

COLERAIN TOWNSHIP ZONING COMMISSION

Regular Meeting

Tuesday, February 16, 2016 - 6:00 p.m.

Colerain Township Government Complex
4200 Springdale Road - Cincinnati, OH 45251

1. Meeting called to order.
Pledge of Allegiance.
Roll Call.
Oath of Office.
2. Approval of Minutes: January 19, 2016 meeting.
3. Public Address: None.
4. Final Development Plan:
A. 8-88 – Dick’s Sporting Goods, 10180 Colerain Ave – Minor Modification to FDP.
5. Public Hearings:
A. ZA2016-01 – Text Amendment to add language to Waste Receptacles 12.5.2
6. Informal Concept Review: None.
7. Old Business: None.
8. New Business:
A. Initiation of Text Amendment – Signage
9. Administration: None.
10. Announcements: None.
11. Next Meeting: March 15, 2016.
12. Adjournment.



STAFF REPORT: **FINAL DEVELOPMENT PLAN
MINOR AMENDMENT
CASE #: ZA1998-08-03
COLERAIN TOWNE CENTER
10180 COLERAIN AVENUE**

FEBRUARY 16, 2016

PREPARED BY: **JENNA M. LECOUNT, AICP
DIRECTOR OF BUILDING,
PLANNING & ZONING**

PROJECT SUMMARY: The applicant proposes a Minor Amendment to the Colerain Towne Center Final Development Plan to add wall signage to the exterior of the former Hobby Lobby to accommodate a relocation of the Dick’s Sporting Goods within the retail center.

PROJECT HISTORY: The multi-tenant retail strip center was originally approved in 1988 and has been modified several time since the initial construction. The space for the proposed new Dick’s Sporting Goods was constructed as a Thriftway grocery and converted to Hobby Lobby in 2004. Hobby Lobby relocated to a different shopping center and Dick’s is proposing to relocate within the same shopping center to occupy the larger space vacated by Hobby Lobby. The site is zoned PD-B (Planned Development-Business)

 The current proposal seeks to completely renovate the façade of the Hobby Lobby and replace it with the Dick’s Sporting Goods prototype façade. This involves the removal of the canopy structure attached to the front of the building and construction of a vertical extension to the front wall of the building to accommodate a sign and accent the entrance to the store. Other decorative vertical elements are proposed to be added to the façade.

**CONFORMANCE WITH
COMPREHENSIVE PLAN:** The site is located at the southern tip of the Comprehensive Plan’s Banklick Creek Character Area. While the landfill consumes a majority of this area, the land use policy encourages the expansion of retail commercial development. Specifically, the Land Use Guidelines for the Banklick Creek Character Area detail that “Retail commercial uses are appropriate provided they are located along Colerain Avenue south of the Struble Road intersection.”

**CONFORMANCE WITH
ZONING RESOLUTION:** 1. The allowable size of a wall sign in the PD-B zone is based on the width of building frontage at a ratio of one square foot of sign area for every foot of building width with a maximum of 100 square feet. This strip center does not face a public street, so a variance would be needed to allow for a sign on a non-street front façade. The width of the proposed Dick’s tenant space is 234 feet, therefore the allowable sign area is capped at 100 square feet. The proposed sign is 282 square feet. The applicant is requesting flexibility regarding the standards to allow for an additional 182 square feet.

 2. The allowable maximum height of lettering on a wall sign is four feet. The proposed “Dick’s” letters are eight feet in height. The existing “Dick’s” letters are about eight feet in height and the applicant is requesting flexibility from the standards to allow for the additional four feet of letter height.

RECEIVED

DEC 22 2015

COLERAIN ZONING

APPLICATION FOR MINOR AMENDMENT TO
FINAL DEVELOPMENT PLAN
COLERAIN TOWNSHIP ZONING COMMISSION
4200 SPRINGDALE ROAD
CINCINNATI, OH 45251
(513) 385-7505

Case No.: ZA 8-88 Date Filed: 12/22/15

Location of property in accordance with County Auditor's Records:

Township: Colerain Book: 510 Page: Parcels: 510-0114-0103-00

Name of Owner: TKG Colerain Towne Center, L.L.C.

Address: 211 North Stadium Blvd, Suite 201

City: Columbia State: MD Zip: 65203

Name of Project Site: Colerain town Center

Brief description of change: See attached

Name of Applicant: TKG Colerain Towne Center, LLC & MCG Architecture

Telephone No.: 216.520.1551 Email Address: TGeorge@mcgarchitecture.com

Address: 7100 East Valley Road STE 320 City: Cleveland State: OH Zip: 44131

Signature: Robert J. Lee, as agent for TKG Colerain Towne Center, LLC

Date:

Please check one: ☒ Owner ☒ Agent ☐ Lessee

Filing fee shall accompany the application. Make check payable to: Colerain Township Board of Trustees. THERE SHALL BE NO REFUND OR PART THEREOF ONCE PUBLIC NOTICE HAS BEEN GIVEN.

RECEIVED

DEC 22 2015

COLERAIN ZONING

The Kroenke Group

Commercial Real Estate Development & Investment

Colerain Township
Planning and Zoning Department
Colerain, OH

Date: November 25, 2015

RE: Dick's Sporting Goods Signage
Colerain Towne Center

Dear Sir/Madam,

Dick's Sporting Goods will be relocating their existing store from their current position adjacent to Wal Mart to the left side anchor position once occupied by Hobby Lobby. This move represents a newer, more modern store with increased square footage and entrance presence in the Colerain Town Center. This is a re-commitment by Dick's to Colerain and the surrounding municipalities to remain a long term resident and contributor to the community.

As part of the move, the existing Hobby Lobby store will be completely rebuilt including all exterior elements to bring the new store up to the 2016 Dick's Sporting Goods Prototype Standards. This will include a new entrance feature that is 42 feet in height by 48 feet in width as opposed to the old style store that was 32 feet high by 41 feet wide. Hence, this is the reason for this application seeking a Minor Adjustment to the Development Plan.

This newer entrance feature will promote a more welcome feeling to those approaching the store, with greater open feelings due to additional glass, and the addition of the entrance canopy. The intention at this time is to maintain the existing letters set, through a thorough overhaul of their construction along with the addition of LED illumination and much lower energy usage.

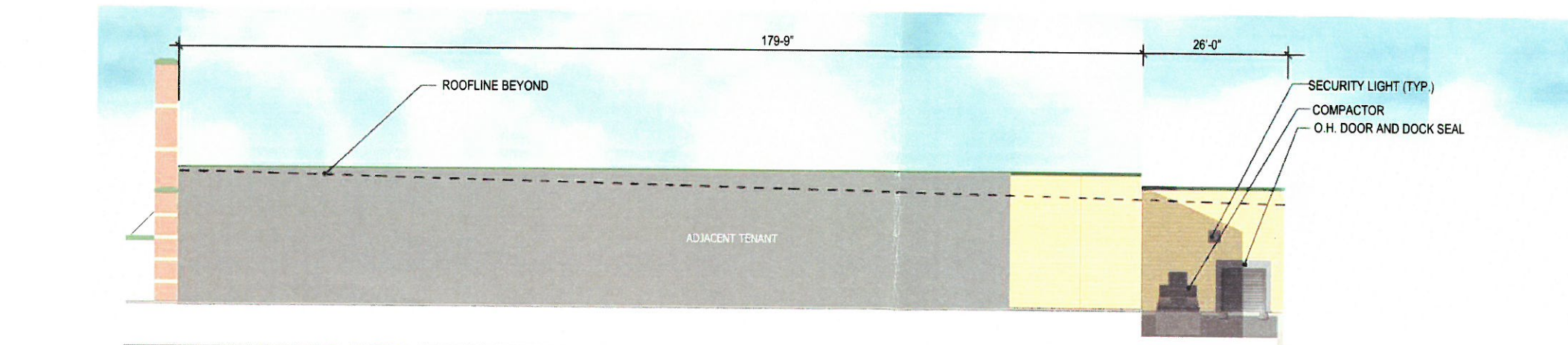
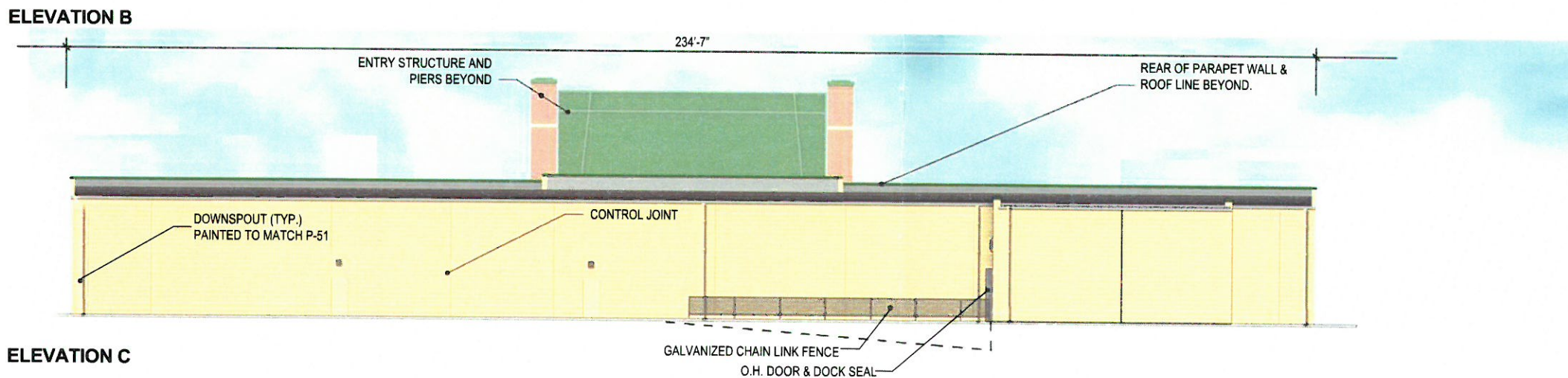
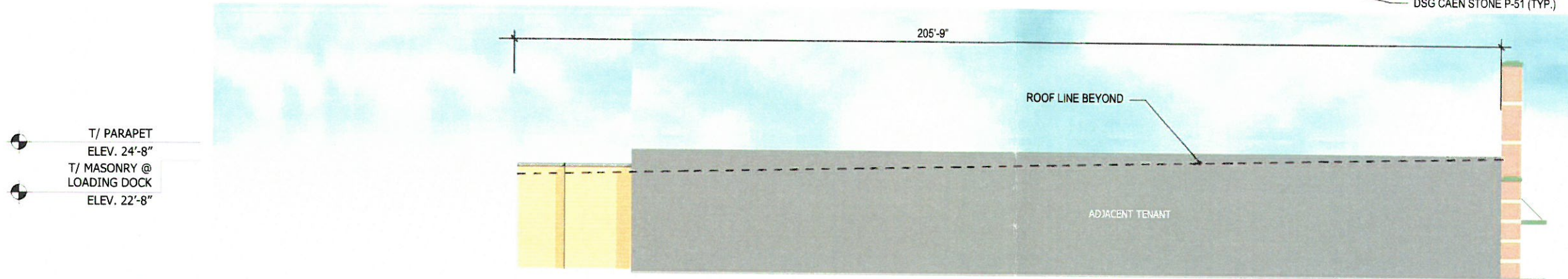
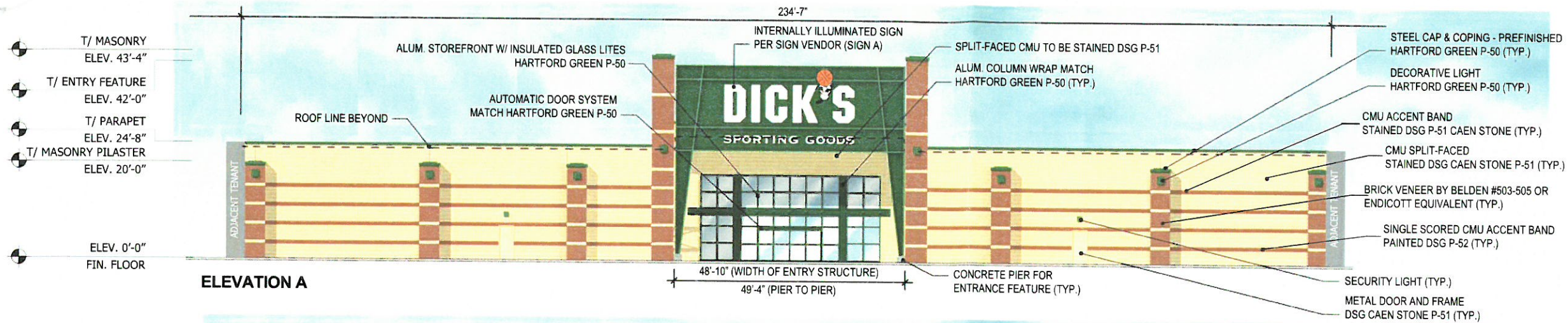
The complete renovations will bring a revised freshness to the Town Center along with an air of newness, increased growth, and a solid future.

Thank you in advance for considering our request for a Minor Amendment. We look forward to a continued strong partnership with Colerain.

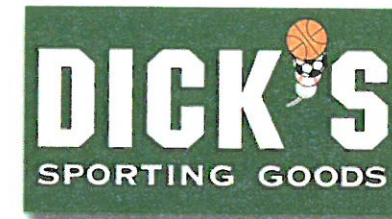
Sincerely,



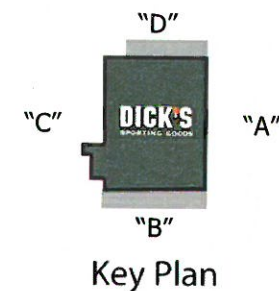
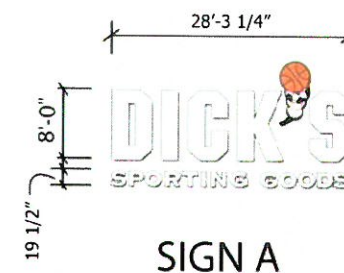
TKG Colerain Towne Center, L.L.C.
Robert Green, Designated and Authorized Agent



ELEVATION D All information contained on this exhibit is representative of the architectural materials and heights proposed to be used. This exhibit is NOT intended to be a Construction Document. All final adjustments will be incorporated into the Construction Documents and will be mutually agreed upon by the Landlord and Dick's Sporting Goods.













COLERAIN TOWN CENTER
CINCINNATI, OH
EXHIBIT K
Store #1260



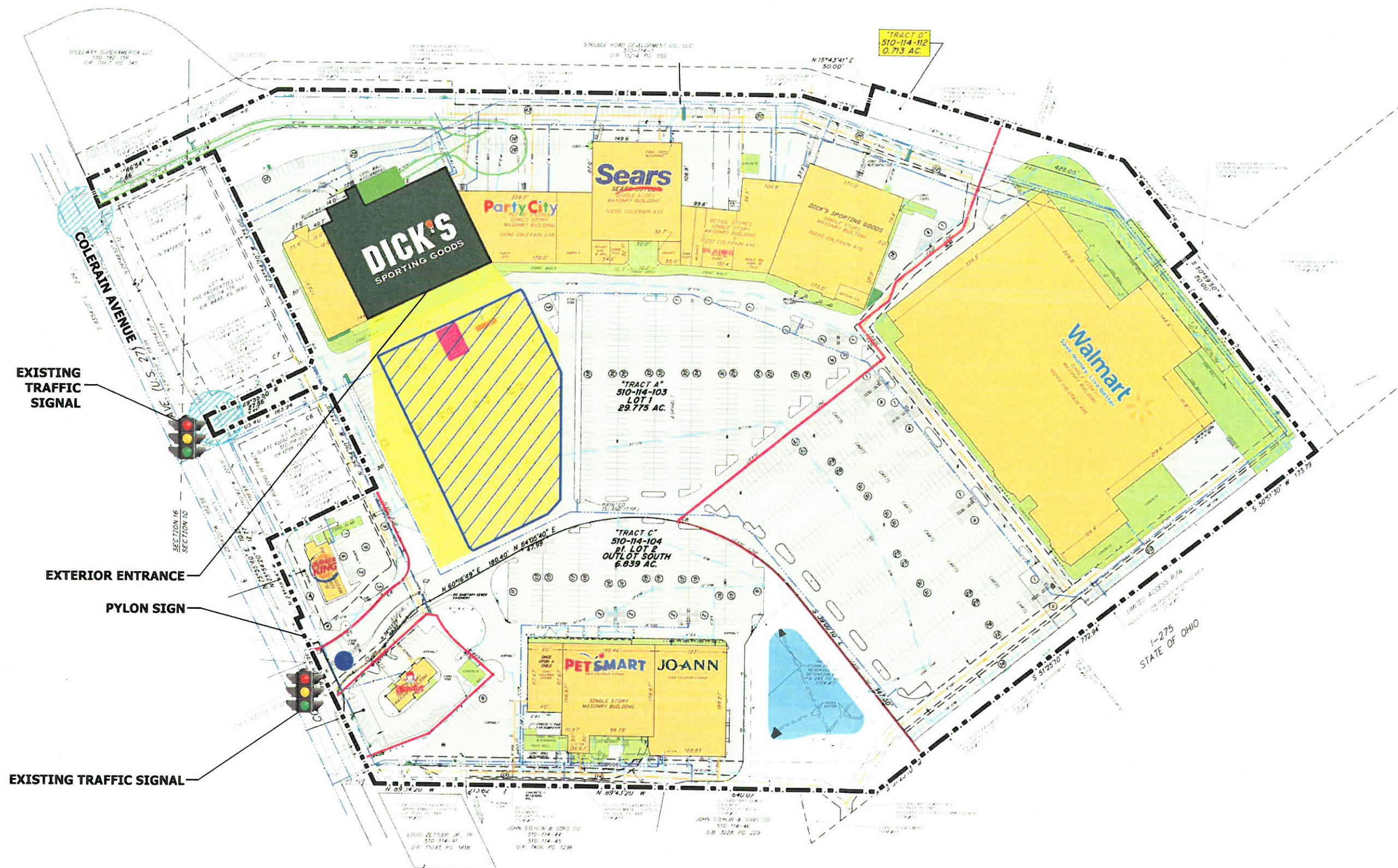
REV 1 _____
 REV 2 _____
 REV 3 _____
 REV 4 _____
 REV 5 _____
 DKS APPROVAL _____ DATE _____
 DKS APPROVAL _____ DATE _____
 LL APPROVAL _____ DATE _____



-  SHOPPING CENTER BOUNDARY
-  DSG PREMISES 43,907 SF
(234'-7"x179'-9")
-  PYLON SIGN
-  TENANT'S PREFERRED AREA
-  NO BUILD AREA
-  TENANT'S SERVICE AREA AND
SERVICE DRIVE
-  CRITICAL ACCESS WAYS
-  PROTECTED PARKING
194 PARKING SPACES
4.31/1,000 SF
-  EXPECTANT MOTHER PARKING SPACES
-  LEASE LINES

REV 1	1.29.15
REV 2	2.18.15
REV 3	
REV 4	
REV 5	

DKS APPROVAL _____ DATE _____
LL APPROVAL _____ DATE _____



DRAWINGS PREPARED FOR:

DICK'S

SPORTING GOODS

STORE #1260
COLERAIN TOWN CENTER
10180 COLERAIN AVE
COLERAIN, OH 45251

DRAWINGS PREPARED BY



677 Dunksferry Road | 978 S. Camino Oro Drive
Bensalem, PA 19020 | Goodyear, AZ 85338

(215) 826-0880
(215) 826-0514 www.i1ind.com

IMAGEONE SUPPLIED PRODUCT TABULATION

QTY	PRODUCT	DWG REFERENCE
1	ENTRANCE STRUCTURE	12834-2.0
1 SET	CANOPY BANDING W/SOFFIT PANELS	12834-3.0

U.L. NOTE

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



DWG. NO.	DESCRIPTION	REV.
12834-0.0	COVER SHEET	1
12834-1.0	EXTERIOR ELEVATION	0
12834-1.1	EXTERIOR SIGNAGE STEEL REQUIREMENTS & MTG DETAILS	0
12834-2.0	ENTRANCE SIGNAGE ELEVATION AND DETAILS	0
12834-2.1	STEEL SUPPORT TRUSS SECTIONS AND DETAILS	0
12834-2.2	TAGLINE BEAM SECTIONS AND DETAILS	0
12834-2.3	TOP BEAM SECTIONS AND DETAILS	0
12834-2.4	LEG FRAMING, SECTIONS AND DETAILS	0
12834-3.0	CANOPY BANDING W/ SOFFIT PANEL DETAILS	0

GENERAL NOTES

1. STRUCTURAL FRAMING DEPICTED ON THESE DRAWINGS IS DESIGNED IN ACCORDANCE WITH THE 2011 Ohio Building Code (BASED ON THE 2009 IBC)

DESIGN LOADS: WIND LOAD

BASIC WIND SPEED (3 SEC GUST) = 90 MPH
WIND IMPORTANCE FACTOR I_w = 1.0
OCCUPANCY CATEGORY = I
WIND EXPOSURE = C

MAIN WIND FORCE RESISTING SYSTEM

HEIGHT	INTERIOR ZONE	END ZONE
FULL	10.0 PSF	12.83 PSF

COMPONENTS AND CLADDING WIND LOADS (PSF) FOR WALLS

EFFECTIVE AREA (SQ. FT.)	ZONE							
	INTERIOR				EXTERIOR			
HEIGHT	10	20	50	100	10	20	50	100
0-30	15.8	15.1	14.3	13.6	19.5	18.2	16.5	15.1
35	16.6	15.9	15.0	14.3	20.5	19.1	17.3	15.9
40	17.2	16.5	15.6	14.8	21.3	19.8	18.0	16.5
45	17.7	16.9	16.0	15.2	21.8	20.4	18.5	16.9

Components and cladding: use the most stringent wind load obtained from code, underwriter criteria (Factory Mutual etc.), and the project specifications. Cladding manufacturer shall consider increased pressure coefficients at building perimeter, corners, eaves and rakes. Loads noted in general notes are obtained from code.

SEISMIC

S_s = 0.174g
 S_1 = 0.074g
 $S_{0.5}$ = 0.185g
 $S_{0.1}$ = 0.119g

Seismic importance factor (I_e) = 1.0
Occupancy Category = II
Seismic design category = B
Seismic site class = D
Response Modification factor (R) = 2.0
Seismic Response Coefficient (C_s) = 0.0925
Basic seismic force resistance system = Ordinary reinforced masonry shear walls

Analysis procedures = Equivalent lateral force method
Design base shear (V) = .0925k

STRUCTURAL STEEL

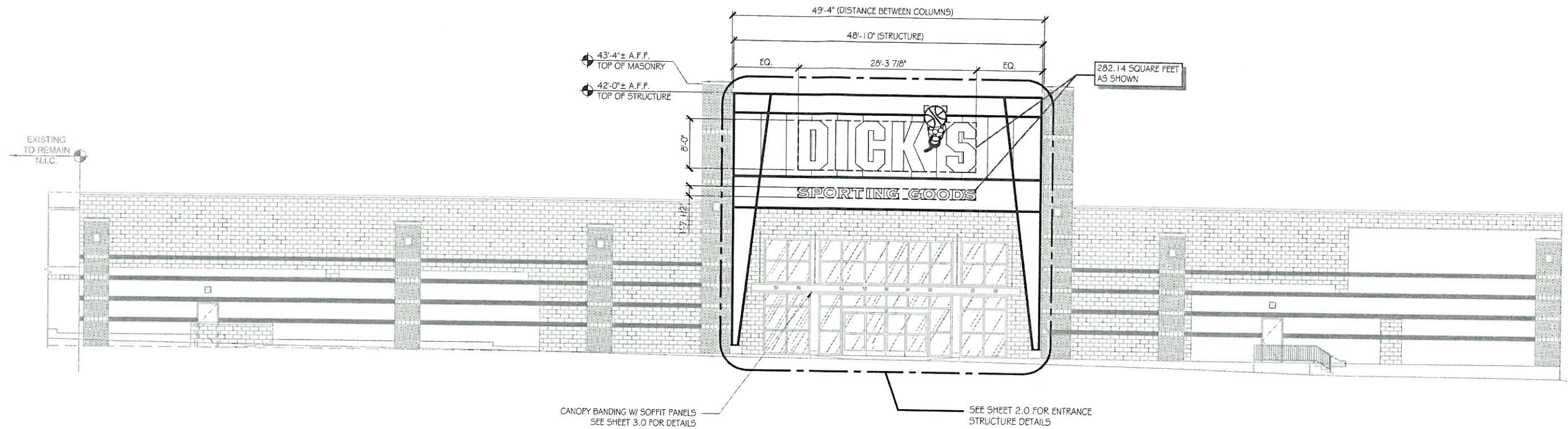
1. ALL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDING".

2. MATERIALS:

STRUCTURAL: UNLESS OTHERWISE NOTED

HSS MEMBERS - ASTM A 500, GRADE B
TUBE STEEL - ASTM A500 GRADE B,
W-SHAPES - ASTM A992
CHANNELS, ANGLES, PLATES - ASTM A36
ROUND PIPE - ASTM A53 GRADE B
ALUMINUM - ASTM 6061-T6
REBAR, REINFORCEMENT - ASTM A615 GRADE 60
CONCRETE - 3000psi
SOIL BEARING CAPACITY - 2500psi
BOLTS - ASTM A325

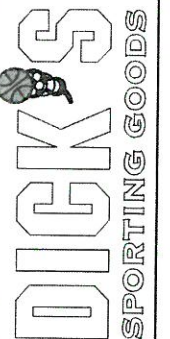
3. ALL WELDING BY CERTIFIED WELDERS AND IN ACCORDANCE WITH AWS D1.1 LATEST EDITION, STRUCTURAL WELDING CODE.



1 FRONT ENTRANCE ELEVATION
 SCALE: 1/8" = 1'-0"

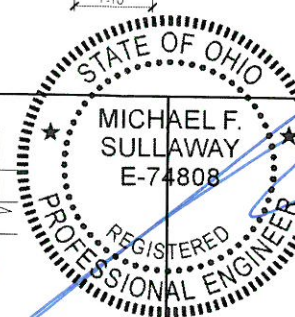
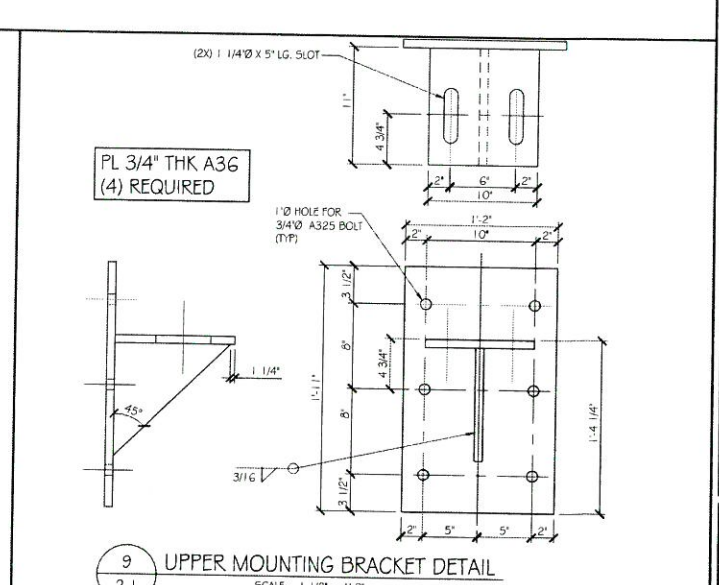
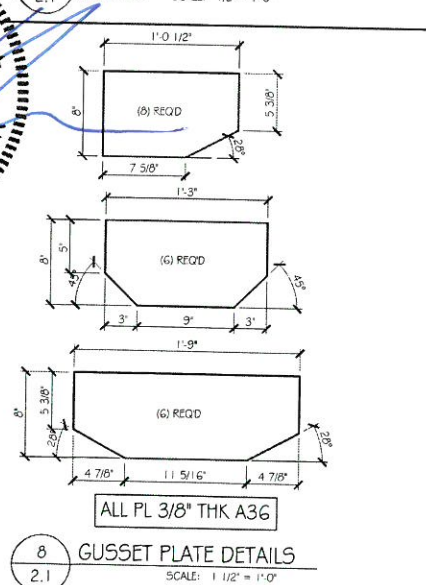
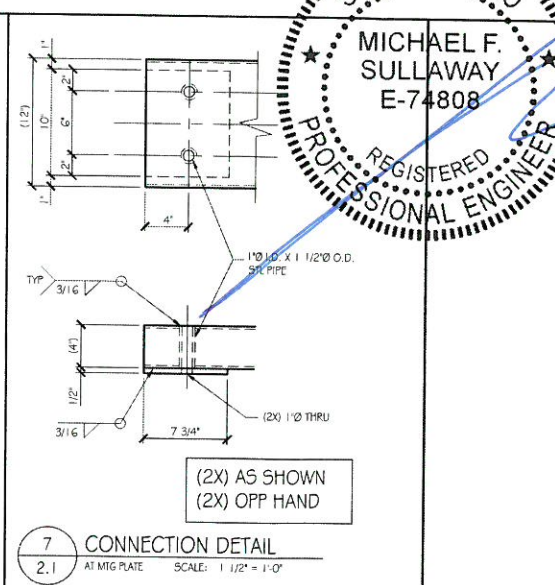
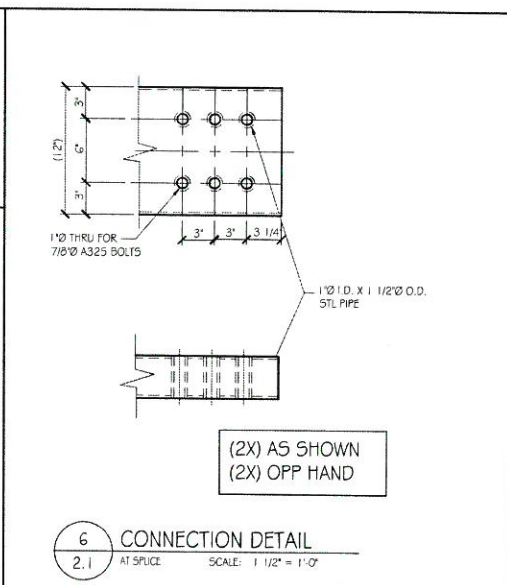
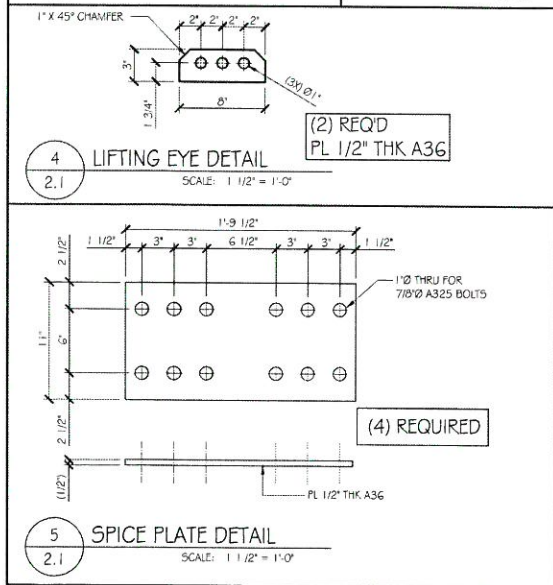
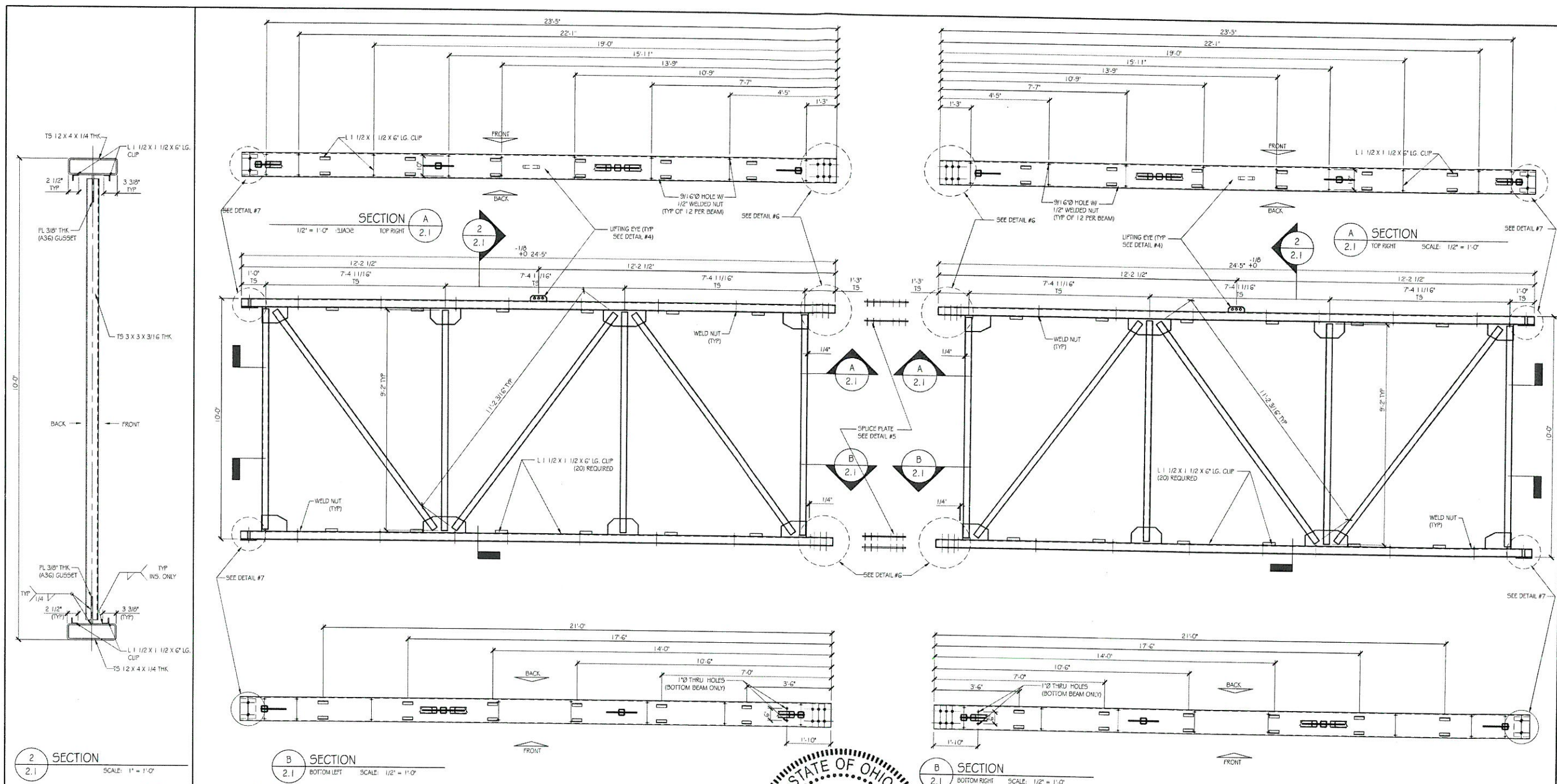


REV	DATE	DESCRIPTION	BY



LOCATION	STORE #1260 COLERAIN TOWN CENTER 10160 COLERAIN AVE COLERAIN, OH 45251
DRAWING TITLE	FRONT BUILDING ELEVATION

DESIGN BY	DATE
GDB	11.30.15
DWG #	SCALE
12-834	AS NOTED
DRAWING NUMBER	



imageone industries
877 Dunsmuir Road
Bensalem, PA 19019
(215) 624-4980
www.imageone.com

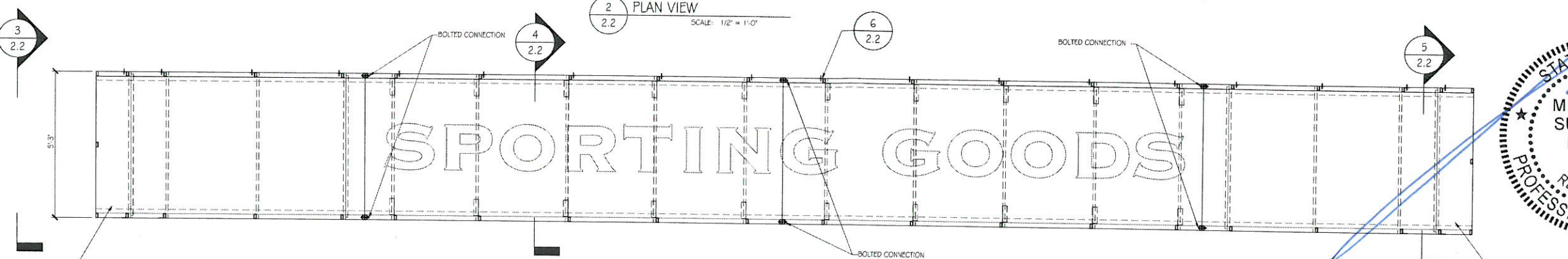
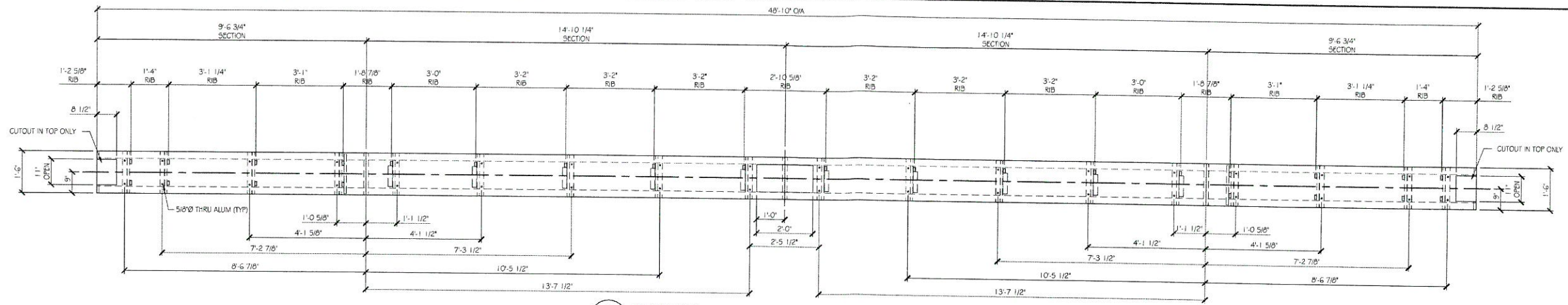
REV	DATE	REVISIONS	DESCRIPTION

DICK'S SPORTING GOODS

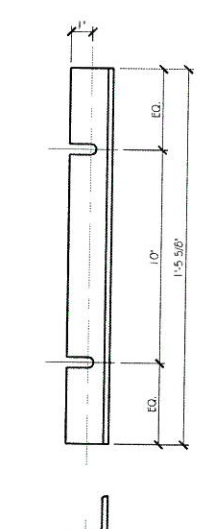
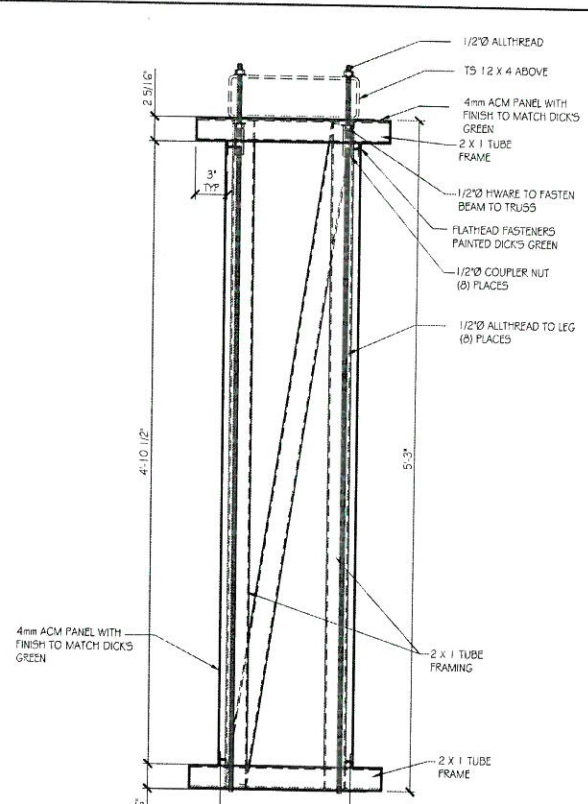
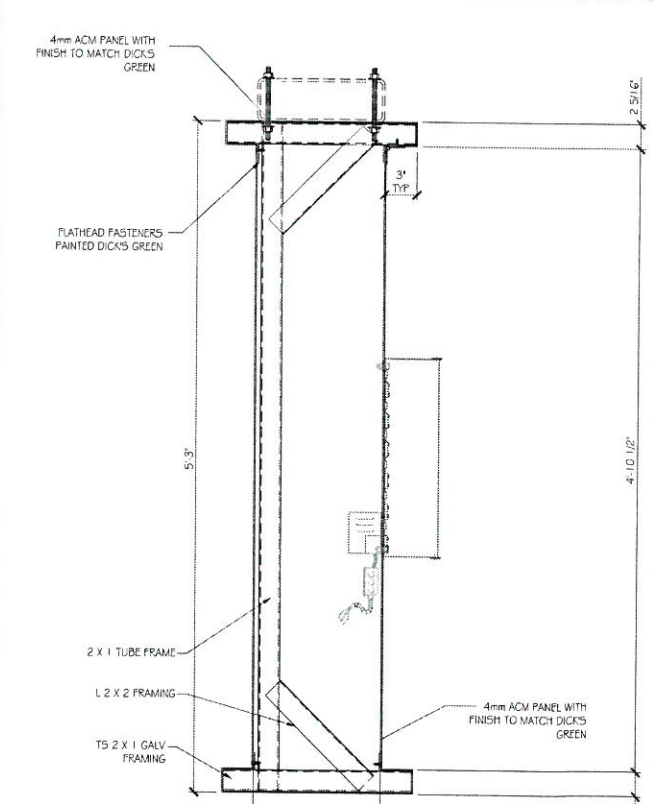
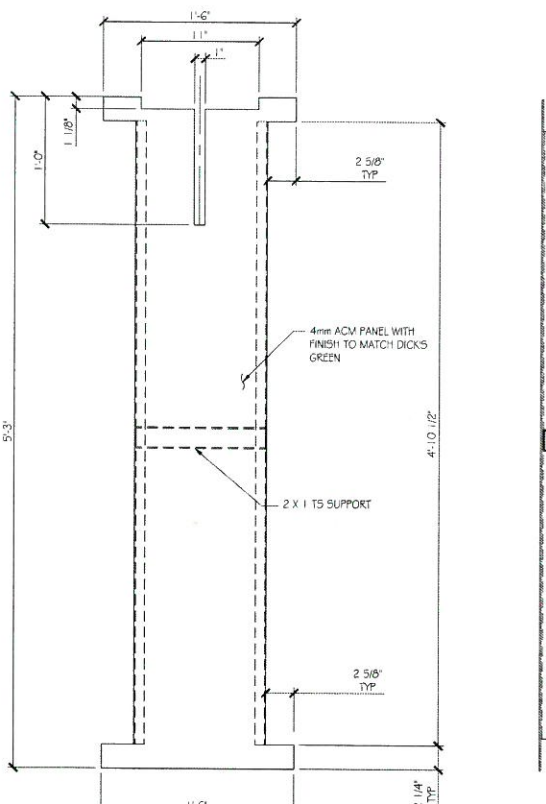
STORE #1260
COLERAIN TOWN CENTER
10180 COLERAIN AVE
COLERAIN, OH 45251

ENTRANCE STRUCTURE
STEEL SUPPORT TRUSS
SECTIONS AND DETAILS

DESIGNED BY GDB	DATE 11.30.15
DRAWN BY 12-034	SCALE AS NOTED
DRAWING NUMBER 12834-2.1	



NOTE: BEAM TO BE SHIPPED IN (4) SECTIONS



3 END CAP DETAIL
SCALE: 1/2" = 1'-0"

4 SECTION VIEW
SCALE: 1/2" = 1'-0"

5 SECTION VIEW
SCALE: 1/2" = 1'-0"

6 MOUNTING ANGLE
SCALE: 3" = 1'-0"

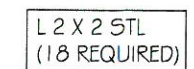
REV	DATE	DESCRIPTION	BY

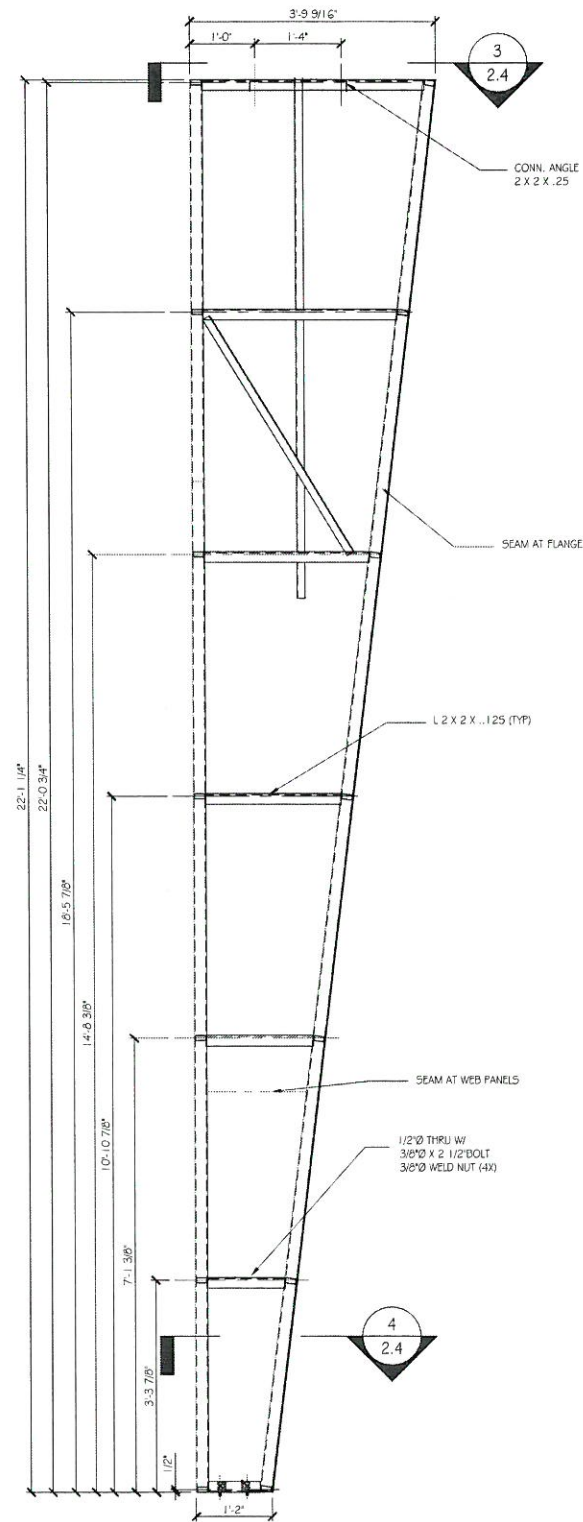
DICK'S SPORTING GOODS

STORE #1260
COLERAIN TOWN CENTER
10180 COLERAIN AVE
COLERAIN, OH 45251

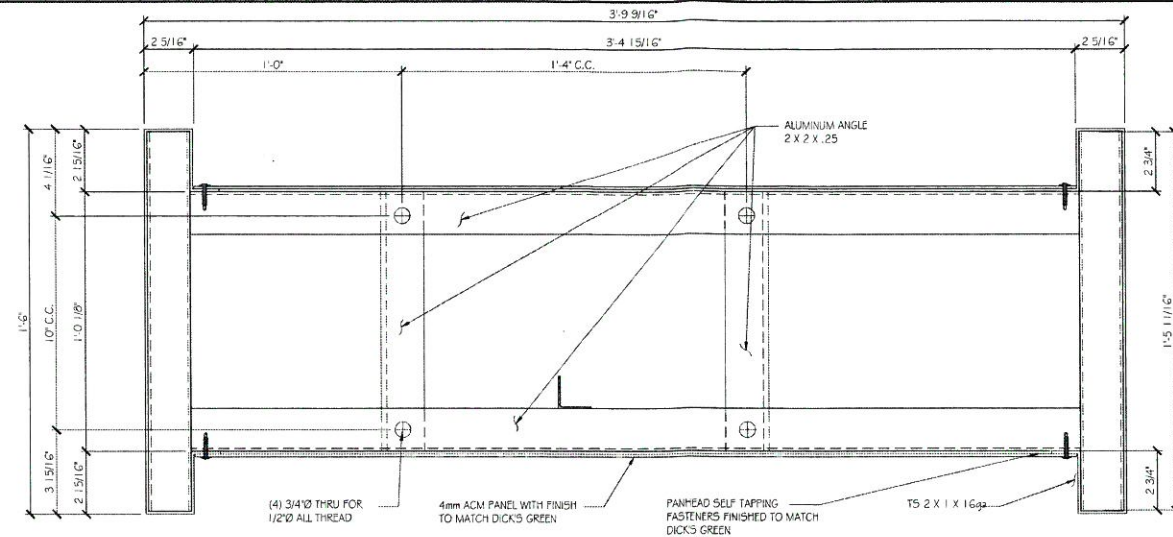
ENTRANCE STRUCTURE
TAGLINE BEAM
SECTIONS AND DETAILS

DATE: 11.30.15
SCALE: AS NOTED
DRAWING NUMBER: 12834-2.2

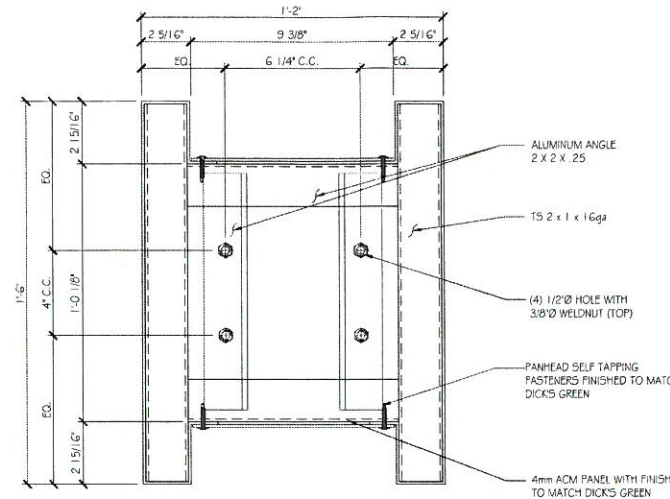




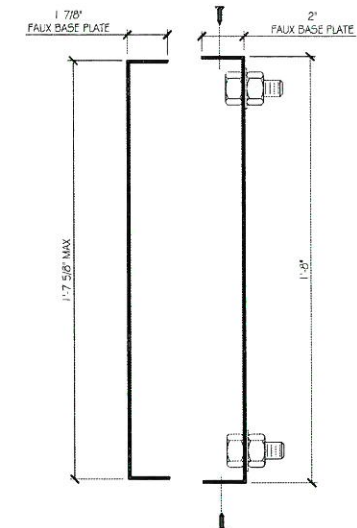
1 LEG DETAIL
2.4 LEFT SCALE: 3/4" = 1'-0"



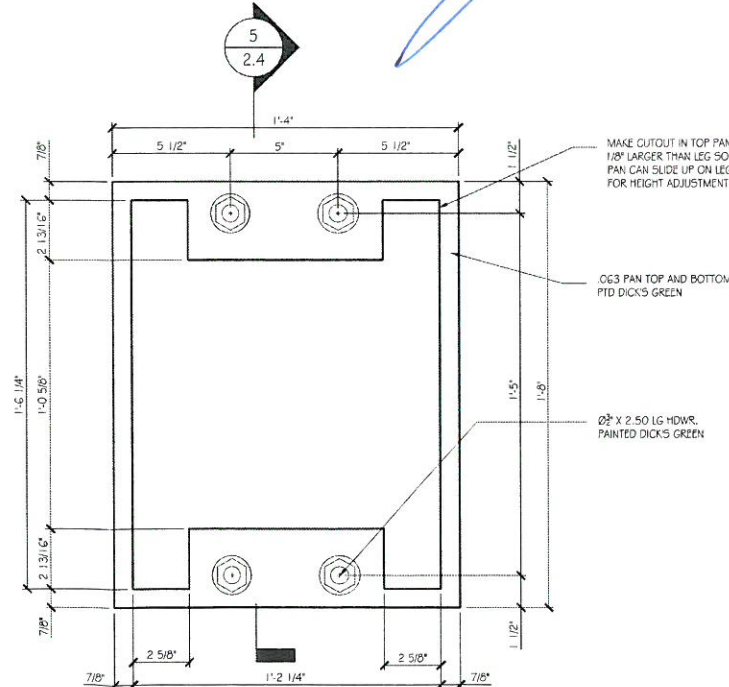
3 DETAIL VIEW
SCALE: 3" = 1'-0"



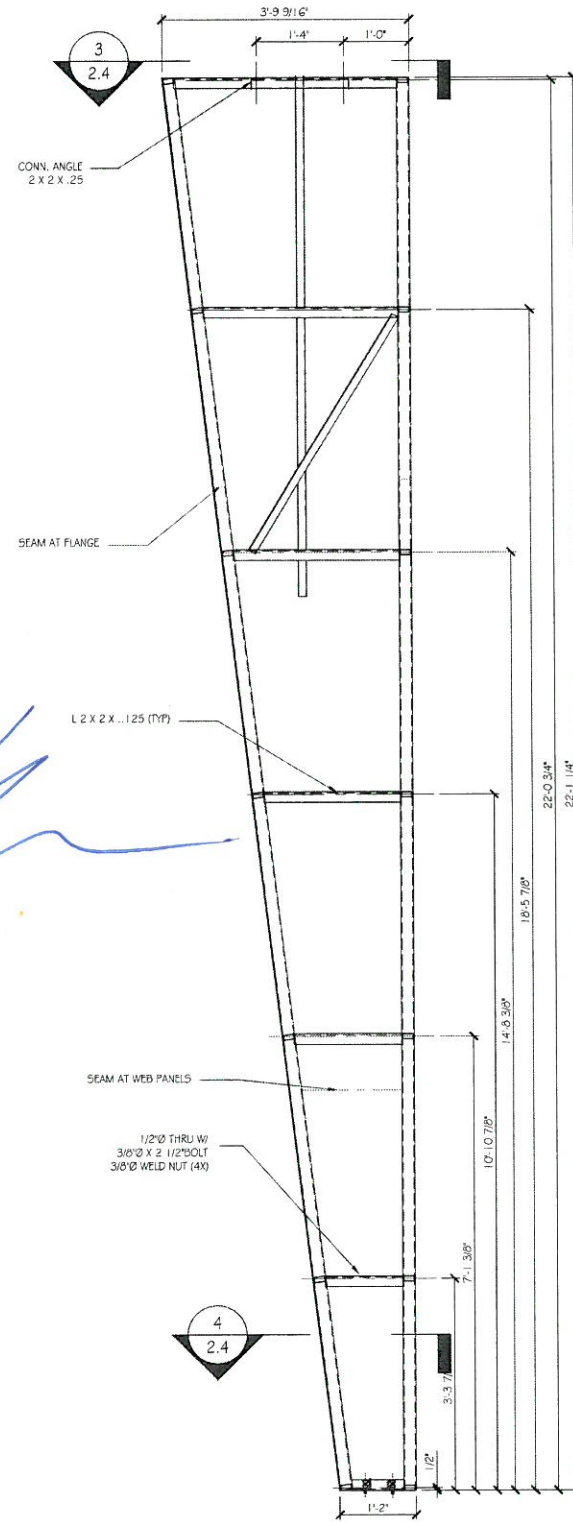
4 DETAIL VIEW
SCALE: 3" = 1'-0"



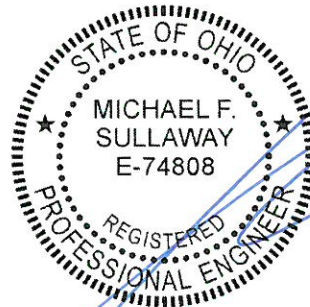
5 SECTION VIEW EXPLODED
SCALE: 3" = 1'-0"



6 BASE PAN (2 PC)
SCALE: 3" = 1'-0"



2 LEG DETAIL
2.4 RIGHT SCALE: 3/4" = 1'-0"



REV	DATE	DESCRIPTION	BY



LOCATION	STORE #1260 COLERAIN TOWN CENTER 10180 COLERAIN AVE COLERAIN, OH 45251
PROJECT	ENTRANCE STRUCTURE LEG FRAMING SECTIONS AND DETAILS

DRAWN BY	GOD	DATE	11.30.15
CHECKED BY	12.834	SCALE	AS NOTED
PROJECT NUMBER	12834-2.4		



STAFF REPORT: TEXT AMENDMENT
CASE #: ZA 2016-01
WASTE RECEPTACLE
PLACEMENT
FEBRUARY 16, 2016

PREPARED BY: JENNA M. LECOUNT, AICP
DIRECTOR OF BUILDING,
PLANNING & ZONING

PROJECT SUMMARY: This amendment to Chapter 12.5.2 of the Zoning Resolution is to allow for the placement of waste receptacles that are 32 gallons or larger in the front driveway if stored against the house where such placement is currently prohibited. This amendment was initiated by the Colerain Zoning Commission on December 15, 2015.

ZONING SUMMARY: Chapter 12.5 of the zoning resolution governs the placement of trash containers on agricultural or residential properties. The intent is to screen unsightly trash containers from public view on days on which trash is not being collected. Since the adoption of this standard, there has been instances where it is not feasible for residents to store waste receptacles in the side yard due to physical barriers or the nature of the housing type. This amendment is intended to address situations where the requirement as currently written causes an undue hardship to Colerain residents. The specific text amendment allows for the placement of waste receptacles against the front wall of a house in the front driveway.

The proposed language is as follows:

12.5 Waste Receptacles

Trash receptacles, dumpster, or other containers intended for the temporary holding of trash, refuse, garbage or other discarded materials until it is hauled away, shall be set back from agricultural or residential properties as follows:

12.5.1 Waste receptacles smaller than 32 gallons in size shall not have to meet any setback requirements in any zoning district.

12.5.2 Waste receptacles that are 32 gallons or larger in size shall only be permitted in the side or rear yard or in the front driveway if stored against the house.

12.5.3 Waste receptacles or dumpsters in excess of 2 yards in volume capacity (including a combination of individual receptacles with a total of more than 2 yards of capacity) shall be screened from view. (Amended 8/12/08)

OTHER AGENCY REVIEW:

Hamilton County Regional Planning Commission (HCRPC)
Regional Planning Commission moved to recommend approval of the proposed text amendment at the February 4th, 2015, meeting. Please see the attached staff report for additional detail on staff findings. RPC staff commented that further flexibility be added to allow the containers to be placed on any paved surface against the front wall of the house in case the driveway leads to a rear detached garage or is not in front of the house.

CONCLUSIONS:

Colerain Township has recently entered into a waste contract agreement with Rumpke and this will provide 96 gallon trash cans to all residents. Concerns have been expressed about moving and storing these larger receptacles into the side and rear yards of some residents. This text amendment would eliminate this hardship for some.

RECOMMENDATION: APPROVAL of the text amendment as requested. The recommendation made at this meeting will be forwarded to the Colerain Township Trustees for an additional public hearing and final action.

MEMORANDUM

DATE: FEBRUARY 16, 2016
TO: COLERAIN TOWNSHIP ZONING COMMISSION
FROM: JENNA M. LECOUNT, AICP, DIRECTOR OF BUILDING, PLANNING & ZONING
SUBJECT: INITIATION OF TEXT AMENDMENT MODIFYING LANGUAGE TO ADDRESS WALL SIGNAGE IN COMMERCIAL DISTRICTS

SUMMARY

Per the recent request of this Board, Staff has drafted a text amendment to the zoning code to specifically address wall signs in some commercial zones. The draft text amendment would amend Article 15 Section 8 of the zoning resolution to allow for additional wall signage on properties which immediately abut primary access drives in commercial centers. Staff is requesting that the Zoning Commission consider the modified language of this text amendment.

SUGGESTED CHANGES

15.8.3 Signs Permitted in any “B-2”, “B-3”, “I-1”, “SWD”, “ME”, “PD-B”, “PD-I”, or “PD-M” District

The following on-premises signs may be permitted in any “B-2”, “B-3”, “I-1”, “SWD”, “ME”, “PD-B”, “PD-I”, or “PD-M” District.

(G) Wall Signs

- (1) Wall signs may be permitted at a ratio of 1.0 square foot for each lineal foot of building frontage.
- (2) The maximum height of any wall sign, measured from the bottom of the sign to the top of the sign, shall be 4 feet in height.
- (3) The total sign area of all wall signs on a single building frontage shall not exceed 150 square feet.
- (4) Buildings located on a corner lot may be permitted to have wall signs on each frontage provided that they meet the requirements of this section.
- (5) Buildings located within a commercial center or complex which has an elevation immediately adjacent to and facing a primary access drive may be permitted to have a wall sign per business on that frontage in addition to or in lieu of a sign facing a public street provided that they meet the requirements of this section and would be permitted at a ratio of 0.5 square foot for each lineal foot of the building elevation or tenant space facing such primary access drive, whichever is smaller. The total sign area of a wall sign on this single building elevation facing such primary access drive shall not exceed 100 square feet.

PROCESS

Once the Zoning Commission initiates the text amendment, specific changes to zoning code text are sent to Hamilton County Regional Planning Commission for review and comment. With the County Regional Planning Commission’s comments and recommendations, the text amendment will then come back to the Zoning Commission for review and recommendation to the Trustees. The Trustees will then vote on the proposed amendment.

REQUESTED MOTION

Move to initiate a text amendment to modify language to address wall signage in commercial districts.