enclosed: <u>Yes</u>
Performance Bond Paid:
Zoning Commission:

(over)

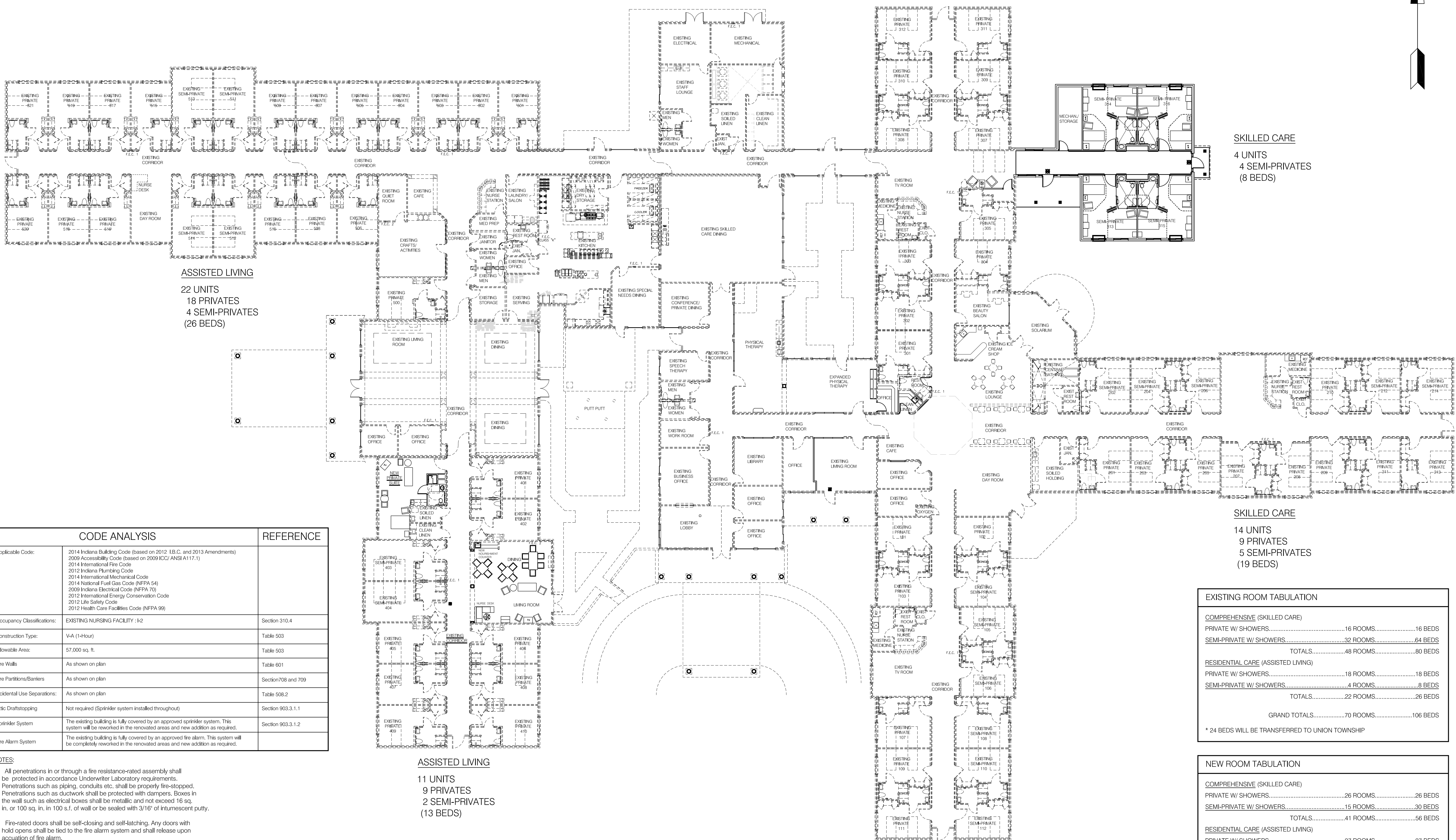




NOTE:
BRICK EXPANSION JOINTS SHALL NOT
EXCEED 40'-0" MAXIMUM SPACING

PRELIMINARY

SHEET NO.	A1.5 OF	0
PROJECT NO.	CH1805	
DATE		
EXTERIOR ELEVATIONS	CHECKED JLG	DRAWN JLG
<div style="text-align: center;"> TRIPLE CREEK RETIREMENT COMMUNITY <hr/> CINCINNATI — OHIO </div>		
910 Main Street Ferdinand, IN 47532 Phone: 317-367-2831 design@udassoc.com www.udassoc.com		
DATE	REV	REMARKS
(E) W T F S S		
0 1 2 3		



SKILLED CARE
11 UNITS
11 PRIVATES
(11 BEDS)

SKILLED CARE
4 UNITS
4 SEMI-PRIVATES
(8 BEDS)

ASSISTED LIVING
22 UNITS
18 PRIVATES
4 SEMI-PRIVATES
(26 BEDS)

SKILLED CARE
14 UNITS
9 PRIVATES
5 SEMI-PRIVATES
(19 BEDS)

EXISTING ROOM TABULATION		
COMPREHENSIVE (SKILLED CARE)		
PRIVATE W/ SHOWERS.....	16 ROOMS.....	16 BEDS
SEMI-PRIVATE W/ SHOWERS.....	32 ROOMS.....	64 BEDS
TOTALS.....	48 ROOMS.....	80 BEDS
RESIDENTIAL CARE (ASSISTED LIVING)		
PRIVATE W/ SHOWERS.....	18 ROOMS.....	18 BEDS
SEMI-PRIVATE W/ SHOWERS.....	4 ROOMS.....	8 BEDS
TOTALS.....	22 ROOMS.....	26 BEDS
GRAND TOTALS.....	70 ROOMS.....	106 BEDS
* 24 BEDS WILL BE TRANSFERRED TO UNION TOWNSHIP		

NEW ROOM TABULATION		
COMPREHENSIVE (SKILLED CARE)		
PRIVATE W/ SHOWERS.....	26 ROOMS.....	26 BEDS
SEMI-PRIVATE W/ SHOWERS.....	15 ROOMS.....	30 BEDS
TOTALS.....	41 ROOMS.....	56 BEDS
RESIDENTIAL CARE (ASSISTED LIVING)		
PRIVATE W/ SHOWERS.....	27 ROOMS.....	27 BEDS
SEMI-PRIVATE W/ SHOWERS.....	6 ROOMS.....	13 BEDS
TOTALS.....	33 ROOMS.....	39 BEDS
GRAND TOTALS.....	75 ROOMS.....	95 BEDS

SKILLED CARE
12 UNITS
6 PRIVATES
6 SEMI-PRIVATES
(18 BEDS)

ASSISTED LIVING
11 UNITS
9 PRIVATES
2 SEMI-PRIVATES
(13 BEDS)

CODE ANALYSIS		REFERENCE
Applicable Code:	2014 Indiana Building Code (based on 2012 I.B.C. and 2013 Amendments) 2009 Accessibility Code (based on 2009 ICC/ANSI A117.1) 2014 International Fire Code 2012 Indiana Plumbing Code 2014 International Mechanical Code 2014 National Fuel Gas Code (NFPA 54) 2009 Indiana Electrical Code (NFPA 70) 2012 International Energy Conservation Code 2012 Life Safety Code 2012 Health Care Facilities Code (NFPA 99)	
Occupancy Classifications:	EXISTING NURSING FACILITY : I-2	Section 310.4
Construction Type:	VA (1-Hour)	Table 503
Allowable Area:	57,000 sq. ft.	Table 503
Fire Walls	As shown on plan	Table 601
Fire Partitions/Barriers	As shown on plan	Section 708 and 709
Incidental Use Separations:	As shown on plan	Table 508.2
Attic Draftstopping	Not required (Sprinkler system installed throughout)	Section 903.3.1.1
Sprinkler System	The existing building is fully covered by an approved sprinkler system. This system will be reworked in the renovated areas and new addition as required.	Section 903.3.1.2
Fire Alarm System	The existing building is fully covered by an approved fire alarm. This system will be completely reworked in the renovated areas and new addition as required.	

- NOTES:
- 1.) All penetrations in or through a fire resistance-rated assembly shall be protected in accordance Underwriter Laboratory requirements. Penetrations such as piping, conduits etc. shall be properly fire-stopped. Penetrations such as ductwork shall be protected with dampers. Boxes in the wall such as electrical boxes shall be metallic and not exceed 16 sq. in. or 100 sq. in. in 100 s.f. of wall or be sealed with 3/16" of intumescent putty.
 - 2.) Fire-rated doors shall be self-closing and self-latching. Any doors with hold opens shall be tied to the fire alarm system and shall release upon actuation of fire alarm.
 - 3.) The entire roof/ceiling assembly of this facility is 1-hour rated. Any penetrations through the ceiling into the attic shall be protected.
 - 4.) The entire facility is constructed as a Type VA (1-hour) building. All exterior walls and interior bearing walls are constructed as 1-hour walls and comply with table 601 & 602.

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DATE	BY	REVISIONS

310 Main Street
Columbus, OH 43260
Phone: 614.296.7831
Fax: 614.296.7841
design@udassoc.com
www.udassoc.com

Universal DESIGN ASSOCIATES, INC.

TRIPLE CREEK RETIREMENT COMMUNITY
BUILDING ADDITION
COLERAIN

OHIO

DRAWN	TEXT	CHECKED	APPROVED

LIFE SAFETY PLAN

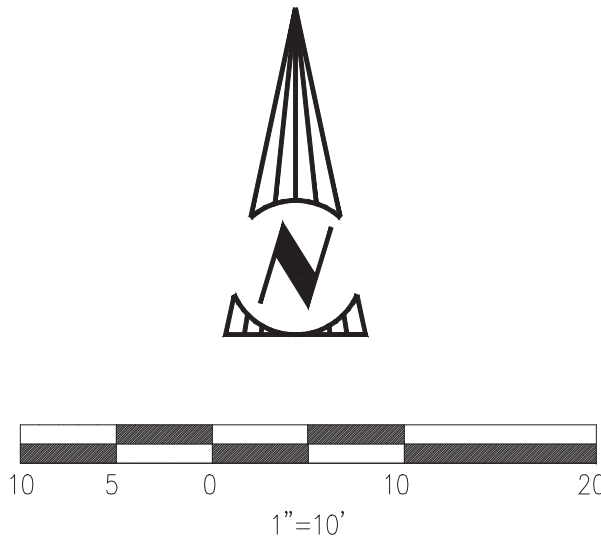
DATE	DATE

PROJECT NO. CH1805
SHEET NO. 0 OF 0

SCALE 1/16" = 1'-0"

PRELIMINARY

11230 PIPPIN ROAD
COLERAIN TOWNSHIP, OHIO



LEGEND OF EXISTING CONDITIONS

- AIR CONDITIONING UNIT
- TREE
- BUSH
- CATCH BASIN
- PROPERTY LINE
- STORM LINE
- EX. 1 FT. CONTOUR
- EX. 5 FT. CONTOUR

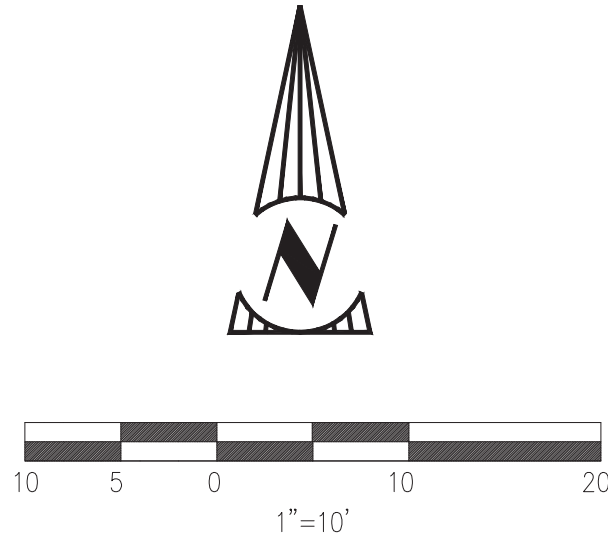
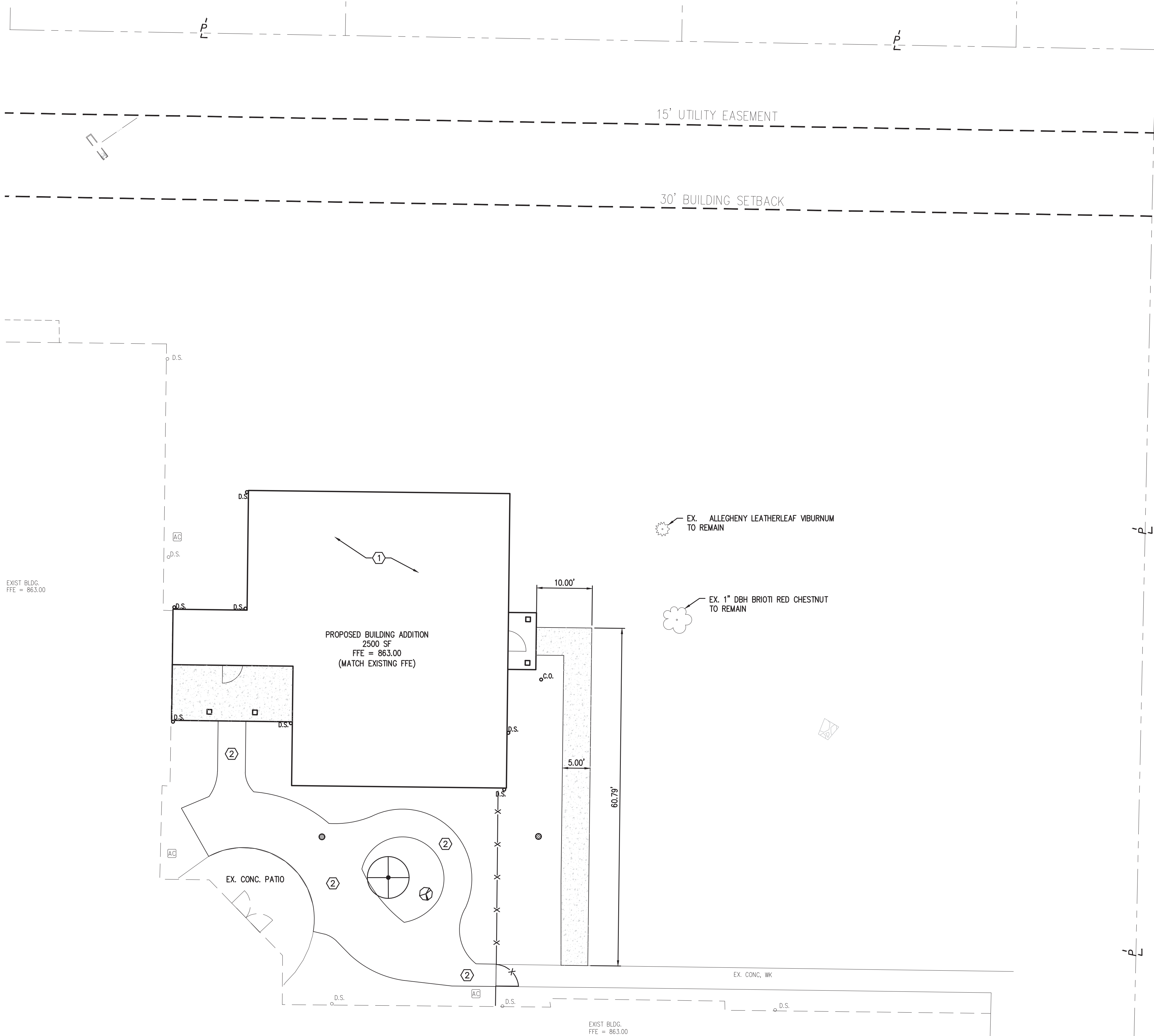
DEMOLITION LEGEND

- CLEARING LIMITS
- TREE REMOVAL

DEMOLITION GENERAL NOTES:

- A BOUNDARY SURVEY HAS NOT BEEN PERFORMED BY THE MANNIK & SMITH GROUP, INC. EXISTING PROPERTY LINES, EASEMENTS, AND SETBACK LINES ARE PER RECORD DRAWINGS PREPARED BY CASH WAGGNER & ASSOCIATES DATED 4/2/2007.

NO.	DATE	BY	DESCRIPTION	
			PRELIMINARY SUBMITTAL	FINAL DEVELOPMENT PLAN SUBMITTAL
	08-2018	JAG		
	10-09-2018	JAG		
23225 MERCANTILE ROAD BEACHWOOD, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497				
PROJECT DATE:			APR 2017	
PROJECT NO.:			T1730018	
DRAWN BY:			JAG	
CHECKED BY:			MTB	
TECHNICAL SKILL: CREATIVE SPIRIT:				
PREPARED FOR: DMK DEVELOPMENT GROUP 9300 SHELBYVILLE RD. SUITE 800 LOUISVILLE, KY 40222				
TRIPLE CREEK RETIREMENT COMMUNITY BUILDING ADDITION 11230 PIPPIN ROAD COLERAIN, OH 45231				
EXISTING CONDITIONS AND DEMOLITION PLAN				
2		10		



LEGEND OF PROPOSED FEATURES

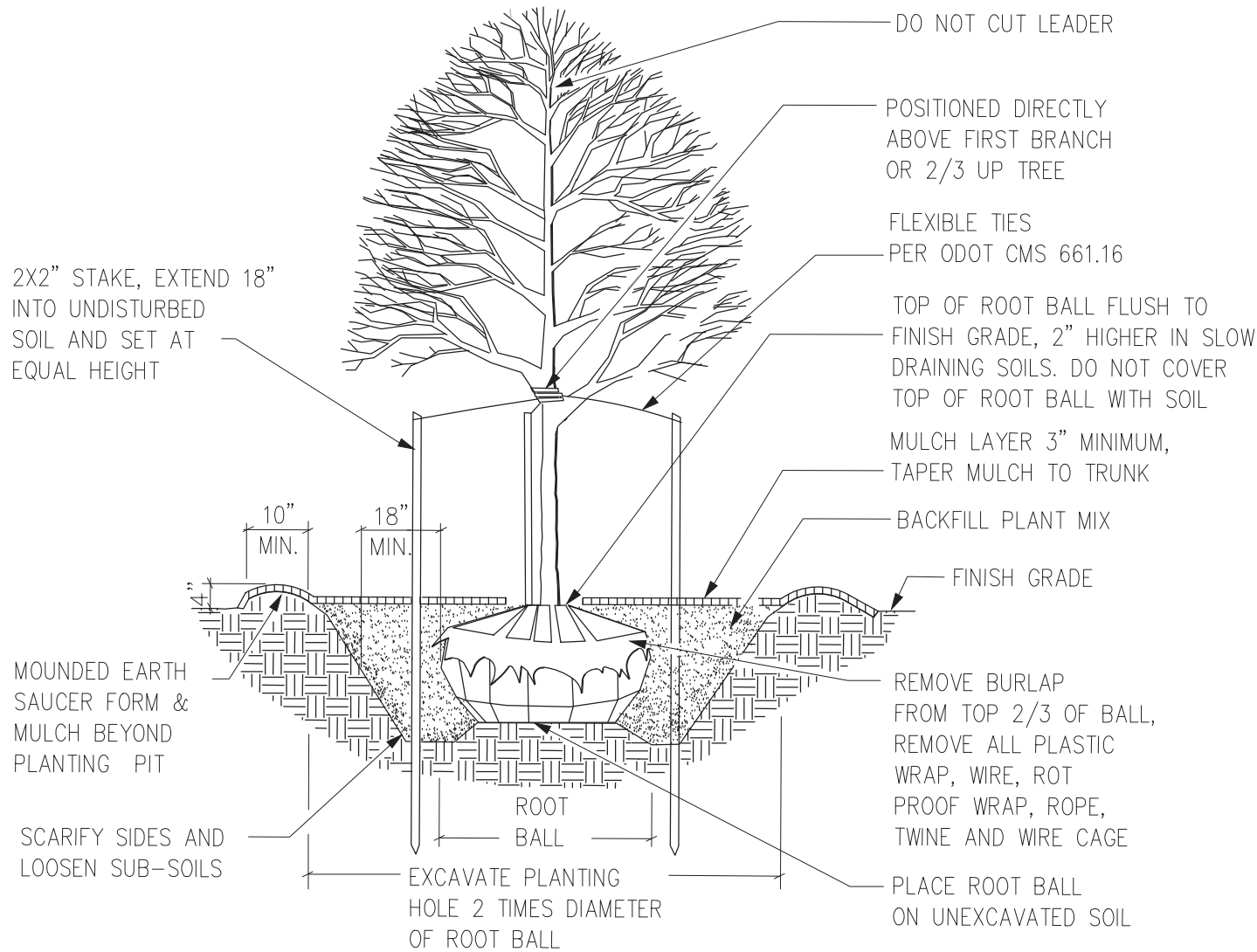
- CONCRETE SIDEWALK PER DETAIL
- PROPOSED 2.5" CALIPER DBH DECIDUOUS TREE. AESCULUS X CAMEA 'BRIOTI' (BRIOTI RED CHESTNUT)
- PROPOSED 24" MIN. HEIGHT DECIDUOUS SHRUB. VIBURNUM X 'ALLEGHANY' (ALLEGHANY LEATHERLEAF VIBURNUM)
- CODED NOTE

CODED NOTES:

- 8 BED SKILLED CARE ADDITION (2,500 SF). BUILDING IS SHOWN FOR INTENT ONLY. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED COURTYARD DIMENSIONS AND PAVEMENTS.

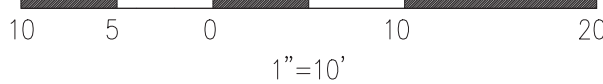
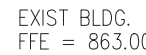
GENERAL NOTES:

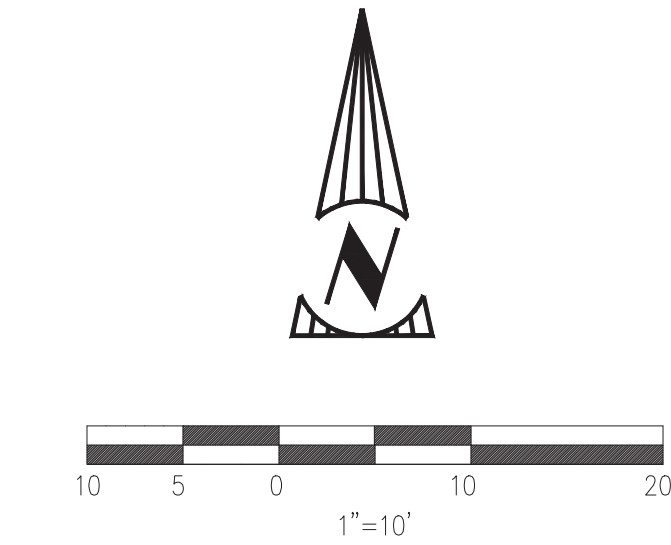
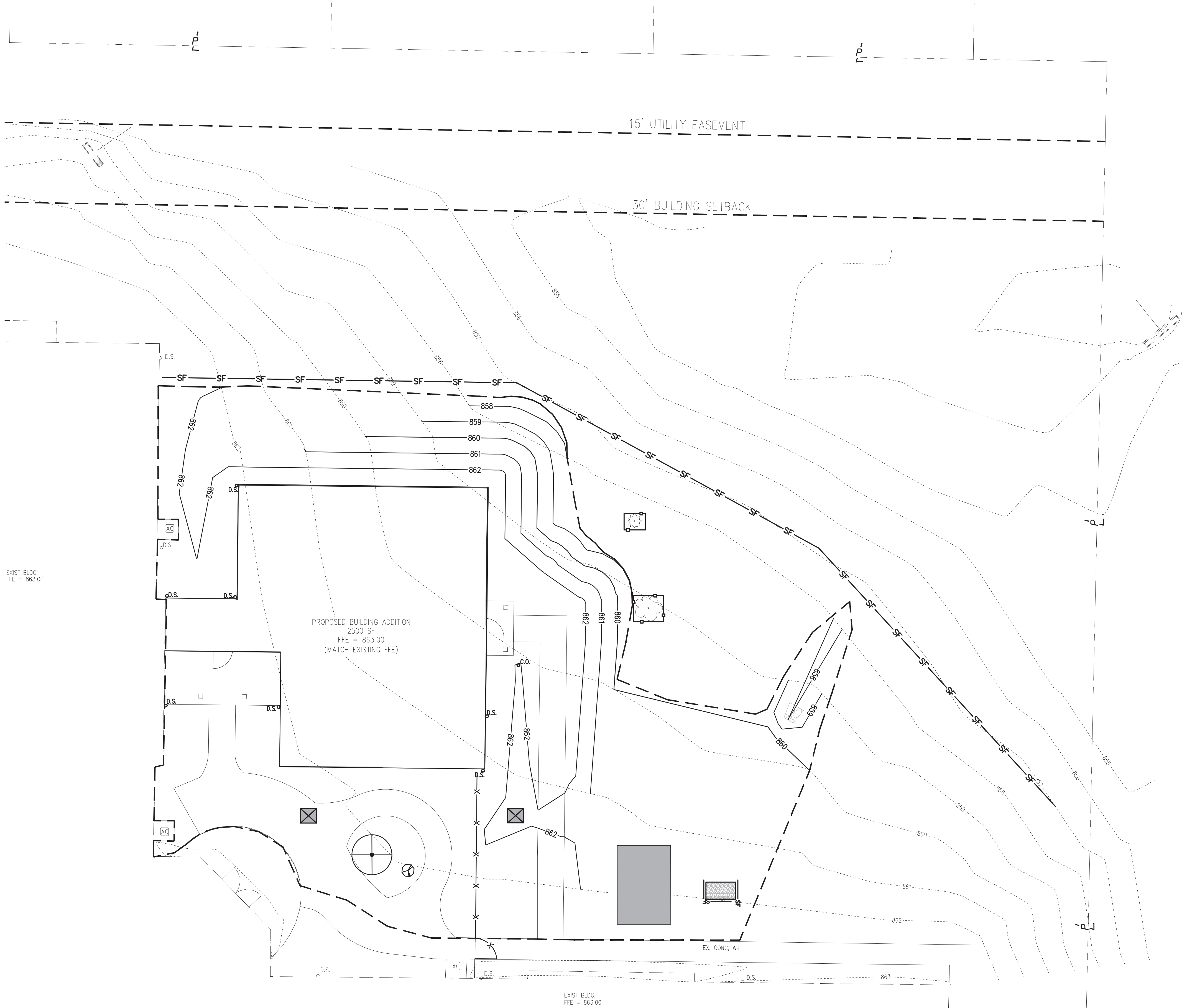
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.



DECIDUOUS TREE PLANTING
NO SCALE

3	SITE LAYOUT PLAN AND SITE DETAILS	TRIPLE CREEK RETIREMENT COMMUNITY BUILDING ADDITION 11230 PIPPIN ROAD COLERAIN, OH 45231	PREPARED FOR: DMK DEVELOPMENT GROUP 9300 SHELBYVILLE RD, SUITE 800 LOUISVILLE, KY 40222	 TECHNICAL SKILL: CREATIVE SPIRIT. www.MannikSmithGroup.com	23225 MERCANTILE ROAD BEACHWOOD, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497				PROJECT DATE: APR 2017					
					PROJECT NO.: T1730018		PROJECT NO.: T1730018							
					DRAWN BY: JAG		DRAWN BY: JAG							
					CHECKED BY: MTB		CHECKED BY: MTB							
10					NO.				DATE		BY		DESCRIPTION	
					JAG				08-2018		JAG		PRELIMINARY SUBMITTAL	
					JAG				10-09-2018		JAG		FINAL DEVELOPMENT PLAN SUBMITTAL	





LEGEND OF SWPPP FEATURES

- GEOTEXTILE INLET PROTECTION. FOR INLET PROTECTION IN PAVED AREAS USE DANDY BAG INLET PROTECTION OR APPROVED EQUAL.
- CONCRETE WASHOUT PIT
- PROPOSED SILT FENCE OR FILTER SOCK
- DISTURBED LIMITS
- TEMPORARY STAGING AREA FOR FUELING, EQUIPMENT, AND DISPOSAL/STORAGE OF SOLID/SANITARY TOXIC WASTES
- TREE PROTECTION FENCE

GENERAL SWPPP NOTES:

- SEE SWPPP NOTES AND DETAILS SHEET.

NO.	DATE	BY	DESCRIPTION	
			PRELIMINARY SUBMITTAL	FINAL DEVELOPMENT PLAN SUBMITTAL
23225 MERCANTILE ROAD BEACHWOOD, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497	08-2018 10-09-2018	JAG JAG	PROJECT DATE: APR 2017	PROJECT NO.: T1730018
			DRAWN BY: JAG	CHECKED BY: MTB
<div>TECHNICAL SKILL: CREATIVE SPIRIT:</div> <div>Mannik Smith GROUP www.MannikSmithGroup.com</div>				
PREPARED FOR: DMK DEVELOPMENT GROUP 9300 SHELBYVILLE RD, SUITE 800 LOUISVILLE, KY 40222				
TRIPLE CREEK RETIREMENT COMMUNITY BUILDING ADDITION 11230 PIPPIN ROAD COLERAIN, OH 45231				
SWPPP PLAN				
5	10			

SEDIMENT AND EROSION CONTROL NOTES:

1. THE STORM WATER POLLUTION PREVENTION PLAN AND DETAILS SHALL BE AVAILABLE FOR INSPECTION ON SITE DURING WORKING HOURS.
2. CONTRACTOR SHALL MAINTAIN A LOG DOCUMENTING GRADING AND STABILIZATION ACTIVITIES AS WELL AS AMENDMENTS TO THE STORM WATER POLLUTION PLAN, WHICH OCCUR AFTER CONSTRUCTION ACTIVITIES COMMENCE.
3. MINIMIZE TRACKING OF SEDIMENTS BY VEHICLES BY UTILIZING THE CONSTRUCTION ENTRANCE AS THE ONLY ENTRANCE FOR VEHICLES. MAINTAIN THIS ENTRANCE WITH STONE AS NEEDED TO PREVENT DIRT AND MUD FROM TRACKING ONTO THE ROADWAY. REGULAR SWEEPING OF THE ROADWAY MAY BE NECESSARY TO ENSURE ROADWAY DOES NOT BUILD UP WITH SEDIMENTS.
4. THE OWNER OF RECORD MUST PROVIDE REGULAR INSPECTION AND MAINTENANCE FOR ALL EROSION AND SEDIMENT CONTROL PRACTICES. PERMANENT RECORDS OF ALL MAINTENANCE AND INSPECTIONS MUST BE KEPT THROUGHOUT THE CONSTRUCTION PERIOD. INSPECTION MUST BE MADE A MINIMUM OF ONCE EVERY SEVEN (7) DAYS AND IMMEDIATELY AFTER STORM EVENTS GREATER THAN 0.5 INCHES OF RAIN WITHIN A 24-HOUR PERIOD. THE NAME OF OWNER'S DESIGNATED INSPECTOR, MAJOR OBSERVATIONS, DATE OF INSPECTIONS AND CORRECTIVE MEASURES TAKEN MUST BE NOTED ON ALL INSPECTIONS.
5. OTHER EROSION AND SEDIMENT CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS AND MAY BE REQUIRED AT THE DISCRETION OF THE CITY AND/OR COUNTY SOIL AND WATER CONSERVATION DISTRICT OR ITS REPRESENTATIVES.
6. SEDIMENT/STORMWATER PONDS AND EROSION AND SEDIMENT CONTROLS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN 7 DAYS FROM THE START OF GRUBBING. UPON COMPLETION OF CONSTRUCTION OF PONDS, SEEDING AND MULCHING SHALL IMMEDIATELY FOLLOW TO AID IN THE STABILIZATION AND MINIMIZE EROSION AND SEDIMENT TRANSPORT OF THE SOIL BEFORE WATER LEAVES THE POND. ALL EROSION AND SEDIMENT CONTROLS SHALL CONTINUE TO FUNCTION UNTIL DISTURBED AREAS ARE RESTABILIZED.
7. NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF. (THIS INCLUDES WASHING OUT OF CEMENT TRUCKS.) DESIGNATED WASH PIT AREAS ARE SHOWN ON THE PLANS AND ARE PRESET FOR THIS PURPOSE AWAY FROM AREAS OF STORM WATER RUNOFF.
8. SITE STABILIZATION EITHER PERMANENT OR TEMPORARY MUST FOLLOW THE APPLICABLE FOLLOWING REQUIREMENTS:

PERMANENT STABILIZATION	
AREA REQUIRING PERMANENT STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY AREAS THAT WILL LIE DORMANT FOR ONE YEAR OR MORE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE
ANY AREA WITH IN 50 FEET OF A SURFACE WATER OF THE STATE AND AT FINAL GRADE	WITHIN TWO DAY IF REACHING FINAL GRADE
ANY OTHER AREAS AT FINAL GRADE	WITHIN SEVEN DAYS OF REACHING FINAL GRADE WITHIN THAT AREA
TEMPORARY STABILIZATION	
AREA REQUIRING TEMPORARY STABILIZATION	TIME FRAME TO APPLY EROSION CONTROLS
ANY DISTURBED AREAS WITHIN 50 FEET OF A SURFACE WATER OF THE STATE AND NOT AT FINAL GRADE	WITHIN TWO DAYS OF THE MOST RECENT DISTURBANCE IF THE AREA WILL REMAIN IDLE FOR MORE THAN 14 DAYS
FOR ALL CONSTRUCTION ACTIVITIES, ANY DISTURBED AREAS THAT WILL BE DORMANT FOR MORE THAN 14 DAYS BUT LESS THAN ONE YEAR, AND NOT WITHIN 50 FEET OF A SURFACE WATER OF THE STATE	WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE WITHIN THE AREA. FOR RESIDENTIAL SUBDIVISIONS, DISTURBED AREAS MUST BE STABILIZED AT LEAST SEVEN DAYS PRIOR TO TRANSFER OF PERMIT COVERAGE FOR THE INDIVIDUAL LOTS.
DISTURBED AREAS THAT WILL BE IDLE OVER WINTER	PRIOR TO THE ONSET OF WINTER WEATHER

- 8.1. WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR ARE OTHERWISE UNCERTAINABLE, ALTERNATIVE STABILIZATION TECHNIQUES MUST BE EMPLOYED. THESE TECHNIQUES MAY INCLUDE MULCHING, EROSION MATTING, OR PLACEMENT OF STONE.
9. THE CONTRACTOR SHALL LIMIT THE SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY EXCAVATION, BORROW, AND FILL OPERATIONS AND PROVIDE IMMEDIATE PERMANENT OR TEMPORARY CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS OR OTHER WATER COURSES, LAKES, PONDS, OR OTHER AREAS OF WATER IMPOUNDMENT.
10. THIS WORK SHALL CONSIST OF TEMPORARY CONTROL MEASURES AS DETAILED IN THE PLANS OR ORDERED BY THE ENGINEER DURING THE LIFE OF THE CONTRACT TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGH USE OF BEST MANAGEMENT PRACTICES AS DETAILED IN THE OHIO RAINWATER AND LAND DEVELOPMENT MANUAL.
11. TEMPORARY EROSION AND SEDIMENT CONTROL ITEMS, THE LOCATION AND SIZE OF WHICH ARE DETAILED IN THE PLANS, SHALL BE INSTALLED BY THE CONTRACTOR UPON COMMENCEMENT OF ANY CLEARING OR EARTHWORK OPERATIONS. TEMPORARY CONTROL MEASURES WILL BE USED WHEN AND AS DIRECTED BY THE ENGINEER TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT WERE NOT FORESEEN DURING THE DESIGN STAGE THAT ARE NEEDED PRIOR TO INSTALLATION OF PERMANENT CONTROL FEATURES OR THAT ARE NEEDED TEMPORARILY TO CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
12. EXISTING VEGETATIVE GROWTH SHALL REMAIN UNDISTURBED AS LONG AS POSSIBLE. THE CONTRACTOR SHALL SEED AND MULCH ALL AREAS DISTURBED.
13. TEMPORARY EROSION CONTROL FEATURES SHALL BE ACCEPTABLY MAINTAINED AND SHALL SUBSEQUENTLY BE REMOVED OR REPLACED WHEN DIRECTED BY THE ENGINEER. TEMPORARY AND PERMANENT EROSION CONTROL FEATURES SHALL BE CHECKED AFTER EACH MEASURABLE RAINFALL AND RE-ESTABLISHED AS NECESSARY. REMOVED MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR AND SHALL BE DISPOSED OF OFF THE SITE.
14. CONTRACTOR IS TO PROVIDE SPECIFIC LOCATIONS FOR THE PROPER CROSSING OF DIVERSION SWALES WITH VEHICLES AND EQUIPMENT. AT THESE LOCATIONS THE DIVERSION SWALES SHALL BE PROTECTED FROM INCURRING DAMAGE FROM THE VEHICLES AND EQUIPMENT. IF ANY DAMAGE IS TO OCCUR THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING SAID DAMAGE IMMEDIATELY, PRIOR TO CONTINUATION OF WORK ON SITE.
15. IF PROPER CONTROL OF SOIL EROSION AND SEDIMENTATION IS NOT BEING PROVIDED BY THE CONTRACTOR, THE ENGINEER MAY WITHHOLD PROGRESS ESTIMATES UNTIL PROPER CONTROL IS ACHIEVED.
16. IN THE EVENT THAT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE REQUIRED DUE TO THE CONTRACTOR'S NEGLIGENCE, CARELESSNESS, OR FAILURE TO INSTALL PERMANENT CONTROLS AS A PART OF THE WORK AS SCHEDULED, AND ARE ORDERED BY THE ENGINEER, SUCH TEMPORARY WORK SHALL BE PERFORMED BY THE CONTRACTOR AT HIS EXPENSE.
17. THE CONTRACTOR SHALL MAINTAIN ALL SEEDING, MULCHED AREAS UNTIL FINAL INSPECTION. MAINTENANCE SHALL ALSO INCLUDE REPAIRING ANY AREAS DAMAGED FOLLOWING THE SEEDING OR MULCHING OPERATION DUE TO WIND, WATER, FIRE, OR OTHER CAUSES. SUCH DAMAGED AREAS SHALL BE REPAIRED TO RE-ESTABLISH THE CONDITION OF THE GRADE OF THE AREA PRIOR TO SEEDING AND SHALL THEN BE RE-FERTILIZED RE-SEEDDED, RE-MULCHED AS DIRECTED BY THE PROJECT ENGINEER.
18. INSTALL SILT FENCE OR COMBINATION BARRIERS AT LOCATIONS SO INDICATED ON THE STORMWATER POLLUTION PREVENTION PLAN (SEE DETAIL).
19. SILT FENCE TO BE PLACED AROUND ALL YARD DRAINS TO MINIMIZE SILTING OF PIPE AND TRANSPORT OF SILT (SEE DETAIL).
20. INSTALL GRAVEL AND WIRE SEDIMENT FILTERS ON ALL ROAD INLETS (SEE DROP INLET PROTECTION DETAIL).
21. INSTALL TEMPORARY AGGREGATE PAD AT POINT OF INGRESS AND EGRESS FROM PROJECT TO PREVENT VEHICULAR TRACKING OFF-SITE (SEE DETAIL). THE PAD SHALL BE CLEANED AND REPLENISHED, AS NECESSARY, DURING THE CONSTRUCTION PERIOD.
22. IF TRENCH OR GROUND WATER CONTAINS SEDIMENT IT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR OTHER EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE PRIOR TO BEING DISCHARGED FROM THE CONSTRUCTION SITE. ALTERNATIVELY, SEDIMENT MAY BE REMOVED BY SETTLING IN PLACE OR BY DEWATERING INTO A SUMP PIT, FILTER BAG, OR COMPARABLE PRACTICE.
23. TOPSOIL STOCKPILES SHALL RECEIVE TEMPORARY SEEDING AND MULCHING AS SOON AS STOCKPILING OPERATIONS ARE COMPLETED. A SILT FENCE SHALL BE INSTALLED ALONG ABOUT 20 FEET FROM THE TOE OF THE STOCKPILE. TOPSOIL SHALL BE REPLACED AS QUICKLY AS CONSTRUCTION PERMITS.
24. ADDITIONAL EROSION CONTROLS MAY BE MANDATED BY THOSE AGENCIES HAVING JURISDICTION.
25. ROUTINE INSPECTION WILL BE CONDUCTED ON ALL EROSION CONTROL PRACTICES FOR THIS PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR CORRECTING ALL DEFICIENCIES REVEALED BY THE INSPECTIONS.
26. ALL EROSION CONTROL PRACTICES SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE OHIO EPA GENERAL CONSTRUCTION PERMIT REQUIREMENTS.
27. THIS SITE IS COVERED UNDER OHIO EPA GENERAL PERMIT OH0000005 FOR STORM WATER POLLUTION ASSOCIATED WITH CONSTRUCTION.
28. LOCATION OF THE FUELING AND STAGING AREA IS SHOWN ON THE SWPPP. MODIFICATIONS TO THE LOCATION OF THE EQUIPMENT FUELING AREA SHALL BE SHOWN ON AN AMENDED SWPPP. THE FUELING AREA SHALL BE ESTABLISHED EITHER ON EXISTING PAVEMENT OR ON 18" OF GRANULAR AGGREGATE BASE. IF AN AGGREGATE BASE COURSE IS USED, THEN THE CONTRACTOR TO BE RESPONSIBLE TO MAINTAIN THE STONE SURFACE THAT IS REPLENISHED WHEN THE DEPTH IS LESS THAN 6" OR REMOVED AND REPLACED IF THE STONE BECOMES LADEN WITH MUD.
29. A SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN MUST BE DEVELOPED FOR SITES WITH

ONE ABOVE GROUND STORAGE TANK (AST) OF 660 GALLONS OR MORE, TOTAL ABOVE GROUND TANK STORAGE OF 1330 GALLONS, OR BELOW GROUND STORAGE OF 42,000 GALLONS OF FUEL.

WASTE DISPOSAL

30. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A MINIMUM OF ONE SOLID WASTE DISPOSAL RECEPTACLE AND HAVE THIS RECEPTACLE EMPTIED BY A CONTRACTOR WASH DISPOSAL SERVICE AND HAULED AWAY FROM THE SITE AS NECESSARY. NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORM WATER. ALL SOLID WASTE, INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN THESE RECEPTACLES. THE LOCATION IS TO BE DETERMINED IN THE FIELD. ALL CONTAINERS MUST BE COVERED AND LEAK-PROOF.

SPILL REQUIREMENTS

31. SHOULD AN ACCIDENTAL SPILL OCCUR, IMMEDIATE ACTION WILL BE UNDERTAKEN BY THE GENERAL CONTRACTOR TO CONTAIN AND REMOVE THE SPILLED MATERIAL IMMEDIATELY AND BE DISPOSED OF BY THE CONTRACTOR IN THE MANNER SPECIFIED BY LOCAL, STATE, AND FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS, AS SOON AS POSSIBLE. ALL SPILLS 525 GALLONS SHALL BE REPORTED TO THE APPROPRIATE STATE AND LOCAL AGENCIES. THIS SHALL INCLUDE THE OHIO EPA AT 800-282-8378, THE LOCAL FIRE DEPARTMENT, THE NATIONAL RESPONSE CENTER AT 800-424-8802, US COAST GUARD 440-288-1206 (IF APPLICABLE).
32. ALL CONTAMINATED SOILS MUST BE TREATED AND/OR DISPOSED IN OHIO EPA APPROVED SOLID WASTE MANAGEMENT FACILITIES OR HAZARDOUS WASTE TREATMENT, STORAGE OR DISPOSAL FACILITIES (TSDFs).

NON-SEDIMENT POLLUTION CONTROLS

33. THE CONTRACTOR IS RESPONSIBLE FOR ALL NON-SEDIMENT POLLUTION CONTROLS AT THIS SITE WHICH PROHIBIT NON-SEDIMENT POLLUTANTS FROM DISCHARGING INTO RUNOFF OR INTO THE GROUND AND MUST DISPOSE OF THEM IN A PROPER MANNER IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATORY AUTHORITIES. IT IS PROHIBITED TO BURN, BURY OR POUR OUT ONTO THE GROUND, DITCH OR INTO A STORM SEWER, SOLVENTS, PAINTS, STAINS, GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRAULIC FLUID, ANTIFREEZE, CEMENT, CURING COMPOUND AND OTHER SUCH TOXIC OR HAZARDOUS WASTE. STORAGE TANKS SHALL BE LOCATED IN DIKED AREAS AWAY FROM DRAINAGE CHANNELS AND THE DIKED AREA SHOULD HOLD A VOLUME OF AT LEAST ONE (1) TIMES THE VOLUME OF THE LARGEST TRUCK OR TANK. SHOULD THE CONTRACTOR FAIL TO PREVENT NON-SEDIMENT POLLUTION AT THIS SITE, HE MUST IMMEDIATELY REMEDIATE THE SITE TO LOCAL, STATE AND FEDERAL REGULATORY AUTHORITIES APPROVAL AT HIS OWN EXPENSE.
34. OPEN BURNING SHOULD BE DONE IN ACCORDANCE WITH (OAC 3745-19). IF OPEN BURNING IS PERMITTED IT SHOULD BE DONE IN RESTRICTED AREAS FOR BARBECUES, HEATING, AND CERTAIN OCCUPATIONAL PURPOSES. OPEN BURNING IN AN UNRESTRICTED AREA IS LIMITED TO SCRAP LUMBER, WOODEN FENCE POSTS, AGRICULTURAL, LAND-CLEARING, OR LANDSCAPE WASTES.
35. CONTRACTOR MAY NOT USE OIL AS A DUST SUPPRESSANT.

CONSTRUCTION FILL, DEMOLITION DEBRIS & CHEMICAL COMPOUNDS

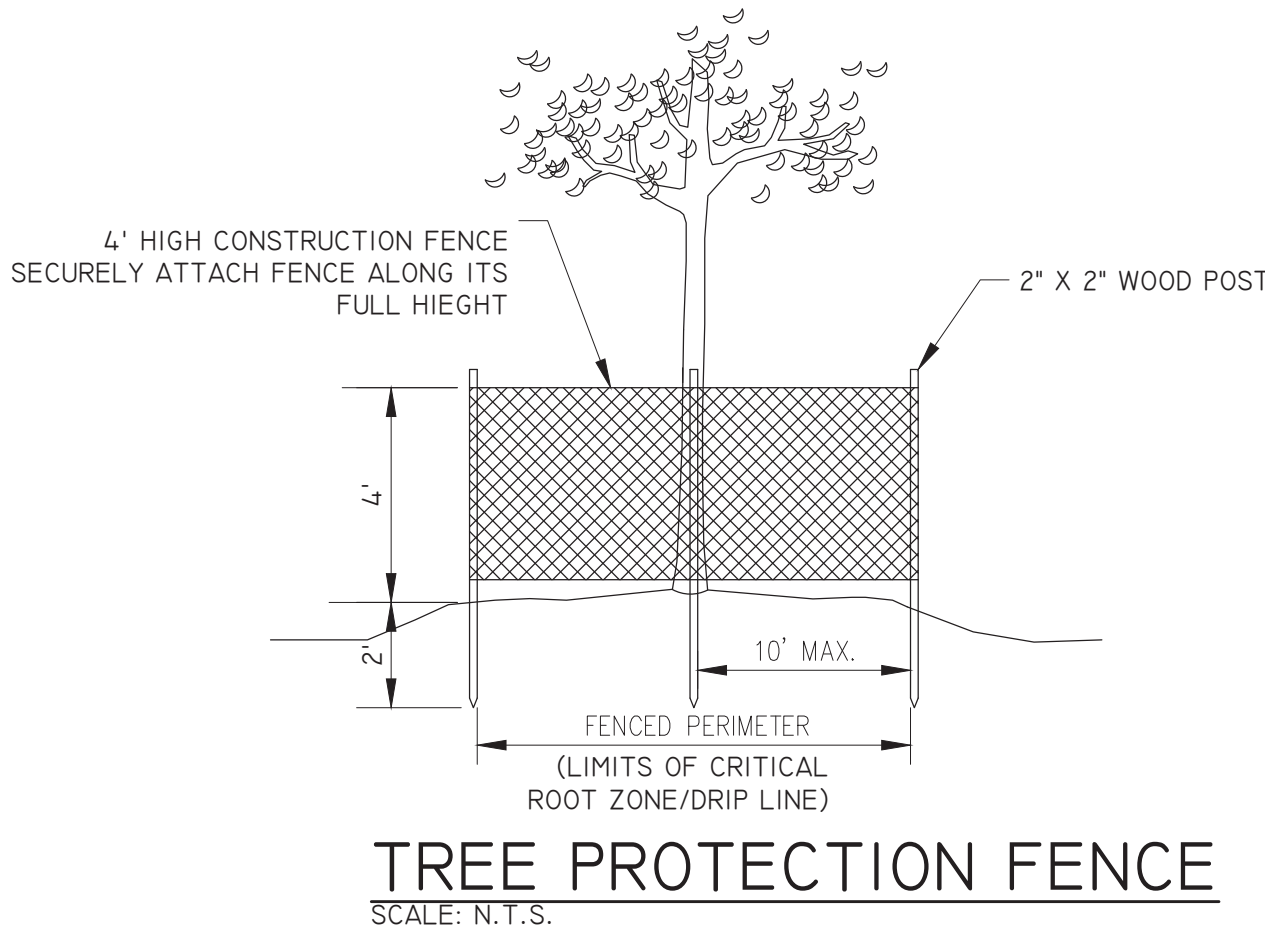
36. THE CONTRACTOR IS RESPONSIBLE TO PREVENT DISCHARGE OF WASTE, CONCRETE, AND/OR WASH WATER FROM CONCRETE TRUCKS FROM MIXING WITH RUN-OFF AND LEAVING THE SITE. THE CONTRACTOR SHALL SIZE THE CONCRETE WASHOUT PIT TO HANDLE HIS PROPOSED CONCRETE OPERATIONS AND SHALL MAINTAIN THE PIT SUCH THAT ALL CONCRETE TRUCKS CAN USE IT TO WASHOUT ALL CURED RESIDUE FROM THE PIT. SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS. A GENERAL LOCATION FOR THE WASHOUT PIT IS SHOWN ON THE PLAN AND MAY BE MOVED TO BETTER FIT THE CONTRACTOR'S METHODS.
37. ALL CONSTRUCTION AND DEMOLITION DEBRIS (C&D) WASTE WILL BE DISPOSED OF IN AN OHIO EPA APPROVED C&D LANDFILL AS REQUIRED BY OHIO REVISED CODE(ORC)3714. MATERIALS WHICH CONTAIN ASBESTOS MUST COMPLY WITH AIR POLLUTION REGULATIONS (SEE OHIO ADMINISTRATIVE CODE (OAC) 3745-20).

INSPECTIONS

38. THE STORM WATER POLLUTION PREVENTION PLAN AND DETAILS SHALL BE AVAILABLE FOR INSPECTION ON SITE DURING WORKING HOURS.
39. THE OWNER OF RECORD MUST PROVIDE REGULAR INSPECTION AND MAINTENANCE FOR ALL EROSION SEDIMENT CONTROL PRACTICES. OTHER EROSION AND SEDIMENT CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS AND MAY BE REQUIRED AT THE DISCRETION OF THE CITY AND/OR COUNTY SOIL AND WATER CONSERVATION DISTRICT OR ITS REPRESENTATIVES.
40. PERMANENT RECORDS OF ALL MAINTENANCE AND INSPECTIONS MUST BE KEPT THROUGHOUT THE CONSTRUCTION PERIOD. INSPECTION MUST BE MADE A MINIMUM OF ONCE EVERY SEVEN (7) DAYS AND IMMEDIATELY AFTER STORM EVENTS GREATER THAN 0.5 INCHES OF RAIN WITHIN A 24-HOUR PERIOD. THE NAME OF OWNER'S DESIGNATED INSPECTOR, MAJOR OBSERVATIONS, DATE OF INSPECTIONS AND CORRECTIVE MEASURES TAKEN MUST BE NOTED ON ALL INSPECTIONS. RECORDS SHALL BE KEPT FOR 3 YEARS AFTER TERMINATION OF CONSTRUCTION ACTIVITIES.
41. IF THE SITE WILL BE DORMANT FOR A LONG PERIOD, IT'S STABILIZED, AND LESS FREQUENT INSPECTIONS ARE DESIRED, A WAIVER REQUEST MAY BE SUBMITTED TO OEPA FOR A REDUCTION TO MONTHLY INSPECTION.
42. ALL INSPECTIONS SHALL BE CONDUCTED BY A QUALIFIED INSPECTION PERSONNEL.
43. AN INSPECTION CHECKLIST SHALL BE COMPLETED AND SIGNED BY THE INSPECTOR AFTER EVERY INSPECTION.
44. FOR BMP'S THAT HAVE BEEN DETERMINED NEED REPAIR OR MAINTENANCE, NON-SEDIMENT POND BMP'S SHALL BE REPAIRED WITHIN 3 DAYS OF INSPECTION AND SEDIMENT PONDS SHALL BE REPAIRED OR CLEANED OUT WITHIN 10 DAYS OF THE INSPECTION.
45. FOR BMP'S NOT MEETING THE INTENDED FUNCTION, THE BMP SHALL BE REPLACED WITH A NEW BMP AND INSTALLED WITHIN 10 DAYS OF INSPECTION.
46. FOR MISSING BMP'S REQUIRED FOR INSTALLATION BY THE SWPPP, THE BMP SHALL BE INSTALLED WITHIN 10 DAYS OF THE INSPECTION.

TEMPORARY SEEDING

SEEDING DATES	SPECIES	LB./1000 FT2	LB./ACRE
MARCH 1 TO AUGUST 15	OATS	3	128 (4 BUSH/EL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYEGRASS	1	40
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	ANNUAL RYEGRASS	1.25	55
	PERENNIAL RYEGRASS	3.25	142
	CREeping RED FESCUE	0.4	17
	KENTUCKY BLUEGRASS	0.4	17
AUGUST 16 TO NOVEMBER	OATS	3	128 (3 BUSH/EL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	RYE	3	112 (2 BUSH/EL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	WHEAT	3	120 (2 BUSH/EL)
	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	PERENNIAL RYE	1	40
NOVEMBER 1 TO FEB. 29	TALL FESCUE	1	40
	ANNUAL RYEGRASS	1	40
	ANNUAL RYEGRASS	1.25	40
	PERENNIAL RYEGRASS	3.25	40
	CREeping RED FESCUE	0.4	40
	KENTUCKY BLUEGRASS	0.4	40
	USE MULCH OR DORMANT SEEDING		

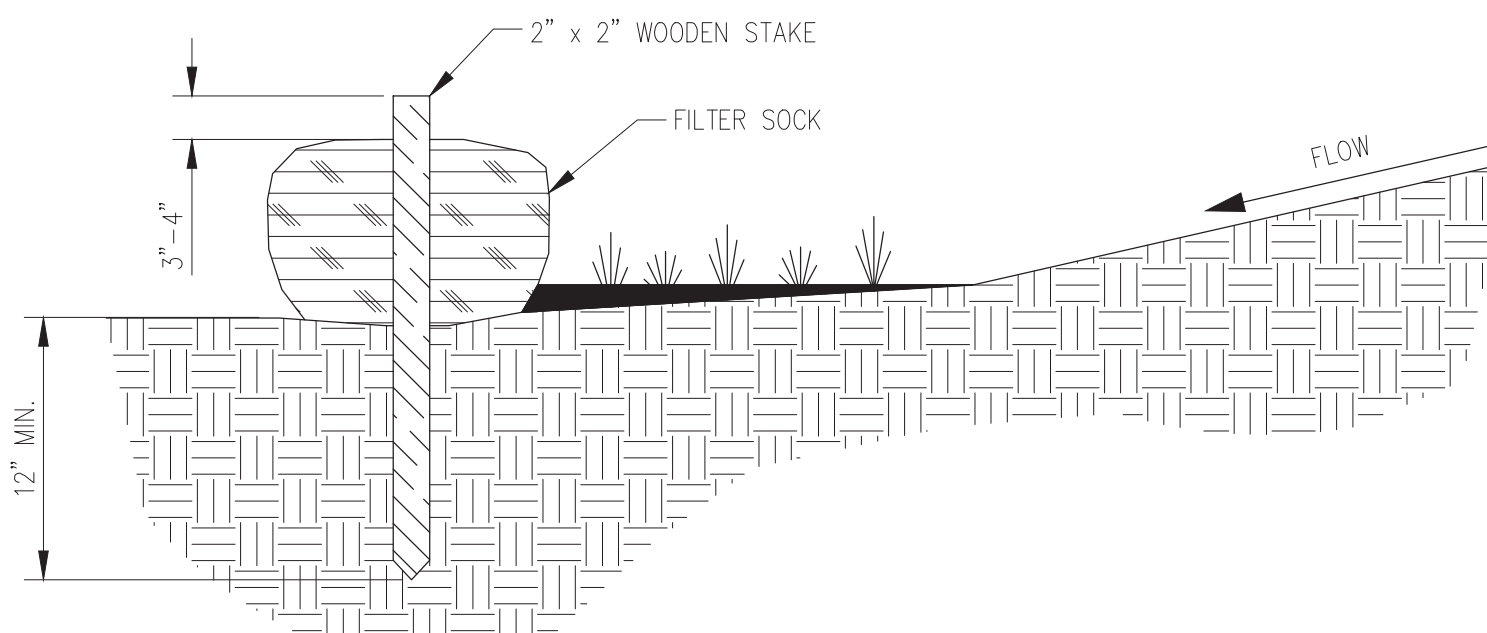


PREPARED FOR:
DMK DEVELOPMENT GROUP
9300 SHELBYVILLE RD. SUITE 800
LOUISVILLE, KY 40222

TRIPLE CREEK RETIREMENT COMMUNITY BUILDING ADDITION
11230 PIPPIN ROAD
COLERAIN, OH 45231

SWPP NOTES AND DETAILS

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NOTES:

1. MATERIALS – COMPOST USED FOR FILTER SOCKS SHALL BE WEED, PATHOGEN AND INSECT FREE AND FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. THEY SHALL BE DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER AND CONSIST OF A PARTICLES RANGING FROM 3/8" TO 2".

2. FILTER SOCKS SHALL BE 3 OR 5 MIL CONTINUOUS, TUBULAR, HDPE 3/8" KNITTED MESH NETTING MATERIAL, FILLED WITH COMPOST PASSING ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS.

INSTALLATION:

3. FILTER SOCKS WILL BE PLACED ON A LEVEL LINE ACROSS SLOPES, GENERALLY PARALLEL TO THE BASE OF THE SLOPE OR OTHER AFFECTED AREA. ON SLOPES APPROACHING 2:1, ADDITIONAL SOCKS SHALL BE PROVIDED AT THE TOP AND AS NEEDED MID-SLOPE.

4. FILTER SOCKS ARE INTENDED TO BE LEFT AS A PERMANENT FILTER OR PART OF THE NATURAL LANDSCAPE, SHALL BE SEEDED AT THE TIME OF INSTALLATION FOR ESTABLISHMENT OF PERMANENT VEGETATION.

5. FILTER SOCKS ARE NOT TO BE USED IN CONCENTRATED FLOW SITUATIONS OR IN RUNOFF CHANNELS.

MAINTENANCE:

6. ROUTINELY INSPECT FILTER SOCKS AFTER EACH SIGNIFICANT RAIN, MAINTAINING FILTER SOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES.

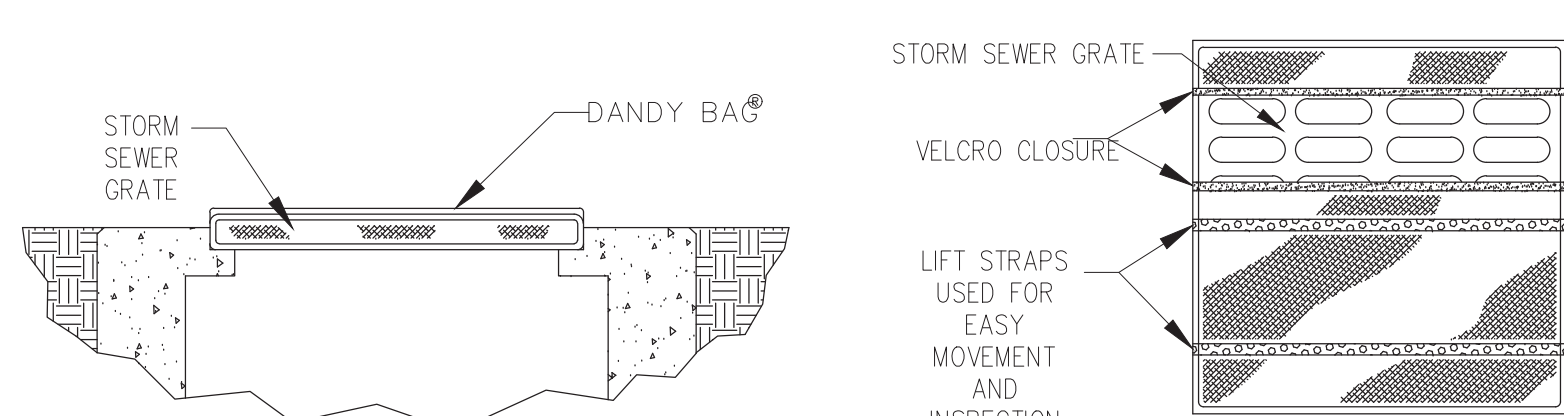
7. REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTER SOCKS WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE PRACTICE.

8. WHERE THE FILTER SOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.

9. REMOVAL – FILTER SOCKS WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED ON SUCH AS TO FACILITATE AND NOT OBSTRUCT SEEDINGS.

FILTER SOCK

SCALE: N.T.S.



SECTION VIEW

PLAN VIEW

DANDY BAG® SPECIFICATIONS

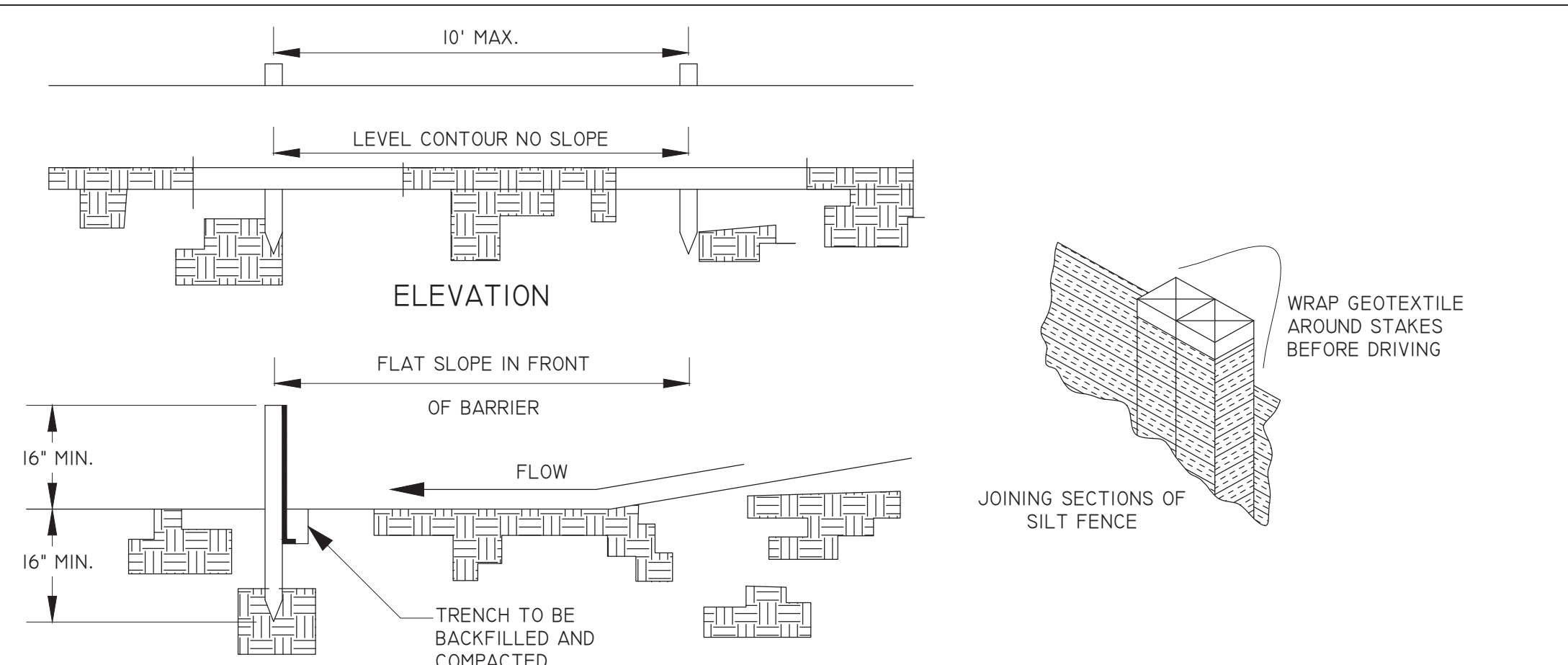
NOTE: THE DANDY BAG® WILL BE MANUFACTURED IN THE U.S.A.FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	KN (LBS)	1.82 (365) X 0.89 (200)
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 X 10
PUNCTURE STRENGTH	ASTM D 4833	KN (LBS)	0.40 (90)
MULLEN BURST STRENGTH	ASTM D 3786	KPA (PSI)	3097 (450)
TRAPEZOID TEAR STRENGTH	ASTM D 4533	KN (LBS)	0.51 (115) X 0.33 (75)
UV RESISTENCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	MM (U.S. STD. SIEVE)	0.425 (40)
FLOW RATE	ASTM D 4497	L/MIN./M ² (GAL./MIN./FT ²)	590.7 (145)
PERMITTIVITY	ASTM D 4491	SEC -1	2.1

*NOTE: ALL DANDY BAGS ® CAN BE ORDERED WITH OUR OPTIONAL OIL ABSORBENT PILLOWS

DANDY BAG® INLET PROTECTION

SCALE: N.T.S.



ELEVATION

SECTION

WRAP GEOTEXTILE AROUND STAKES BEFORE DRIVING

JOINING SECTIONS OF SILT FENCE

TRENCH TO BE BACKFILLED AND COMPACTED

FLOW

FLAT SLOPE IN FRONT OF BARRIER

10' MAX.

16" MIN.

16" MIN.

LEVEL CONTOUR NO SLOPE

1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE LAND DISTURBANCE BEGINS.

2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS THAT MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.

3. ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.

4. SILT FENCE SHALL BE PLACED ON THE FLATTEST AREA AVAILABLE.

5. WHERE POSSIBLE, VEGETATION SHALL BE PRESERVED FOR 5 FEET (OR AS MUCH AS POSSIBLE) UPSLOPE FROM THE SILT FENCE, IF VEGETATION IS REMOVED, IT SHALL BE REESTABLISHED WITHIN 7 DAYS FROM THE INSTALLATION OF THE SILT FENCE.

6. THE HEIGHT OF THE SILT FENCE SHALL BE A MINIMUM OF 16 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

7. THE SILT FENCE SHALL BE PLACED IN AN EXCAVATED OR SLICED TRENCH CUT A MINIMUM OF 6 INCHES DEEP. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.

8. THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWNSLOPE SIDE OF THE GEOTEXTILE. A MINIMUM OF 8 INCHES OF GEOTEXTILE MUST BE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6-INCH DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED ON BOTH SIDES OF THE FABRIC.

9. SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-IN. OVERLAP PRIOR TO DRIVING INTO THE GROUND, (SEE DETAILS).

10. MAINTENANCE--SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER THE FABRIC OR AROUND THE FENCE ENDS, OR IN ANY OTHER WAY ALLOWS A CONCENTRATED FLOW DISCHARGE, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED; 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.

SEDIMENT DEPOSITS SHALL BE ROUTINELY REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE. SILT FENCES SHALL BE INSPECTED AFTER EACH RAINFALL AND AT LEAST DAILY DURING A PROLONGED RAINFALL. THE LOCATION OF EXISTING SILT FENCE SHALL BE REVIEWED DAILY TO ENSURE ITS PROPER LOCATION AND EFFECTIVENESS. IF DAMAGED, THE SILT FENCE SHALL BE REPAIRED IMMEDIATELY.

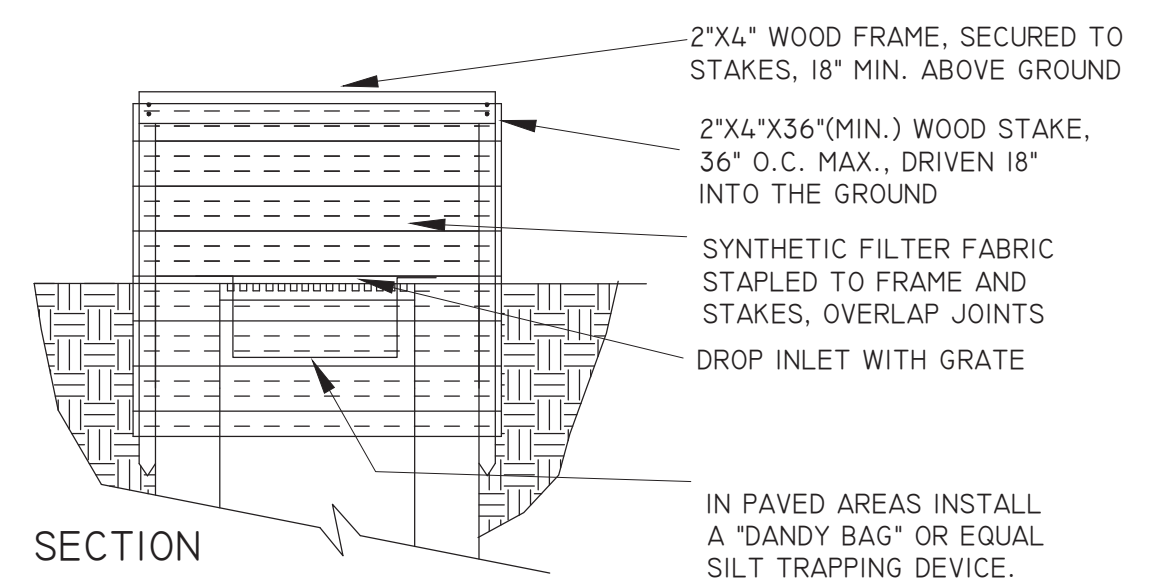
CRITERIA FOR SILT FENCE MATERIALS

1. FENCE POST - THE LENGTH SHALL BE A MINIMUM OF 32 INCHES. WOOD POSTS WILL BE 2-BY-2-IN. NOMINAL DIMENSIONED HARDWOOD OF SOUND QUALITY. THEY SHALL BE FREE OF KNOTS, SPLITS AND OTHER VISIBLE IMPERFECTIONS, THAT WILL WEAKEN THE POSTS. THE MAXIMUM SPACING BETWEEN POSTS SHALL BE 10 FT. POSTS SHALL BE DRIVEN A MINIMUM 16 INCHES INTO THE GROUND, WHERE POSSIBLE, IF NOT POSSIBLE, THE POSTS SHALL BE ADEQUATELY SECURED TO PREVENT OVERTURNING OF THE FENCE DUE TO SEDIMENT/WATER LOADING.

2. SILT FENCE FABRIC - SEE CHART BELOW.

TABLE 6.3.2 MINIMUM CRITERIA FOR SILT FENCE FABRIC (ODOT, 2002)

FABRIC PROPERTIES	VALUES	TEST METHOD
MINIMUM TENSILE STRENGTH	120 LBS. (535 N)	ASTM D 4632
MAXIMUM ELONGATION AT 60 LBS	50%	ASTM D 4632
MINIMUM PUNCTURE STRENGTH	50 LBS (220 N)	ASTM D 4833
MINIMUM TEAR STRENGTH	40 LBS (180N)	ASTM D 4533
APPARENT OPENING SIZE	≤0.84 MM	ASTM D 4751
MINIMUM PERMITTIVITY	1X10-2 SEC.-1	ASTM D 4491
UV EXPOSURE STRENGTH RETENTION	70%	ASTM G 4355



SECTION

2'X4" WOOD FRAME, SECURED TO STAKES, 18" MIN. ABOVE GROUND

2'X4"X36"(MIN.) WOOD STAKE, 36" O.C. MAX., DRIVEN 18" INTO THE GROUND

SYNTHETIC FILTER FABRIC STAPLED TO FRAME AND STAKES, OVERLAP JOINTS

DROP INLET WITH GRATE

IN PAVED AREAS INSTALL A "DANDY BAG" OR EQUAL SILT TRAPPING DEVICE.

1. INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE INLET BECOMES FUNCTIONAL.

2. THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES

3. THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-INCH BY 4-INCH CONSTRUCTION GRADE LUMBER. THE 2-INCH BY 4-INCH POSTS SHALL BE DRIVEN ONE (1) FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-INCH BY 4-INCH FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WILL POSE A SAFETY HAZARD TO TRAFFIC.

4. WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.

5. BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6-INCH LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.

6. A COMPACTED EARTH DIKE OR CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION. THE TOP OF THE DIKE SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.

GEOTEXTILE FABRIC SPECIFICATIONS

	WOVEN	NON-WOVEN
FILTERING EFFICIENCY	85%	85%
MINIMUM TENSILE STRENGTH @ 20% ELONGATION		
STANDARD STRENGTH	30 LBS./LIN. INCH	50 LBS./LIN. INCH
EXTRA STRENGTH	50 LBS./LIN. INCH	70 LBS./LIN. INCH
ULTRAVIOLET LIGHT RESISTANCE	70%	85%
(INHIBITORS AND STABILIZERS TO ENSURE SIX MONTH MINIMUM LIFE AT TEMPERATURES OF 0°-120° F)		
SLURRY FLOW RATE	0.3 GAL./MIN./SQ.FT.	4.5 GAL./MIN./SQ. FT.
WATER FLOW RATE	15 GAL./MIN./SQ. FT.	220 GAL./MIN./SQ. FT.

THE FABRIC SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM THE TOP OF THE FRAME TO 8 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ONE SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.

GEOTEXTILE INLET PROTECTION

SCALE: N.T.S.

DESCRIPTION

PRELIMINARY SUBMITTAL

FINAL DEVELOPMENT PLAN SUBMITTAL

BY

JAG

JAG

DATE

08-2018

10-09-2018

NO.

23225 MERCANTILE ROAD

BEACHWOOD, OH 44122

TEL: 216.378.1490

FAX: 216.378.1497

PROJECT DATE:

APR 2017

PROJECT NO.:

T1730018

DRAWN BY:

JAG

CHECKED BY:

MTB

TECHNICAL SKILL:
CREATIVE SPIRIT:

Mannik Smith GROUP

www.MannikSmithGroup.com

PREPARED FOR:

DMK DEVELOPMENT GROUP

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LOUISVILLE, KY 40222

TRIPLE CREEK RETIREMENT
COMMUNITY BUILDING ADDITION

11230 PIPPIN ROAD
COLERAIN, OH 45231

SWPP NOTES
AND DETAILS

7

10

GENERAL CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH LOCAL MUNICIPALITY AND COUNTY CODES AND STANDARDS. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.

2. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICT BETWEEN DRAWINGS AND THE SPECIFICATIONS SHALL BE CONFIRMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.

3. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING. IF CONDITIONS ENCOUNTERED ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

4. SHOULD ANY UNCHARTED, OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY BEFORE PROCEEDING FURTHER WITH THE WORK IN THIS AREA.

5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER SHOULD ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS ARISE PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR THE PROJECT AND NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.

7. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER, LOCAL MUNICIPALITY AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN PROVIDED.

8. CONTRACTOR TO COORDINATE TEMPORARY UTILITY OUTAGES WITH APPLICABLE UTILITY COMPANY AND CITY AND NOTIFY NEIGHBORING EFFECTED OWNERS NO LESS THAN 72 HOURS PRIOR TO PLANNED OUTAGE. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL THE WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.

9. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT THE POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.

10. THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER, LOCAL MUNICIPALITY, AND STATE.

11. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.

12. THE OWNER AT ITS DISCRETION RESERVES THE RIGHT TO MODIFY THE DETAILS AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THAT INDICATED ON THE APPROVED PLAN, PROVIDED THAT THE ALTERNATE STANDARD COMPLIES WITH LOCAL CODE AND/OR UTILITY COMPANY REQUIREMENTS AND THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.

13. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND LOCAL UTILITY COMPANIES AS REQUIRED FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 15 WORKING DAYS FOR REVIEW.

14. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT OHIO UTILITY PROTECTION SERVICE AT 1-800-362-2764 AT LEAST 72 HOURS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.

15. ANY DEFECTS DISCOVERED IN NEW CONSTRUCTION, WORKMANSHIP, EQUIPMENT, OR MATERIALS SHALL BE REPAIRED, OR CORRECTED BY APPROVED METHODS AS DIRECTED BY AND AT NO ADDITIONAL COST TO THE OWNER.

16. ALL DISTURBANCE INCURRED TO CITY OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE CITY OF THE LOCAL AND/OR OHIO DOT.

17. THE LIMITS OF CLEARING AND GRADING SHALL BE FIELD STAKED 48 HOURS (2 WORKING DAYS) PRIOR TO THE PRE CONSTRUCTION MEETING. AREAS BEYOND THE LIMITS OF CLEARING AND GRADING SHALL NOT BE DISTURBED INCLUDING THE STOCKPILE OF ANY MATERIALS OR CONSTRUCTION TRAFFIC.

18. WHEREVER UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED THAT ARE NOT INDICATED ON THE PLANS, THE WORK SHALL BE DISCONTINUED UNTIL THE PROJECT ENGINEER AND OWNER APPROVE THE METHOD AND MATERIALS TO BE INCORPORATED INTO THE WORK.

19. ALL ROAD SURFACES, EASEMENTS, OR RIGHT-OF-WAY DISTURBED BY THE CONSTRUCTION OF ANY PART OF THESE IMPROVEMENTS ARE TO BE RESTORED ACCORDING TO THE CITY REQUIREMENTS.

20. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OR ITS REPRESENTATIVE IF SUSPECTED HAZARDOUS MATERIAL OR ANY OTHER MATERIAL THAT MAY CREATE A HEALTH RISK IS DISCOVERED ON SITE.

21. ANY TRAFFIC CONTROL REQUESTED OR REQUIRED BY THE CONTRACTOR WILL BE PROVIDED BY THE CONTRACTOR AT NO COST TO THE OWNER.

22. IF MUD, SOIL, OR OTHER DEBRIS IS DEPOSITED ON ADJACENT STREETS, ROADS, OR OTHER PROPERTY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH AT THE END OF EACH WORK DAY, OR AS REQUIRED DURING THE WORK DAY.

23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PLANT TICKETS FOR ALL MATERIALS DELIVERED TO THE SITE. PLANT TICKETS MUST SHOW NET QUANTITY OF DELIVERED MATERIAL. MATERIAL DELIVERED OR PLACED WITHOUT PLANT TICKETS SHALL BE REMOVED AND PROPERLY DISPOSED AT THE EXPENSE OF THE CONTRACTOR.

24. THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT, THE EXISTING RIGHT-OF-WAYS CONSTRUCTION AND PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PROPERTY WITHOUT THE WRITTEN CONSENT OF THE OWNER.

25. WHERE CONFLICT ARISES BETWEEN ALL SPECIFICATIONS (BOOK OR PLAN BASED) INCLUDING CITY REQUIREMENTS, THE MORE STRINGENT SPECIFICATION SHALL PREVAIL.

26. FINAL CLEANUP: THE CONTRACTOR SHALL CLEAN-UP ALL DEBRIS AND MATERIALS RESULTING FROM CONSTRUCTION AND SHALL RESTORE ALL SURFACES, STRUCTURES, DITCHES AND PROPERTY TO ITS ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER AND ALL APPLICABLE GOVERNMENTAL AND REGULATORY AGENCIES.
- OHIO EPA NOTES:

1. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.

2. A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT, CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY SEWER.
3. AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND SANITARY SEWER AT ALL CROSSINGS.
4. A TEN FOOT MINIMUM HORIZONTAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND STORM SEWER.
5. AN 18 INCH MINIMUM VERTICAL SEPARATION (OUT-TO-OUT CLEAR) WILL BE MAINTAINED BETWEEN THE WATER LINE AND STORM SEWER AT ALL CROSSINGS. BOOSTER PUMPS ARE NOT PERMITTED ON SERVICE CONNECTIONS.

DEMOLITION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL IN A LAWFUL MANNER.
3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER AND OWNER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
4. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING, AND/OR ABATEMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY LISTED ON THE PLANS.
5. ALL DEMOLISHED MATERIALS SHALL BE TAKEN FROM THE SITE IMMEDIATELY (UNLESS OTHERWISE NOTED) AND DISPOSED OFF-SITE IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND ORDINANCES. NO BURNING OF ANY MATERIALS WILL BE ALLOWED ON OR OFF SITE. NO CLEARED OR GRUBBED MATERIAL SHALL BE BURIED OR LEFT ON SITE.
6. MATERIALS NOTED ON THE PLANS TO BE SALVAGED TO OWNER SHALL BE STORED IN AREAS INDICATED ON THE PLANS, OR TO THE OWNERS SATISFACTION.
7. USE SUITABLE METHODS TO LIMIT DUST AND DIRT TO ADJACENT STRUCTURES OR PROPERTY. CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO EXISTING CONDITIONS PRIOR TO THE START OF THE DEMOLITION WORK.
8. THE CONTRACTOR SHALL PROTECT TREES, LANDSCAPING, SITE IMPROVEMENTS, AND OTHER ITEMS NOT SCHEDULED FOR CLEARING, OR THAT MIGHT BE DAMAGED BY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING ANY ITEMS THAT ARE DAMAGED.
9. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY EROSION, POLLUTION, AND DUST CONTROL MEASURES THROUGHOUT THE ENTIRE CONSTRUCTION PROJECT. REFERENCE THE SWPPP PLAN, NOTES AND DETAILS.
10. THE BUILDING PAD AREA IS DEFINED AS THE AREA TWENTY (20) FEET OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT, INCLUDING ATTACHED WALKWAYS, CANOPIES, SIDEWALKS, LOADING DOCKS, UTILITY PADS, AND ANY OTHER SUCH APPURTENANCES.
11. ANY AND ALL DAMAGE TO EXISTING PAVEMENT WITHIN THE LAYDOWN AREA SHALL BE REPAIRED.
12. ALL UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION SHALL REMAIN INTACT. THE CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE TO EXISTING UTILITIES NOT MARKED FOR REMOVAL OR RELOCATION AT THEIR SOLE EXPENSE.
13. CONTRACTOR SHALL PERFORM ALL CLEARING, GRUBBING, REMOVAL OF TREES, STUMPS, VEGETATION, AND DEBRIS NECESSARY TO PERFORM THE WORK INDICATED HEREIN. THAT CONTRACTOR SHALL LIMIT LAND DISTURBANCE TO ONLY THAT REQUIRED TO COMPLETE THE PROPOSED IMPROVEMENTS. NO CLEARED OR GRUBBED MATERIAL SHALL BE BURIED OR LEFT ON SITE.

LAYOUT AND PAVING NOTES

1. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE UNLESS OTHERWISE NOTED.
2. ALL PAVING MATERIALS FURNISHED AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH ODOT CONSTRUCTION AND MATERIALS SPECIFICATIONS UNLESS OTHERWISE SPECIFIED.
3. A MINIMUM CLEARANCE OF 2 FEET SHALL BE MAINTAINED FROM THE FACE OF CURB AND ANY PART OF A LIGHT POLE OR TRAFFIC SIGN.
4. CONTRACTOR SHALL SAW-CUT IN A NEAT, STRAIGHT LINE FOR SMOOTH TRANSITIONS AT TIE-INS TO EXISTING EDGES OF PAVEMENT AND AT COLD JOINTS OF RECENTLY PAVED PAVEMENT.
5. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
6. CONTRACTOR SHALL SAWCUT TIE-INS AT EXISTING CURBS TO ENSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAWCUT AND TRANSITION TO EXISTING PAVEMENT TO ENSURE POSITIVE DRAINAGE.
7. ALL CONCRETE SHALL BE 6% (+/-1½%) AIR ENTRAINED, 3/4"AGGREGATE AND CONFORM TO A 28 DAY STRENGTH OF 4,000 PSI MINIMUM AND SHALL HAVE A MAXIMUM W/C OF 0.50. ALL CONCRETE SHALL BE MADE WITH TYPE I OR TYPE II CEMENT UNLESS OTHERWISE SPECIFIED.
8. ALL SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH. VERTICAL FACES SHALL BE FORMED.
9. BUILDING FOOTPRINTS ARE SHOWN FOR INTENT ONLY. SEE STRUCTURAL AND ARCHITECTURAL PLANS FOR BUILDING FOUNDATION AND WALL DIMENSIONS.
10. CONTRACTOR TO COORDINATE TRANSFORMER AND GENERATOR PAD DIMENSIONS AND SPECIFICATIONS WITH MEP PLANS AND ELECTRIC PROVIDER PRIOR TO CONSTRUCTION.
11. SEE ARCHITECTURAL PLANS FOR FROST SLAB DETAILS AND SPECIFICATIONS.
12. CONTRACTOR TO INSTALL ALL UTILITY PIPING, SEWERS, CONDUIT PRIOR TO PAVING OPERATIONS. CONTRACTOR TO COORDINATE ALL SITE UTILITIES WITH UTILITY PLAN, AND MEP PLANS.

GENERAL GRADING & DRAINAGE NOTES:

1. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
2. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
3. UNDERDRAINS MAY BE ADDED, IF DETERMINED NECESSARY BY THE ENGINEER OR CONSTRUCTION MANAGER, AFTER SUBGRADE IS ROUGH GRADED.
4. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
5. THE CONTRACTOR SHALL COMPACT FILL IN 8" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.

6. THE CONTRACTOR SHALL BE ADVISED THAT ALL EXCAVATION IS CONSIDERED UNCLASSIFIED AND THAT IT SHALL BE RESPONSIBLE FOR ALL MEANS, METHODS, AND MATERIALS OF CONSTRUCTION TO COMPLETE CONSTRUCTION AS DESIGNED. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OFF-SITE DISPOSAL OF ANY AND ALL EXCESS OR UNSUITABLE MATERIAL UNABLE TO BE PLACED ON SITE AND THE IMPORTATION OF ANY BORROW MATERIAL NECESSARY TO COMPLETE THE JOB.
7. CLEAN HARD FILL MATERIAL SHALL MEET THE REQUIREMENTS OF OAC 3745-4000-05 AND ALL REQUIREMENTS OF THE OHIO EPA. ANY PERSON USING CLEAN HARD FILL ON A SITE OTHER THAN THE SITE OF GENERATION MUST PROVIDE A WRITTEN NOTICE OF INTENT TO FILL TO THE LICENSING AUTHORITY(IES) WHERE THE CLEAN HARD FILL IS TO BE PLACED AT LEAST SEVEN DAYS PRIOR TO PLACING.
8. SITE GRADING SHALL BE PERFORMED TO PROVIDE POSITIVE DRAINAGE TO CATCH BASINS AND TO PRECLUDE THE PONDING OF WATER ON SITE.
9. VERIFY REQUIRED SPOT ELEVATIONS/GRADING IN THE VICINITY OF THE BUILDINGS WITH THE ARCHITECTURAL PLANS.
10. SPOT ELEVATIONS SHOWN DEPICT THE PROPOSED PAVEMENT OR GROUND SURFACE OR PAVEMENT ELEVATION AT FACE OF CURB, UNLESS OTHERWISE NOTED. TOP OF ALL CONCRETE CURBING IS 6-INCHES ABOVE SPOT ELEVATIONS NOTED.
11. IT IS THE CONTRACTORS OBLIGATION AND RESPONSIBILITY TO CONFIRM/CONCUR WITH THE EXISTING GRADES SHOWN HEREIN. THE CONTRACTOR MUST CONFIRM ALL EXISTING GRADES PRIOR TO ANY/ALL EXCAVATION.
12. THE CONTRACTOR MUST DOCUMENT EXISTING GRADE DISPUTES BY PROVISION OF A TOPOGRAPHIC SURVEY BY A STATE OF OHIO REGISTERED PROFESSIONAL SURVEYOR, PRIOR TO ANY EARTH DISTURBING ACTIVITIES. IN THE ABSENCE OF THE PROVISION OF TOPOGRAPHIC SURVEY BY THE CONTRACTOR, THE GRADES SHOWN HEREON WILL BE THE "TOPOGRAPHY OF RECORD" FOR ANY AND ALL SOIL VOLUME DISPUTES.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL IMPORT/EXPORT NECESSARY TO ACHIEVE THE PROPOSED GRADES.
14. ALL PROPOSED SLOPES 3:1 OR STEEPER AND ALL EARTHEN DRAINAGE WAYS SHALL RECEIVE JUTE OR EXCELSIOR MATTING AS PER ODOT 671 TYPE F.
15. ALL EXCAVATION UNDER OR NEAR EXISTING OR FUTURE PAVEMENT (INCLUDING SIDEWALKS), SUBJECT TO SETTLEMENT, WILL BE BACK FILLED WITH PREMIUM BACKFILL AS DEFINED HEREIN. AT QUESTIONABLE AREAS THE DECISION OF THE OF THE ENGINEER, OR HIS REPRESENTATIVE, WILL PREVAIL.
16. PAVEMENT EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH ITEM 203.12 OF OHIO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. THE CONTRACTOR MAY BE REQUIRED TO MAKE COMPACTION TESTS. TESTS SHALL BE TAKEN BY A TESTING COMPANY APPROVED BY THE ENGINEER. THE COST OF THESE TESTS SHALL BE PAID BY THE CONTRACTOR. "PROOF" ROLLING WILL BE REQUIRED PRIOR TO PAWING AND SHALL BE CONDUCTED PRIOR TO PLACEMENT OF AGGREGATE BASE AND PERFORMED WITH THE OWNER'S INSPECTOR PRESENT AND PAID FOR BY THE CONTRACTOR.

GENERAL UTILITY NOTES:

1. PROPER COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, LOCAL MUNICIPALITY, AND LOCAL COUNTY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT OHIO UTILITY PROTECTION SERVICE AT 1-800-362-5191 AT LEAST 72 HOURS BEFORE START OF WORK AND VERIFY ALL EXISTING UTILITY LOCATIONS.
3. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE CONSTRUCTION MANAGER IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
4. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN AND SERVICE RELOCATIONS. THE CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL SECURE ALL PERMITS AND PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION, AS NECESSARY.
5. RELOCATION OF ANY UTILITY COMPANY FACILITIES TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY AND LOCAL MUNICIPALITY.
6. THE CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER, UTILITY COMPANIES, AND GOVERNING AUTHORITIES. THE CONTRACTOR SHALL INSTALL, AS NECESSARY, TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE, AND CABLE SERVICES TO SERVICE BUILDING(S) TO REMAIN OPEN.
7. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT AND REPLACED IN ACCORDANCE WITH THE PAVEMENT REPAIR REQUIREMENTS OF LOCAL MUNICIPALITY AND THE DETAILS CONTAINED HEREIN.
8. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
9. SANITARY LATERAL AND STORM SEWERS SHALL MAINTAIN 10-FOOT MIN. HORIZONTAL AND 1.5-FOOT MIN. VERTICAL SEPARATION DISTANCE FROM WATER LINES. A 1-FOOT MIN. CLEARANCE SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UTILITIES INCLUDING GAS, ELECTRICAL AND TELEPHONE. ADDITIONAL PROTECTION MEASURES INCLUDING, BUT NOT LIMITED TO, CONCRETE PIPE ENCASEMENT MAY BE REQUIRED IF INDICATED CLEARANCES ARE NOT MET.
10. THE CONTRACTOR SHALL COMPACT PIPE BACKFILL IN MAX. 8" LOOSE LIFTS TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557, ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION.
11. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS.
12. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
13. UTILITY CONDUIT PIPE SHALL BE SCHEDULE 80 PVC AND/OR AS REQUIRED BY THE LOCAL UTILITY COMPANY. SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN SERVICES. MINIMUM COVER SHALL BE 36" ON ELECTRIC CONDUITS AND 24" ON TELEPHONE AND CABLE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HAND HOLES AS REQUIRED.
14. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY, LOCAL MUNICIPALITY, AND/OR LOCAL COUNTY REQUIREMENTS.
15. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND COVERS, CATCH BASIN GRATES, VALVE BOXES, ETC., TO BE RAISED OR LOWERED, TO PROPOSED FINISHED GRADE, FLUSH WITH THE ADJACENT GRADE.
16. THE CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS,

- SIDEWALKS, LANDSCAPED AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
17. THE CONTRACTOR MAY NOT SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES.
18. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES TO THE CONSTRUCTION MANAGER AND LOCAL GOVERNING AGENCIES FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
19. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF WATER MAINS & SERVICES TO A POINT 5' OUTSIDE OF EACH BUILDING. THE INDIVIDUAL BUILDING CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CONNECTIONS TO INTERIOR PLUMBING.
20. IN THE EVENT OF CONFLICT OF ANY REQUIREMENTS OR PROVISIONS OF THE WORK INDICATED HEREON, THE SITE ENGINEER SHALL BE NOTIFIED FOR A DETERMINATION OF THE PLAN REQUIREMENTS AND INTENT THEREOF.
21. REFERENCE SITE ELECTRICAL PLAN FOR LOCATION OF ELECTRIC CONDUIT FOR ALL SITE ELECTRICAL WORK.
22. CONTRACTOR TO SEE MEP SITE PLAN FOR ALL ELECTRICAL AND COMMUNICATION CONDUIT RUNS PRIOR TO START OF CONSTRUCTION.
23. ALL UTILITIES SHALL BE CONSTRUCTED, INSPECTED, AND TESTED IN ACCORDANCE WITH CITY STANDARDS AND REGULATIONS. THE CITY ENGINEERING DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE FOR SCHEDULING OF AN INSPECTOR.
24. PROPOSED ELEVATIONS SHOWN SHALL NOT BE CHANGED WITHOUT APPROVAL OF THE CITY ENGINEERING DEPARTMENT AND THE CONSTRUCTION MANAGER.
25. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
26. CONTRACTOR TO INSTALL SHORING AND/OR TEMPORARY STRUCTURES TO PROVIDE SUPPORT TO ANY AND ALL EXISTING AFFECTED UTILITIES PER UTILITY PROVIDER'S MINIMUM STANDARDS.
27. CONTRACTOR TO COORDINATE ALL UTILITY CONNECTIONS, ELECTRICAL AND TELECOMMUNICATIONS CONDUIT, AND GAS LINES WITH M.E.P. PLANS PRIOR TO START OF CONSTRUCTION.

STORM UTILITY NOTES:

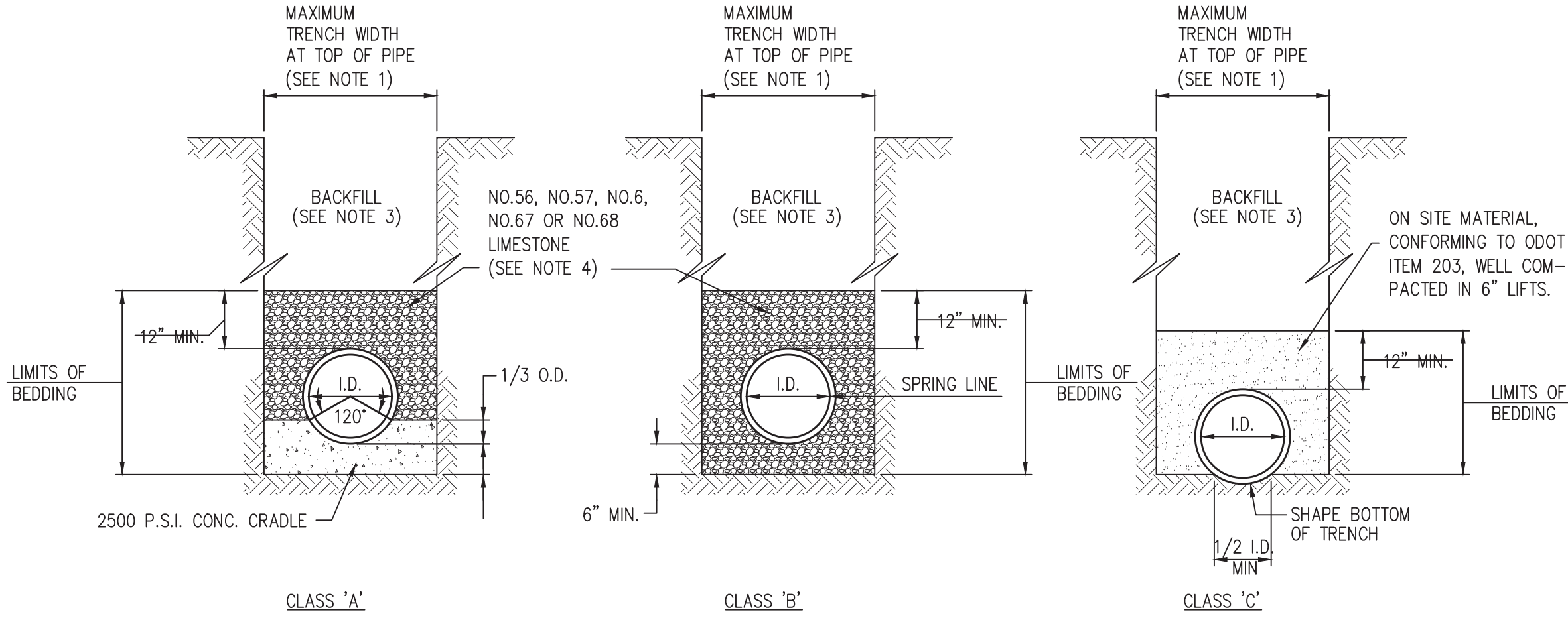
1. CURB INLETS ARE TO BE ALIGNED WITH FACE OF CURBS.
2. NORTHINGS AND EASTINGS FOR STORM STRUCTURES GIVEN IN SITE PLANS ARE UNDERSTOOD TO REPRESENT THE CENTER OF THE INLET STRUCTURE.
3. ALL CATCH BASINS/MANHOLEs, UNLESS STATED OTHERWISE IN STRUCTURE SCHEDULE SHALL BE AS FOLLOWS OR APPROVED EQUAL:
- 3.1. CURB INLETS: EAST JORDAN IRON WORKS 7045 WITH TYPE M1 SINUSODAL GRATE AND 7050 TI BACK. ALL CATCH BASINS SHOWN ADJACENT TO CURBS ARE TO BE CURB INLETS.

3.2. CATCH BASINS IN CONCRETE PAVEMENT: EAST JORDAN IRON WORKS 5110 WITH TYPE M3 HEAVY DUTY SINUSODAL GRATE.

3.3. CATCH BASINS IN GRASS: EAST JORDAN IRON WORKS 6626 BEEHIVE DITCH GRATE.

3.4. SANITARY SEWER MANHOLE: EAST JORDAN IRON WORKS 1040 HEAVY DUTY CASTING AND COVER WITH TYPE A SOLID COVER WITH "SANITARY SEWER" ON COVER.
4. ALL STORM SEWER PIPES SHALL BE HDPE OR PVC.
- 4.1. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER PIPE SHALL HAVE A SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND MEET THE REQUIREMENTS OF ONE OF THE FOLLOWING SPECIFICATIONS: AASHTO M252, TYPE S FOR 4-INCH THROUGH 10-INCH PIPE, AASHTO M294, TYPE S FOR 12-INCH THROUGH 36-INCH PIPE, ASTM F2306 FOR 12-INCH THROUGH 60-INCH PIPE, OR ASTM F2648 FOR 4-INCH THROUGH 60" PIPE. JOINTS SHALL BE SILT-TIGHT BELL AND SPIGOT CONNECTIONS. HDPE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
- 4.2. POLY VINYL CHLORIDE (PVC) PIPE FOR STORM SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC PIPE SHALL CONFORM TO ASTM D3034 SDR35 WITH COMPRESSION JOINTS AND APPROPRIATE FITTINGS. PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAIL, ASTM D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
- 4.3. RE-INFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
5. ALL STORM SEWERS, INLET BASINS AND MANHOLES SHALL BE CLEANED PRIOR TO ACCEPTANCE.

NO.	DATE	BY	DESCRIPTION		PROJECT DATE:	PROJECT NO.:	DRAWN BY:	CHECKED BY:
			PRELIMINARY SUBMITTAL	FINAL DEVELOPMENT PLAN SUBMITTAL				
	08-2018 10-09-2018	JAG JAG	22325 MERCANTILE ROAD BEACHWOOD, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497		APR 2017	T1730018	JAG	MTB
TECHNICAL SKILL: CREATIVE SPIRIT:								
PREPARED FOR:			DMK DEVELOPMENT GROUP			9300 SHELBYVILLE RD, SUITE 800 LOUISVILLE, KY 40222		
TRIPLE CREEK RETIREMENT COMMUNITY BUILDING ADDITION			11230 PIPPIN ROAD COLERAIN, OH 45231					
GENERAL NOTES AND DETAILS (1 OF 2)								
8						10		

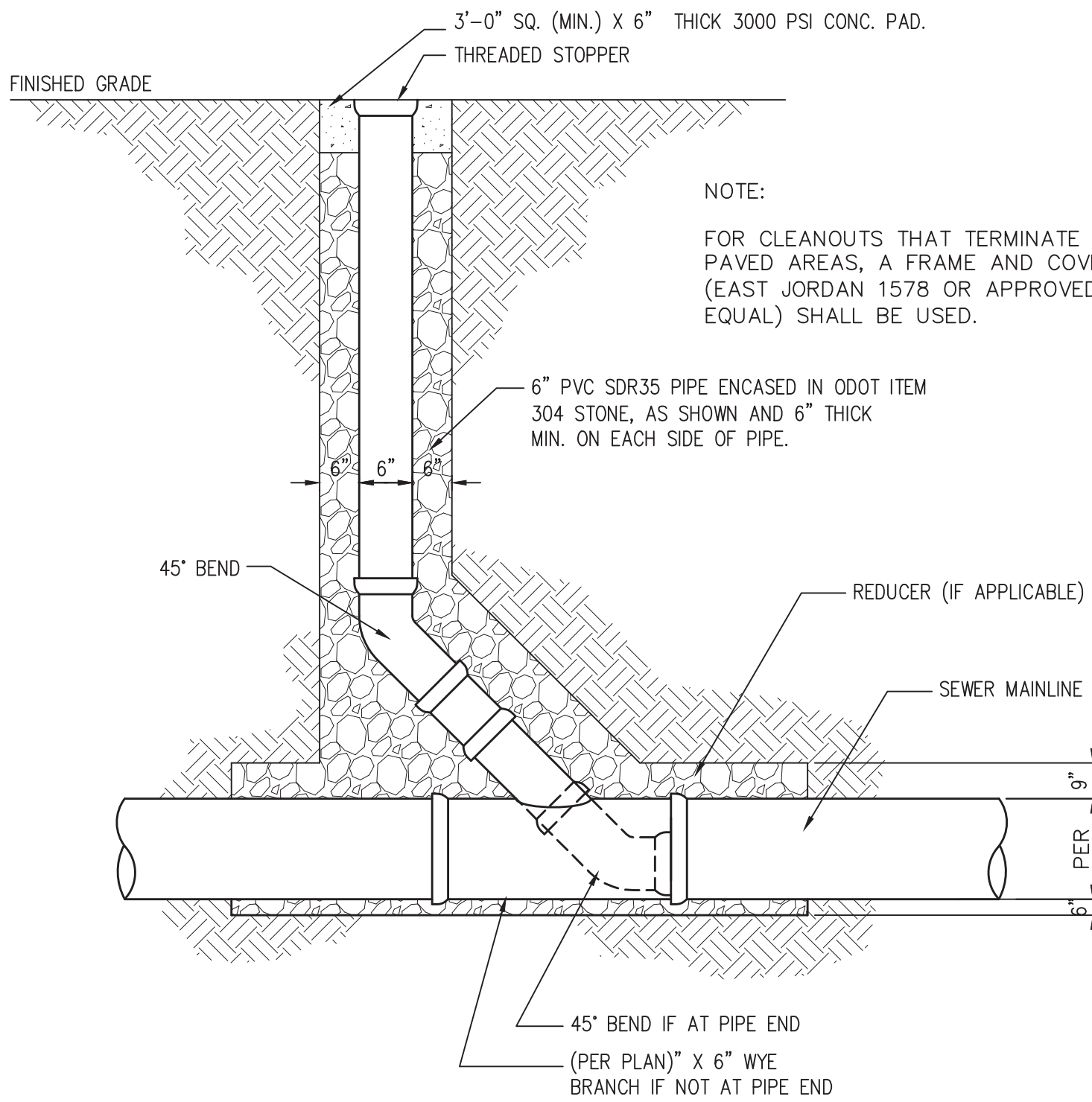


NOTES:

1. MAXIMUM TRENCH AT TOP OF PIPE SHALL BE O.D.+24" FOR ALL PIPES UP TO AND INCLUDING 24" I.D.; O.D.+30" FOR PIPE LARGER THAN 24" I.D. TO 54" I.D.; AND O.D.+48" FOR PIPE SIZES 60" AND OVER.
2. ALL TRENCH EXCAVATION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OHIO STATE INDUSTRIAL COMMISSION (OSIC) AND THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
3. ALL BACKFILL SHALL BE TAMPED WITH MACHINE MOUNTED TAMPING EQUIPMENT. NO FLOODING, JETTING OR PUDDLING OF BACKFILL WILL BE PERMITTED. BACKFILL SHALL BE COMPACTED TO 100% OF MAXIMUM LABORATORY DRY DENSITY PER ASTM D 698.
4. ALL BEDDING SHALL BE CLASS 'B' EXCEPT AS STATED IN NOTE 6 OR OTHERWISE NOTED ON THE PLANS. BEDDING LIMITS FOR R.C.P. AND D.I.P. SHALL BE TO THE PIPE SPRINGLINE.
5. SLAG BEDDING SHALL NOT BE USED.
6. BEDDING FOR DUCTILE IRON PIPE USED FOR WATERLINE OR FORCE MAIN SHALL BE CLASS 'C' EXCEPT WHEN INSTALLED IN ROCK AND UNDER PAVEMENT OR STRUCTURES, IN WHICH CASE, BEDDING SHALL BE CLASS 'B' OR AS NOTED ON THE PLANS.
7. INSTALL A MAGNETIC DETECTOR TAPE 12" ABOVE THE CENTERLINE OF NON-METALLIC WATERLINES OR SANITARY FORCE MAINS.

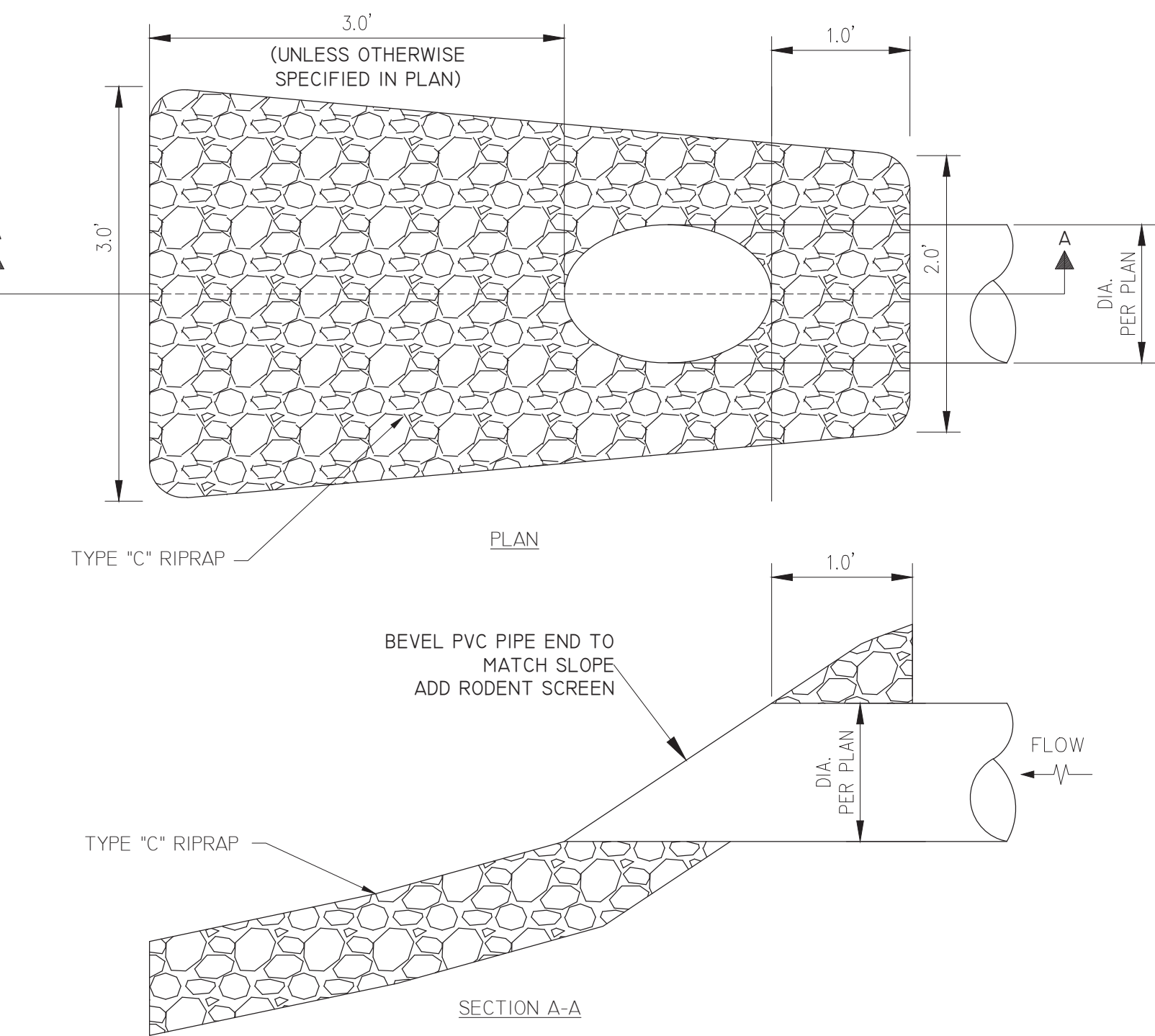
TRENCH & BEDDING DETAILS

SCALE: NTS



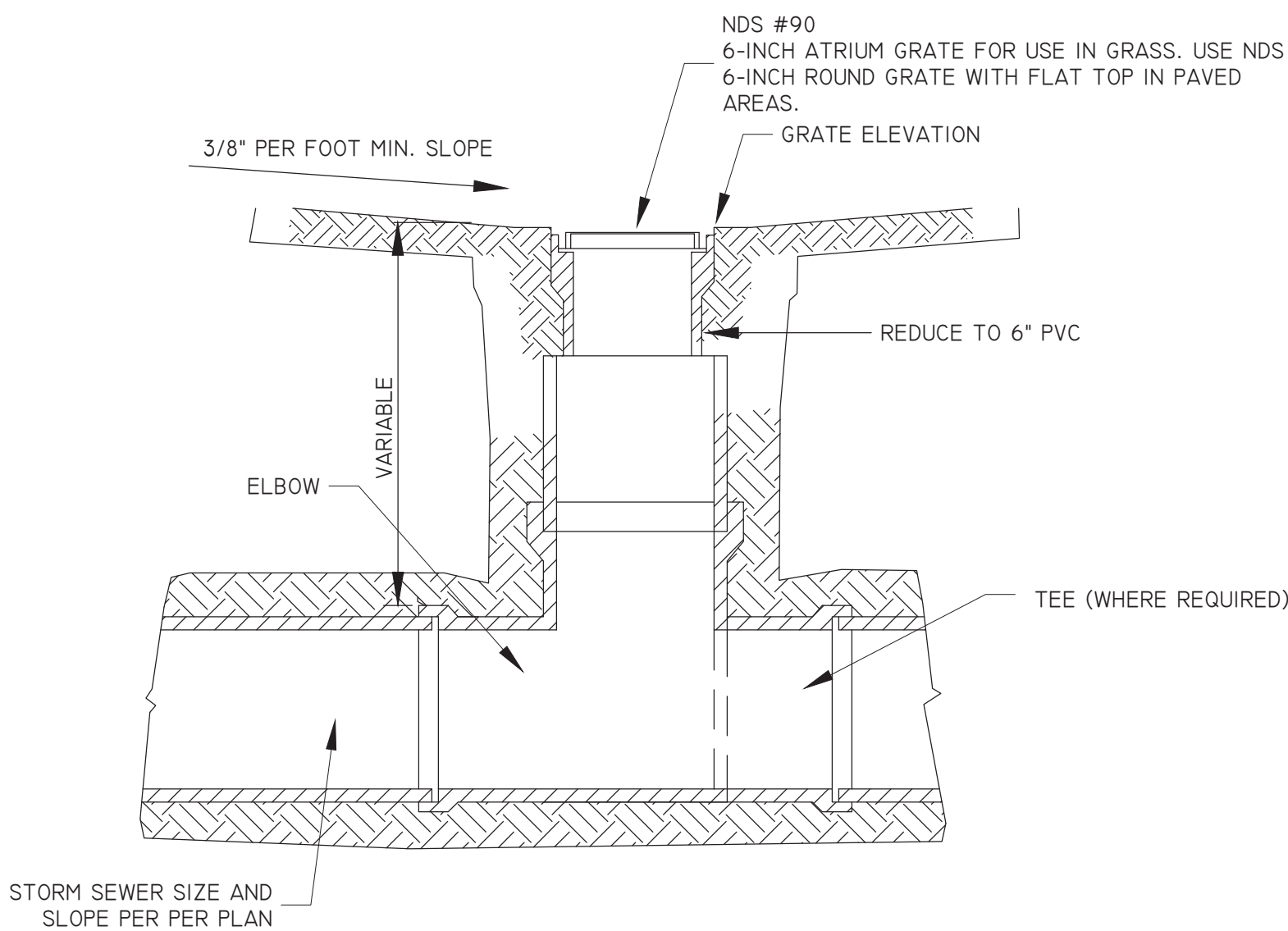
CLEANOUT

SCALE: N.T.S.



PIPE END TREATMENT

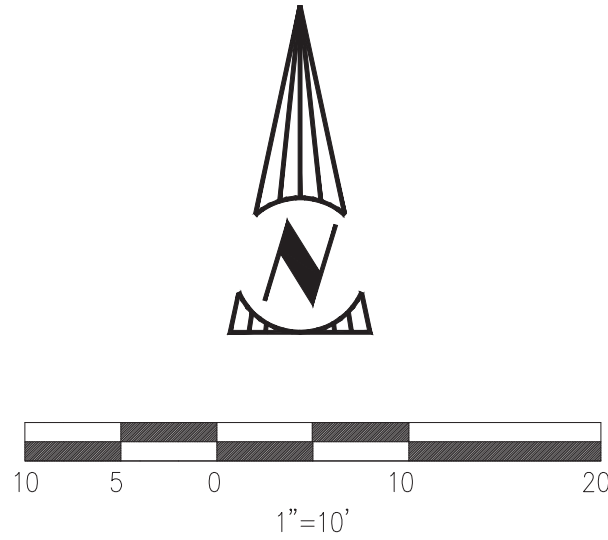
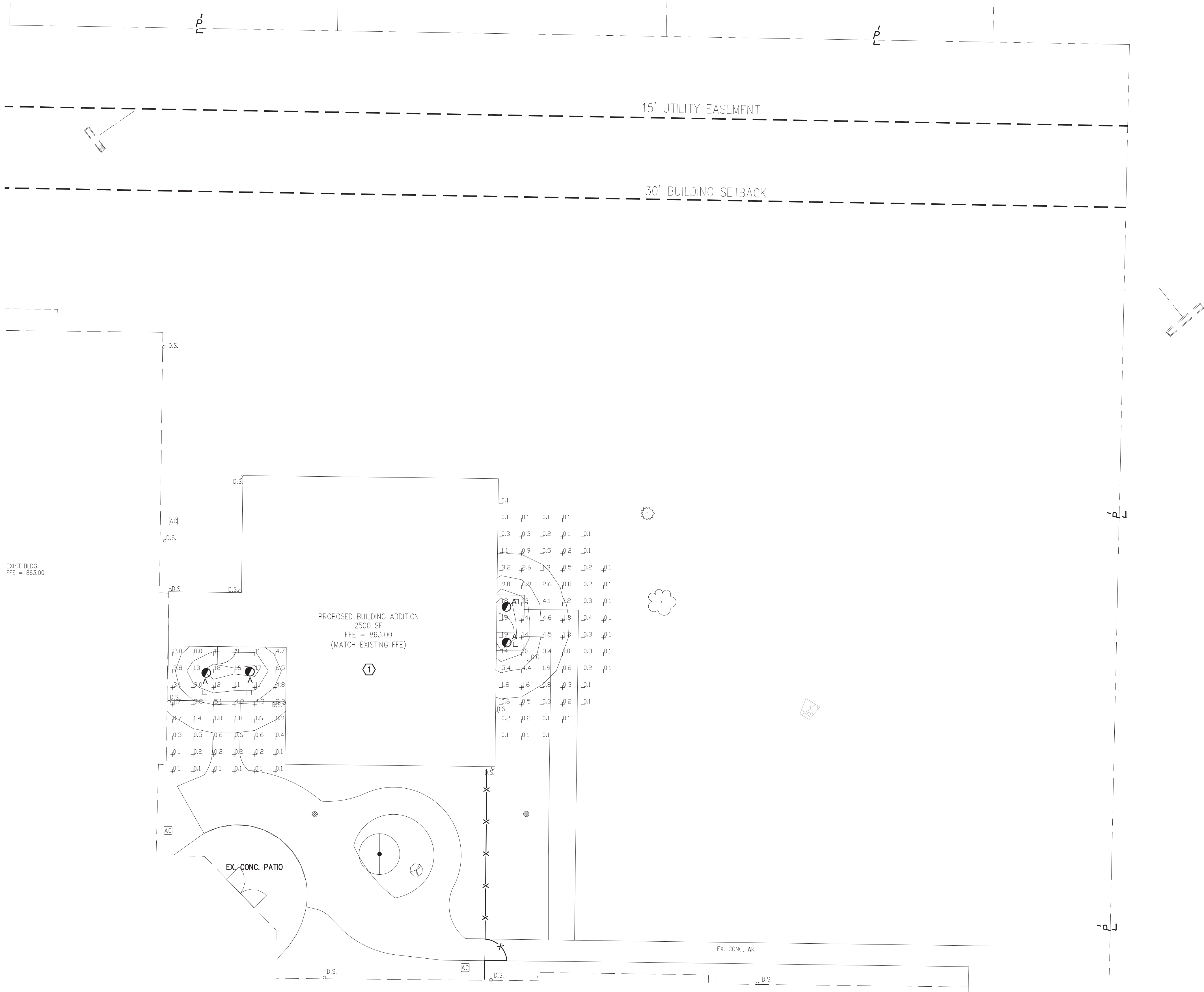
SCALE: NTS



YARD DRAIN DETAIL

SCALE: NTS

NO.	DATE	BY	DESCRIPTION	
			PRELIMINARY SUBMITTAL	FINAL DEVELOPMENT PLAN SUBMITTAL
			JAG	JAG
23225 MERCANTILE ROAD BEACHWOOD, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497	08-2018 10-09-2018	JAG		
PROJECT DATE: APR 2017				
PROJECT NO.: T1730018				
DRAWN BY: JAG				
CHECKED BY: MTB				
TECHNICAL SKILL: CREATIVE SPIRIT:				
Mannik Smith GROUP www.MannikSmithGroup.com				
PREPARED FOR: DMK DEVELOPMENT GROUP 9300 SHELBYVILLE RD, SUITE 800 LOUISVILLE, KY 40222				
TRIPLE CREEK RETIREMENT COMMUNITY BUILDING ADDITION 11230 PIPPIN ROAD COLERAIN, OH 45231				
GENERAL NOTES AND DETAILS (2 OF 2)				
9	10			



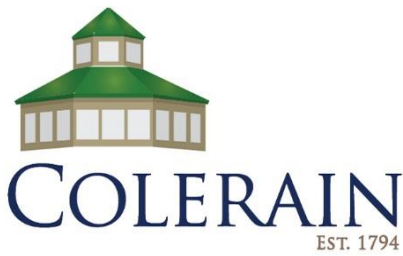
CODED NOTES:

- ① 8 BED SKILLED CARE ADDITION (2,500 SF). BUILDING IS SHOWN FOR INTENT ONLY. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.

STATISTICS		
DESCRIPTION	SYMBOL	AVG
CALC ZONE #1	+	0.01 fc
PAVEMENT LIMITS	+	0.13 fc
PROPERTY LIMITS	+	0.02 fc

SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP	WATTAGE
●	A	4	LITHONIA LIGHTING	REAL6C D6MW ESL 1500L 35K .95SC	6" REALITY LED RECESSED DOWNLIGHT, 1500 LUMENS .95 SPACING 3500K CCT	1520.937	18.8

10	PHOTOMETRIC PLAN	TRIPLE CREEK RETIREMENT COMMUNITY BUILDING ADDITION 11230 PIPPIN ROAD COLERAIN, OH 45231	PREPARED FOR: DMK DEVELOPMENT GROUP 9300 SHELBYVILLE RD, SUITE 800 LOUISVILLE, KY 40222	 TECHNICAL SKILL: CREATIVE SPIRIT. www.MannikSmithGroup.com	23225 MERCANTILE ROAD BEACHWOOD, OH 44122 TEL: 216.378.1490 FAX: 216.378.1497				PROJECT DATE: APR 2017 PROJECT NO.: T1730018 DRAWN BY: JAG CHECKED BY: MTB		NO.		DATE		BY		DESCRIPTION	
																	PRELIMINARY SUBMITTAL	
																	FINAL DEVELOPMENT PLAN SUBMITTAL	



**FINAL DEVELOPMENT PLAN
MINOR MODIFICATION**

CASE # ZA2014-09
CHICK-FIL-A
9496 COLERAIN AVENUE
NOVEMBER 20, 2018

Prepared By: JENNA M. LeCOUNT, AICP
DIRECTOR of PLANNING & ZONING

PROJECT SUMMARY:

Chris Turpen, agent and applicant for Chick-Fil-A, is requesting a minor modification to a Final Development Plan at the 9470 Colerain Avenue location, to install canopies over existing drive thru location for the protection of employees and vehicles.

PROJECT HISTORY:

The Final Development Plan was approved March 17, 2015 with three conditions. The project has since been built and Chick-Fil-A opened for business in April of 2016. Since the opening of the store, two Minor Modifications have been heard in front of the Zoning Commission in May and then September of 2016 to improve circulation on the site and to request freestanding signage for the site.

CURRENT PROPOSAL:

The applicant is proposing to construct two large drive-through canopies. One canopy of approximately 680 square feet is proposed to be attached to the East side of the primary buildings to cover the food delivery area window(s). A second, larger canopy of approximately 1,000 square feet is proposed as a freestanding accessory structure along the South side of the primary structure to cover the two drive-through lines near the ordering area.

CONFORMANCE WITH COMPREHENSIVE PLAN:

The site is located in Character Area 5: Colerain Avenue of the Colerain Township Comprehensive Plan. The Comprehensive Plan's vision for the area is that "Colerain Avenue will continue to see signs of reinvestment and redevelopment and will be a quality commercial corridor for the region. Investments from the Township, such as tax-increment financing, and property owners along this corridor will, in the long term, help stabilize and improve this important commercial center. The Township will take steps to work with property owners to help improve the curb appeal that will benefit both the value of property and the Township overall. Colerain Avenue will encompass a mixture of large scale and small-scale retail and office space with the creation of a town center that will create a positive identity for Colerain Township." This property is more specifically located within the "Commercial Corridor" use group of the comprehensive plan.

The Land Use Plan for this area identifies it as General Retail which is defined as “community and regional oriented business uses that tend to locate along highways with relatively high traffic volumes”.

CONFORMANCE WITH ZONING RESOLUTION:

The property is zoned PD-B Planned Development Business that allows the Zoning Commission to set customized regulations for the property to meet specific development objectives. Section 8.4.6 Drive-Through Facilities indicates that:

- (A) Drive-through facilities may be allowed as an accessory use to restaurants, pharmacies, financial institutions, and other uses as authorized by the Zoning Commission.
- (B) All drive-through facilities shall comply with the site development standards of the applicable zoning district.
- (C) The outermost edges of all protective canopies shall comply with all yard requirements of the applicable zoning district.
- (D) Drive-through facilities shall comply with all related standards as established in Article 13 (Off-Street Parking and Loading).

The side and rear yard setback requirements are articulated in Table 8-2 and indicate that no side or rear yard setbacks shall be required unless the use abuts a residential zoning district. The property is not immediately adjacent to a residential zoning district; therefore, the proposed setbacks of 9 feet on the east of the property (meal delivery canopy) and 10 feet at the nearest to the southern property line (face to face canopy) are compliant with this Section of the Zoning Resolution.

Section 10.2.4 Accessory Buildings and Uses in Business Districts, indicates that the total gross floor area of all accessory buildings in a business district shall not exceed 50 percent of the gross floor area of the principal building or structure. The applicant is proposing canopies totaling approximately 1,700 square feet in size which is less than 50% of the existing primary building structure which has a gross floor area of 4,592 SF.

Section 13.5 Stacking Space Requirements (referenced in the requirements of Section 8.4.6) articulate the required number of stacking spaces required for this development. The applicant is not proposing any change to the number, size, or location of approved stacking spaces associated with this development.

STAFF COMMENTS:

This proposed Minor Modification to the approved Final Development Plan appears to comply with all appropriate Sections of the Zoning Resolution which discuss accessory structures in a Business District.

RECOMMENDATION:

Approval of the Amended Final Development Plan for two new drive-through canopies covering the ordering and the food delivery portions of the drive-through line.

APPLICATION FOR MINOR AMENDMENT TO
FINAL DEVELOPMENT PLAN
COLERAIN TOWNSHIP ZONING COMMISSION
4200 SPRINGDALE ROAD
CINCINNATI, OH 45251
(513) 385-7505

Case No.: ZA _____ Date Filed: _____

Location of property in accordance with County Auditor's Records:

Township: Colerain Book: 510 Page: _____ Parcels: _____

Name of Owner: Chick-Fil-A

Address: 9496 Colerain Ave

City: Cincinnati State: OH Zip: 45251

Name of Project Site: _____

Brief description of change: Install canopy's over existing drive thru
location for the protection of employees and vehicles.

RECEIVED

SEP 25 2018

COLERAIN ZONING

Name of Applicant: Chris Turpen

Telephone No.: 480-755-0959 Email Address: turpen@esencia.org

Address: 1743 E McNair Dr Ste 200 City: Tempe State: AZ Zip: 85283

Signature:



Date: 9/21/18

Please check one: ☐ Owner ☒ Agent ☐ Lessee

Filing fee shall accompany the application. Make check payable to: **Colerain Township Board of Trustees**. THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN.



engineering | environmental | capital planning | project management

Hi!

Please find included in the building permit submittal package for the Chick Fil A shade canopy. The intention of this upgrade is to better support CFA team members that operate near the drive-thru in an effort to process orders in a safer environment. This is new program will be going in at 200 sites nationwide, although it may expand to the entire CFA portfolio.

Please feel free to contact me directly at the following email or phone number:

Email turpen@esencia.org or Alvarez@esencia.org

Phone 480 755 0959 w and for immediate attention my cell: 602-696-8071

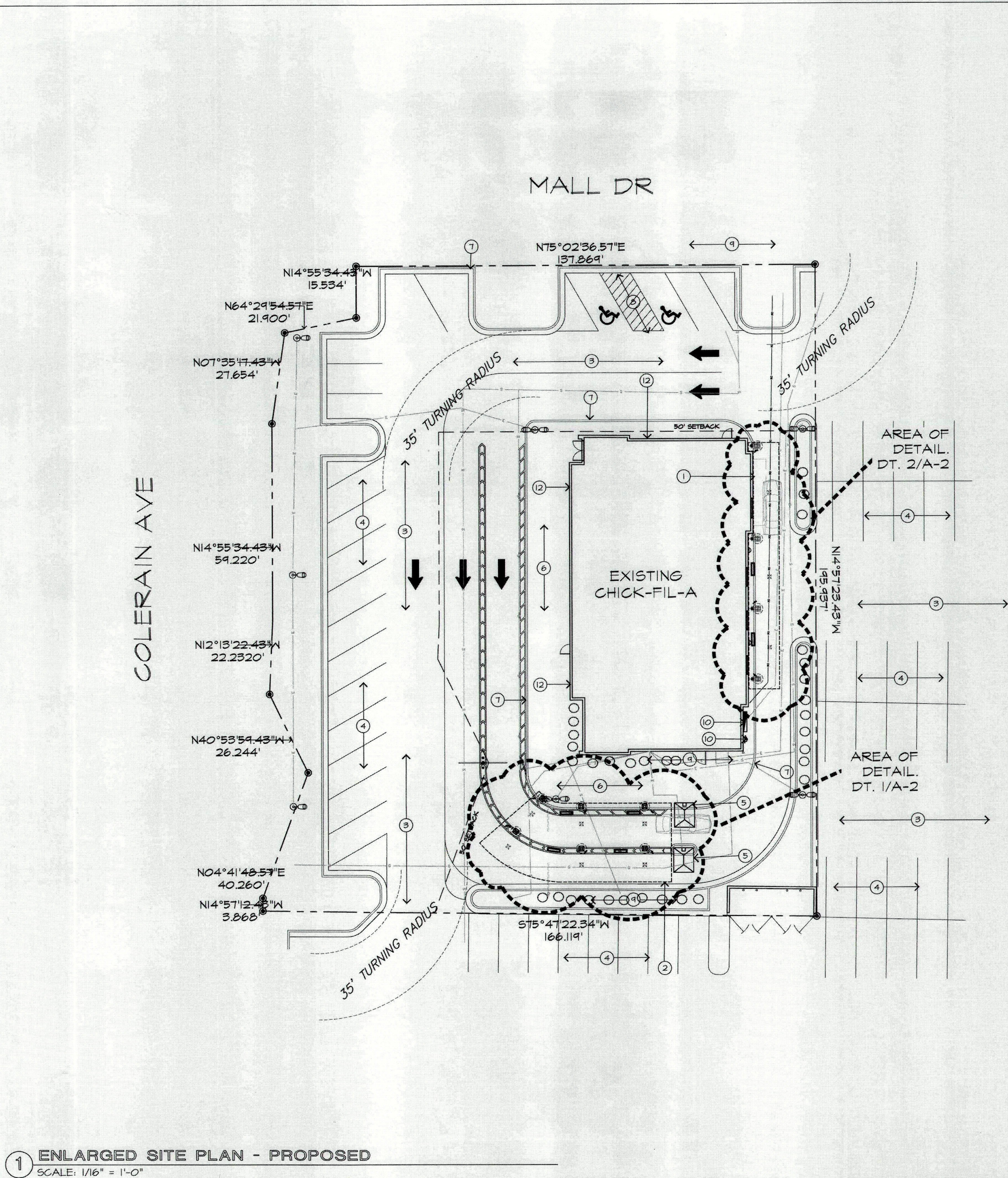
ALSO INCLUDED IN THIS PACKAGE IS CHECK FOR PAYMENT PROCESSING.

AND A RETURN ENVELOPE HAS BEEN INCLUDED IN CASE THE CHECK IS NOT USED. *Please do not destroy the check.*

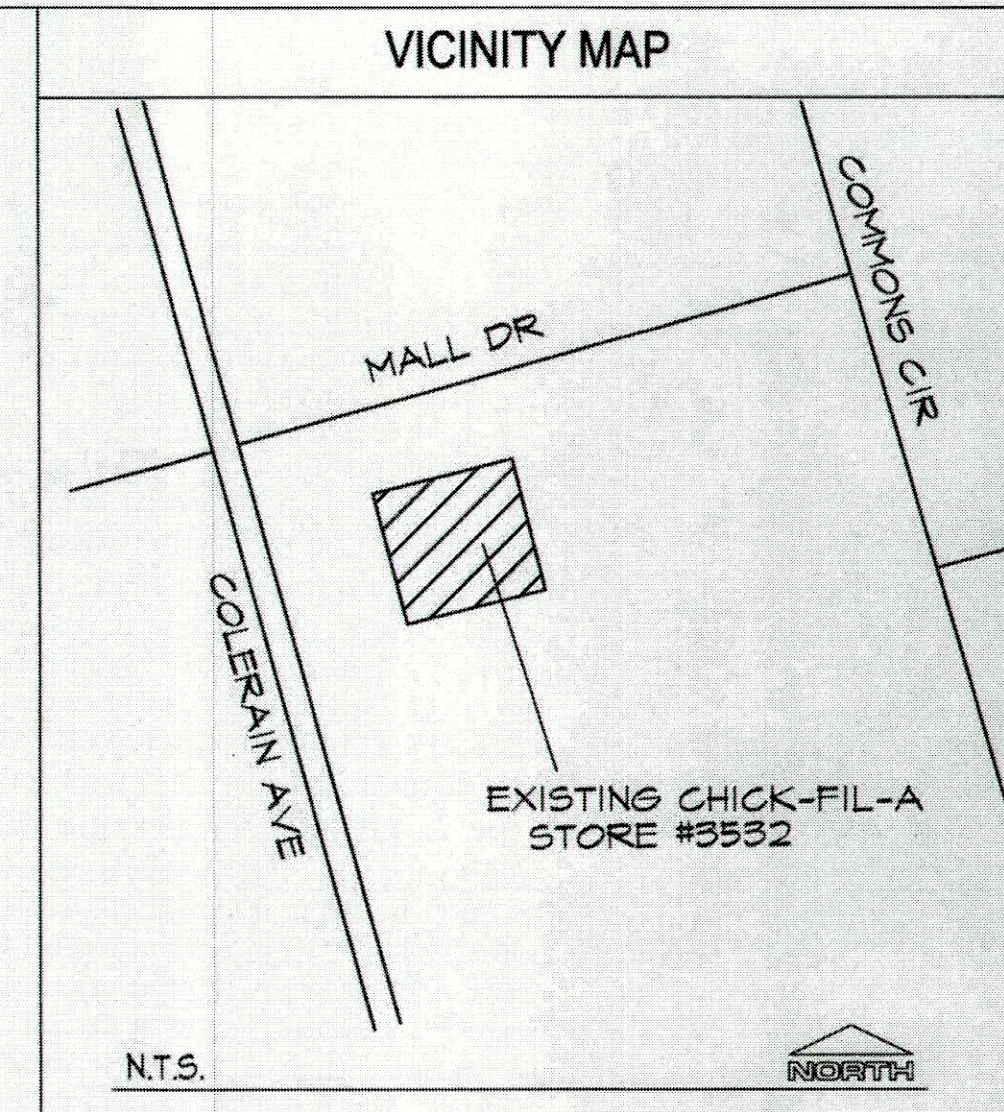
Thank you for all your help!

Chris Turpen and/or Kat Alvarez

**Please send receipt in enclosed envelope.*



1 ENLARGED SITE PLAN - PROPOSED
SCALE: 1/16" = 1'-0"



SHEET INDEX	
ARCHITECTURAL	
A-1 PROJECT DATA & OVERALL SITE PLAN	
A-2 ENLARGED CANOPY PLAN	
STRUCTURAL	
MEAL DELIVERY CANOPY	
CA.1 FOUNDATION PLAN	
CA.2 FRAMING PLAN	
CA.3 STANDARDS DETAILS	
FACE TO FACE CANOPY	
CA.1 FOUNDATION PLAN	
CA.2 FRAMING PLAN	
CA.3 STANDARDS DETAILS	
PLUMBING	
PI.1 GAS PLUMBING PLAN	
PI.2 GAS PLUMBING PLAN	
P.2.1 PLUMBING DETAILS	
ELECTRICAL	
EI.1 POWER AND L&T PLAN	
EI.2 ELECTRICAL DETAILS	

- 4 SITE PLAN NOTES
1. OUTLINE OF PROPOSED OVERHEAD MEAL DELIVERY CANOPY.
 2. OUTLINE OF PROPOSED OVERHEAD FACE TO FACE CANOPY.
 3. EXISTING VEHICLE DRIVE AISLE TO REMAIN.
 4. EXISTING PARKING FIELD TO REMAIN, NO CHANGE.
 5. EXISTING ORDER POINT TO REMAIN, NO CHANGE.
 6. EXISTING CONCRETE WALKWAY TO REMAIN.
 7. EXISTING CONCRETE CURB TO REMAIN. ANY DAMAGE TO EXISTING CURB SHALL BE REPAIRED AND/OR REPLACED AS TO LIKE NEW CONDITION.
 8. EXISTING CONCRETE ACCESSIBLE RAMP / MARKED PATHWAY TO REMAIN.
 9. EXISTING LANDSCAPING AREA TO REMAIN.
 10. LOCATION OF ELECTRICAL AND/OR GAS CONNECTION. CONFIRM UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
 11. NOT USED.
 12. EDGE OF EXISTING BUILDING. NO CHANGE.

PROJECT DATA	
PROJECT NAME:	CHICK-FIL-A, SITE #3532
PROJECT ADDRESS:	9496 COLERAIN AVE. CINCINNATI, OH 45251
PROJECT DESCRIPTION:	INSTALL NEW OVERHEAD SHADE CANOPY AT EXISTING DRIVE THRU FOR EMPLOYEE AND VEHICLE SHADE.
EXISTING ZONING:	COMMERCIAL (NO CHANGE)
CONSTRUCTION AREA:	
a) Face to Face canopy:	± 1207 S.F.
b) Meal Delivery Canopy:	± 641 S.F.
Total:	± 1848 S.F.
PARKING:	EXISTING (NO CHANGE)
DRIVE THRU QUEING:	EXISTING (NO CHANGE)

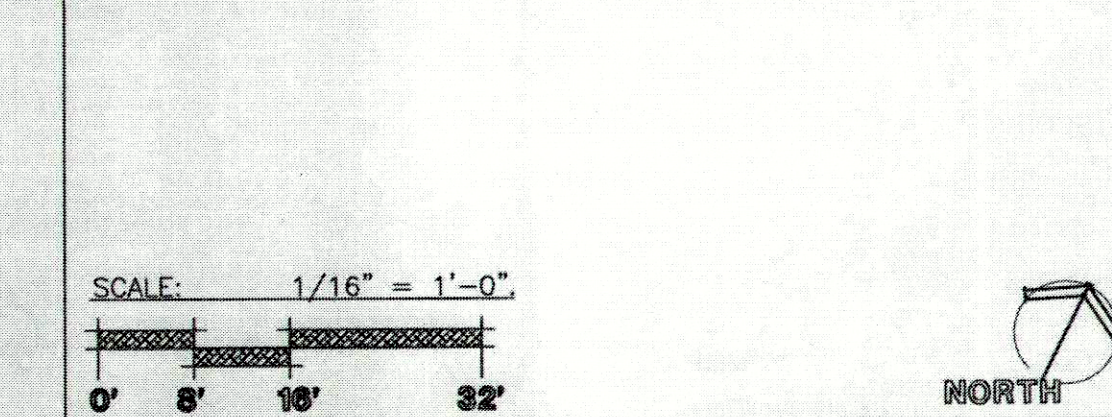
GOVERNING CODES	
BUILDING:	2011 EDITION O.B.C.
MECHANICAL:	2011 EDITION O.M.C.
PLUMBING:	2011 EDITION O.P.C.
ENERGY:	2012 EDITION I.E.C.C.
ELECTRICAL:	2011 EDITION N.E.C.
FUEL / GAS:	2015 EDITION I.F.G.C.
FIRE:	2011 EDITION O.F.C.
ACCESSIBLE:	I.C.C./A.N.S.I. A117.1-09

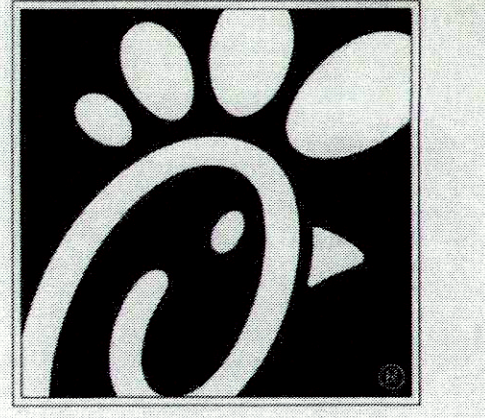
BUILDING SETBACKS	
FRONT (COLERAIN AVE):	50 FT
SIDE (MALL DR):	50 FT
REAR:	NONE
SIDE:	NONE

PROJECT TEAM	
OWNER:	CHICK-FIL-A, INC. TROY TRIPP 5200 BUFFINGTON ROAD ATLANTA, GA 30349 CHICK-FIL-A.COM
PROJECT MANAGER:	EMG, LLC MICHAEL ANDERSON 17200 N. PERIMETER DRIVE, SUITE 275 SCOTTSDALE, ARIZONA 85255 PH: 480-777-1800
CANOPY COMPANY:	FASHION INC. JASON HOLMES 1019 E. NORTH STREET OTTAWA, KS 66067 PH: (785) 242-8111 FAX: (785) 242-2022

BUILDING DEPARTMENT:
CITY OF CINCINNATI
BUILDINGS AND INSPECTIONS
805 CENTRAL AVE., STE 500
CINCINNATI, OH 45202
PHONE 513-352-2430

- GENERAL NOTES
1. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE G.C. SHALL BE RESPONSIBLE TO VERIFY AND LOCATE EXACT LOCATION/DEPTH OF UNDERGROUND UTILITY LINES, COMMUNICATION LINES, ETC. SERVING THIS SITE. IDENTIFY UTILITIES AS TO SCOPE OF WORK AND LOCATION OF DIGGING.
 2. WHERE REQUIRED, G.C. SHALL NOTIFY ADJACENT TENANTS / PROPERTY OWNERS OF ANY SERVICE INTERRUPTIONS AT LEAST 48 HOURS PRIOR TO SERVICE INTERRUPTIONS.
 3. ANY DAMAGES TO UNDERGROUND UTILITY LINES SHALL BE REPORTED TO THE UTILITY COMPANY INVOLVED. G.C. SHALL REPAIR DAMAGES PER UTILITY CO. REQUIREMENTS AT CONTRACTORS EXPENSE.






5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
(404) 785-8000

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CONSULTANTS:



EMG INC.,
17200 N. PERIMETER DRIVE, #275
SCOTTSDALE, ARIZONA 85255
TEL: 480.777.1800
FAX: 480.777.5366
WWW.EMG.LLC.COM

DAVID A. UDOW ARCHITECT
11881 N. 113TH WAY
SCOTTSDALE, ARIZONA 85251
PHONE: (480)-614-3385
FAX: (480)-614-0209
davidudow@cox.net

DAVID A. UDOW
REGISTERED ARCHITECT
06276

Revision Schedule

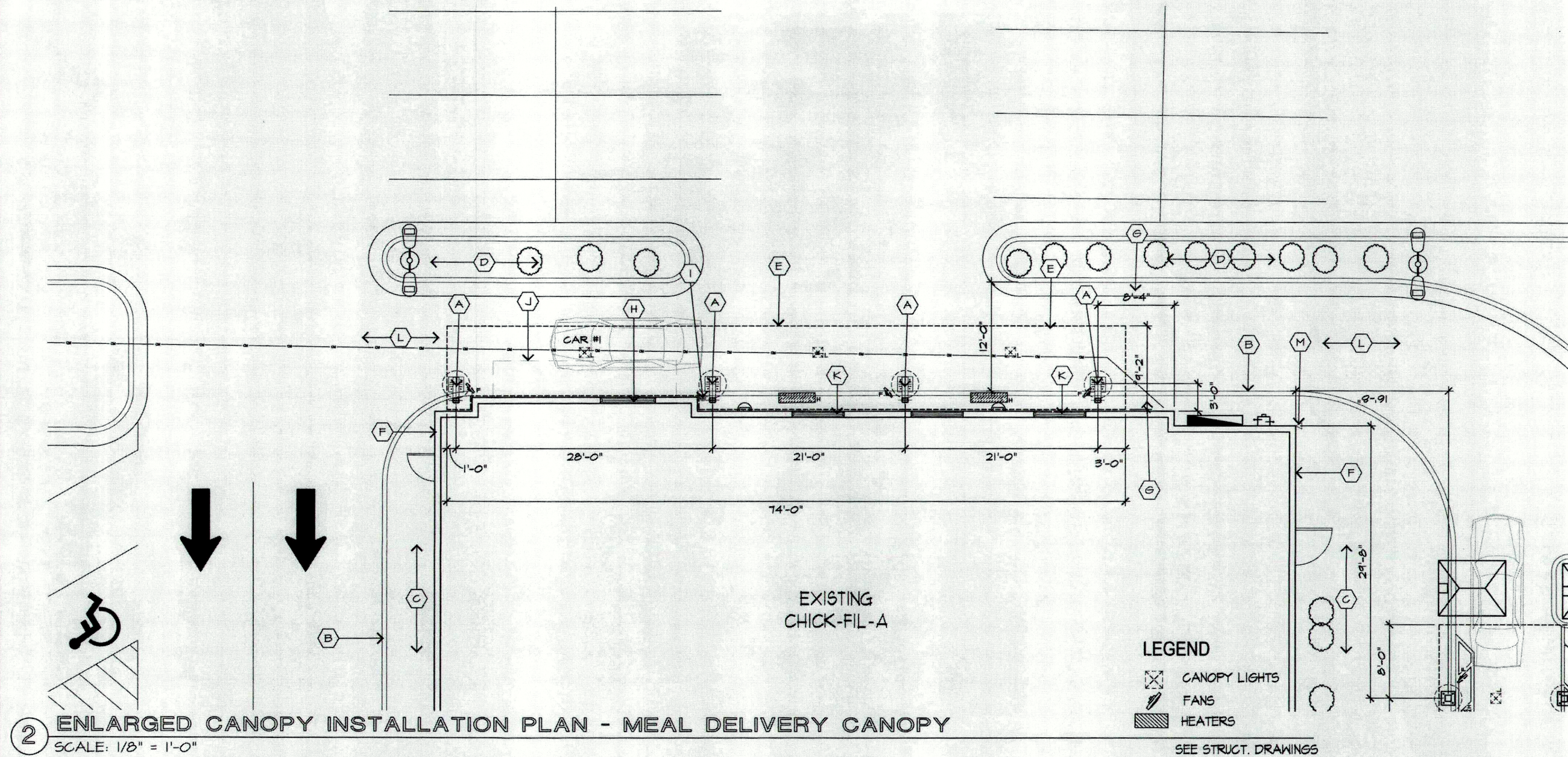
Rev	Date	By	Description

Project Name: CANOPY PROGRAM
CHICK-FIL-A
STORE # 3532
9496 COLERAIN AVE.
CINCINNATI, OH 45251

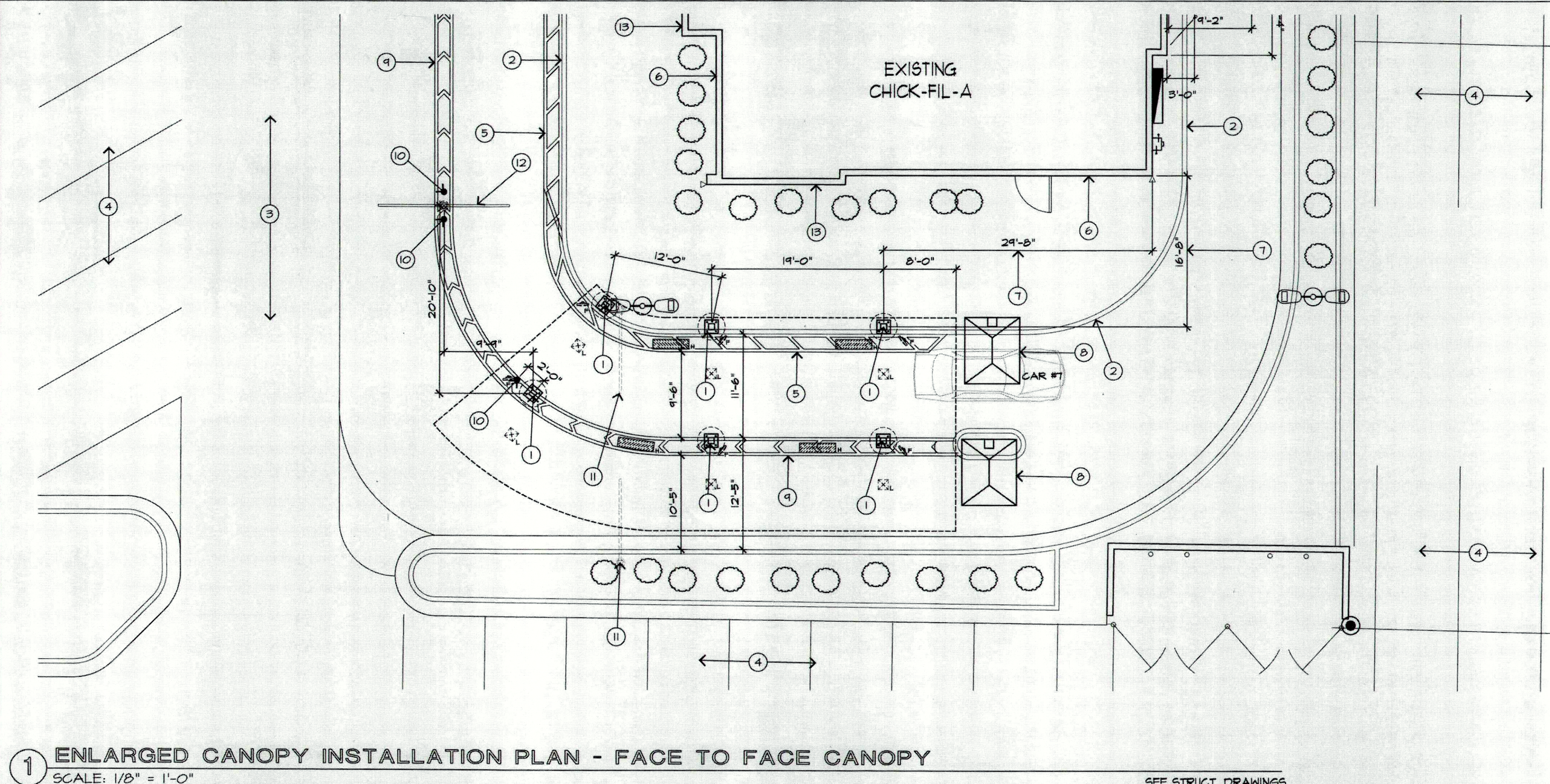
Issue Date: 9-17-18
Drawn By: JM/CT
Job Number: 18011

Sheet Title: Project Data
Overall Site Plan
Scale: As indicated

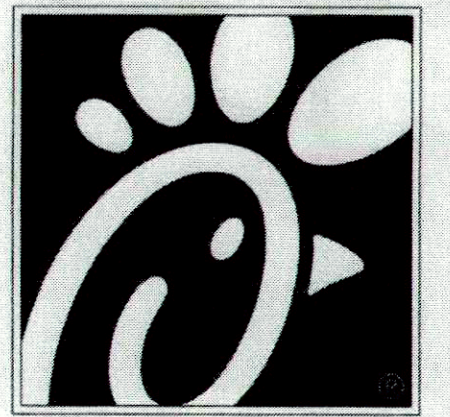
Sheet Number: A-1



- ### CONSTRUCTION NOTES - MEAL DELIVERY
- NEW SHADE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTING BELOW. SEE STRUCTURAL DRAWINGS FOR MORE DETAIL. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED AS REQUIRED FOR FLUSH CONDITION WITH EXISTING.
 - EXISTING CONCRETE CURB TO REMAIN. ANY DAMAGE TO EXISTING CURB SHALL BE REPAIRED AND/OR REPLACED AS TO LIKE CONDITION.
 - EXISTING CONCRETE WALKWAY TO REMAIN.
 - EXISTING LANDSCAPING AREA TO REMAIN.
 - OUTLINE OF PROPOSED OVERHEAD CANOPY.
 - EDGE OF EXISTING BUILDING. NO CHANGE.
 - XY DIMENSION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. GC TO FIELD VERIFY EXACT LOCATION AND NOTIFY CHICK-FIL-A PROJECT TEAM IF CANOPY LOCATION CHANGES AND IMPACTS OTHER CONSTRUCTION RELATED CONDITIONS.
 - MEAL DELIVERY PICK UP WINDOW. NO CHANGE.
 - EXISTING BOLLARD TO BE REMOVED.
 - EXISTING AWNING TO BE REMOVED. GC TO REPAIR AS REQUIRED FOR FLUSH CONDITION WITH EXISTING.
 - EXISTING WINDOW TO REMAIN. NO CHANGE.
 - EXISTING DRIVE THRU LANE TO REMAIN.
 - EXISTING SECURITY CAMERA TO REMAIN.
- | NOTES: | REFERENCE: |
|--|--|
| * GC TO CONFIRM SIZE, DEPTH AND LOCATION OF UTILITIES PRIOR TO CONSTRUCTION. | SCALE: 1/8" = 1'-0"
0' 4' 8' 16'
NORTH |



- ### CONSTRUCTION NOTES - FACE TO FACE
- NEW SHADE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTING BELOW. SEE STRUCTURAL DRAWINGS FOR MORE DETAIL. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED AS REQUIRED FOR FLUSH CONDITION WITH EXISTING.
 - EXISTING CONCRETE CURB TO REMAIN. ANY DAMAGE TO EXISTING CURB SHALL BE REPAIRED AND/OR REPLACED AS TO LIKE CONDITION.
 - EXISTING CONCRETE WALKWAY TO REMAIN.
 - EXISTING LANDSCAPING AREA TO REMAIN.
 - NEW 24" WIDE TEAM MEMBER DEMARCATION. USE TRAFFIC RATED PAINT.
 - EDGE OF EXISTING BUILDING. NO CHANGE.
 - XY DIMENSION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. GC TO FIELD VERIFY EXACT LOCATION AND NOTIFY CHICK-FIL-A PROJECT TEAM IF CANOPY LOCATION CHANGES AND IMPACTS OTHER CONSTRUCTION RELATED CONDITIONS.
 - EXISTING DRIVE THRU ORDER POINT.
 - EXISTING TEAM MEMBER DEMARCATION TO REMAIN. NO CHANGE.
 - LOCATION OF NEW BOLLARD. GC TO CONFIRM WITH CHICK-FIL-A TEAM FULL UNDERSTANDING OF LOCATION OF NEW BOLLARD IN RELATIONSHIP TO CANOPY AND/OR CLEARANCE BAR.
 - REMOVE EXISTING CLEARANCE BAR.
 - LOCATION OF NEW CLEARANCE BAR. GC TO CONFIRM WITH CHICK-FIL-A TEAM FULL UNDERSTANDING OF LOCATION OF C/B IN RELATIONSHIP TO CANOPY.
 - OUTLINE OF PROPOSED OVERHEAD CANOPY.
- | NOTES: | REFERENCE: |
|--------|--|
| -- | SCALE: 1/8" = 1'-0"
0' 4' 8' 16'
NORTH |



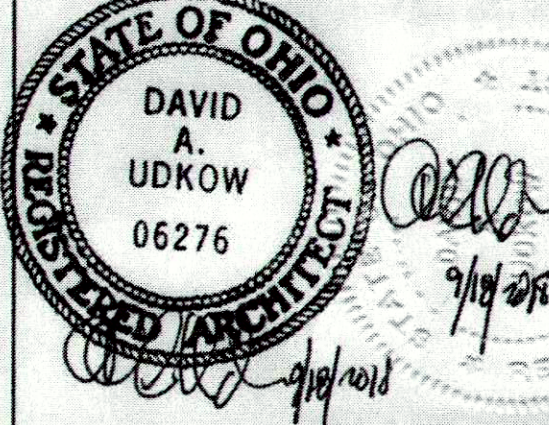
Chick-fil-A
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CONSULTANTS:

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davidaudokow@cox.net



Revision Schedule				
Rev	Date	By	Description	

Project Name: CANOPY PROGRAM
CHICK-FIL-A
STORE # 3532
9496 COLERAIN AVE.
CINCINNATI, OH 45251

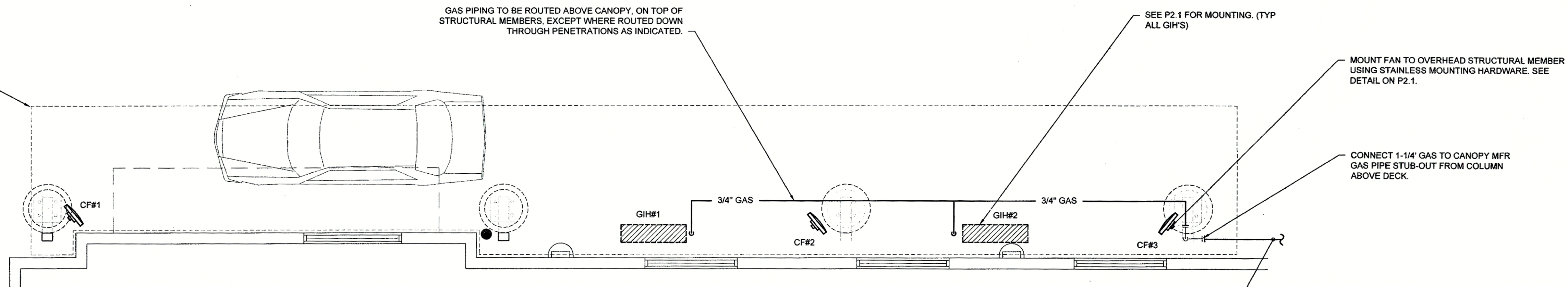
Issue Date: 9-17-18
Drawn By: JM/CT
Job Number: 18011

Sheet Title:
Enlarged Canopy Plan

Scale: As Indicated

Sheet Number:
A-2

ORDER CANOPY. SEE ARCHITECTURAL.



I MECHANICAL PLAN - EXISTING OP

1/4" = 1'-0"

LEGEND	
CF#1	CIRCULATING FAN #1 (TYP)
GIH#1	GAS INFRARED HEATER #1 (TYP)
---	NEW GAS PIPING ABOVE GRADE
---	NEW GAS PIPING BELOW GRADE
B/G	BELOW GRADE
EC	ELECTRICAL CONTRACTOR
MC	MECHANICAL CONTRACTOR

GENERAL NOTES

- COORDINATE NEW WORK WITH EXISTING CONDUIT, STRUCTURE, AND PIPING. FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF WORK.
- COORDINATE LOCATION AND RESPONSIBILITIES FOR UNDERGROUND PIPING AND ASSOCIATED TRENCHING WITH GENERAL CONTRACTOR PRIOR TO START OF WORK.
- EXPOSED GAS PIPING SHALL BE PAINTED BY GENERAL CONTRACTOR.

FIELD VERIFY ALL CONDITIONS

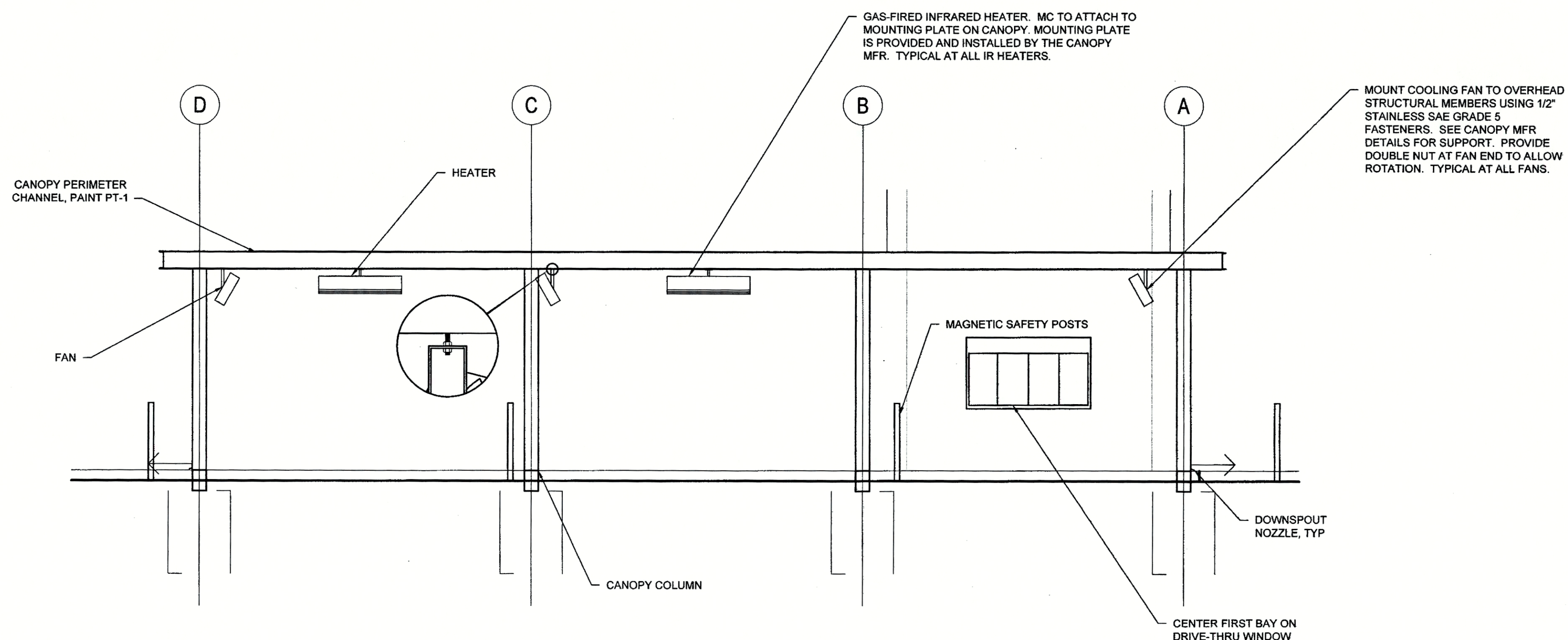
NOTE: AS NOTED IN THE SPECIFICATIONS, ALL WIRING LAYOUTS, PIPING LAYOUTS AND DUCT LAYOUTS ARE SCHEMATIC. EXACT LOCATIONS SHALL BE DETERMINED BY THE CONSTRUCTION AND STRUCTURE OF THE BUILDING AND SHALL BE VERIFIED AND COORDINATED IN THE FIELD. EACH TRADE CONTRACTOR SHALL VERIFY WITH THE GENERAL CONTRACTOR THAT HE HAS THOROUGHLY REVIEWED AND COORDINATED ALL LOCATIONS AND ROUTINGS WITH ALL OTHER TRADES PRIOR TO FABRICATION OF CONDUITS, DUCTS, OR PIPING, AND START OF INSTALLATION OF SAME (INCLUDING SPRINKLER PIPING WHEN PRESENT ON JOB). ANY INSTALLATION OR CONSTRUCTION CONFLICTS WHICH OCCUR IN THE FIELD SHALL BE RESOLVED BY THE TRADE CONTRACTOR TO THE SATISFACTION OF THE OWNER AND ARCHITECT AND AT NO EXPENSE TO THE OWNER, ARCHITECT AND/OR GENERAL CONTRACTOR.

THE CONTRACTOR SHALL CONTACT THE ARCHITECT, ENGINEER OR OWNER PRIOR TO BIDDING FOR INTERPRETATIONS AND CLARIFICATIONS OF THE DESIGN AND INCLUDE IN HIS BID ALL COSTS TO MEET THE DESIGN INTENT. CLARIFICATIONS MADE BY THE ARCHITECT, ENGINEER OR OWNER AFTER BIDDING WILL BE FINAL AND SHALL BE IMPLEMENTED AT CONTRACTORS COST.

BIDDING CONTRACTORS SHALL HAVE A WORKING KNOWLEDGE OF LOCAL CODES AND ORDINANCES AND SHALL INCLUDE IN THEIR BIDS THE COSTS FOR ALL WORK INSTALLED IN STRICT ACCORDANCE WITH GOVERNING CODES, THE PLANS AND SPECIFICATIONS NOT WITHSTANDING, THE CONTRACTOR SHALL ALERT ARCHITECT, ENGINEER OR OWNER OF ANY APPARENT DISCREPANCIES BETWEEN GOVERNING CODES AND DESIGN INTENT.

NATIONAL ACCOUNTS

- SCHWANK INFRARED HEATER PACKAGE - THE MECHANICAL CONTRACTOR IS REQUIRED TO PURCHASE THE HEATER PACKAGE DIRECTLY FROM TOM BARROW COMPANY. CONTACT MR. SCOTT GEORGE AT 404-351-1010 FOR PRICING AND AVAILABILITY. HEATERS NOT PURCHASED THRU TOM BARROW COMPANY WILL NOT BE ACCEPTED.
- COOK FAN PACKAGE - THE MECHANICAL CONTRACTOR IS REQUIRED TO PURCHASE THE FAN PACKAGE DIRECTLY FROM TOM BARROW COMPANY. CONTACT MR. SCOTT GEORGE AT 404-351-1010 FOR PRICING AND AVAILABILITY. FANS NOT PURCHASED THRU TOM BARROW COMPANY WILL NOT BE ACCEPTED.



HEATER FAN SECTION - SIDE VIEW

NO SCALE



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

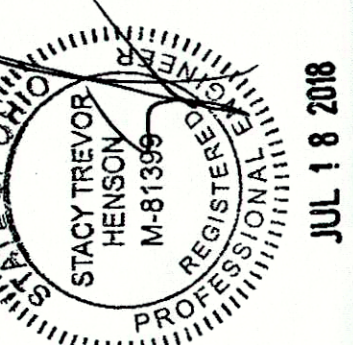
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SEAL
THIS DOCUMENT IS NOT FOR CONSTRUCTION
UNLESS THE ARCHITECT OR ENGINEER'S
SIGNATURE AND SEAL APPEAR BELOW.



STACY HENSON, P.E.

INTERPLAN

ARCHITECTURE
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INTERIOR DESIGN
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PROGRAM #3532

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AVE CINCINNATI OH
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SHEET TITLE
GAS PLUMBING
PLAN

VERSION: 2017-042
ISSUE DATE: 06/2018

Job No. : 18.0588

Store : 3532

Date : 06/2018

Drawn By : CH

Checked By: JL

Sheet

PII