

COLERAIN TOWNSHIP ZONING COMMISSION
Regular Meeting
Tuesday, March 17, 2015 - 7:00 p.m.

Colerain Township Government Complex
4200 Springdale Road - Cincinnati, OH 45251

1. Meeting called to order. Pledge of Allegiance. Roll Call.
2. Approval of Minutes: February 17, 2015 meeting.
3. Public Address: None.
4. Final Development Plan:
 - A. ZA2014-09 – Chick-fil-A
 - B. ZA2001-04 – Forevergreen – Request extension of FDP
5. Public Hearing: None.
6. Informal Concept Review: None.
7. Old Business: None.
8. New Business: None.
9. Administration: None.
10. Announcements: None.
11. Next Meeting: Tuesday, April 28, 2015.
12. Adjournment.



STAFF REPORT:

FINAL
DEVELOPMENT PLAN
CASE #: ZA 2014-0009
CHICK-FIL-A
MARCH 17, 2015

PREPARED BY: JULIA K. BRODSKY

PROJECT The applicant proposes to construct a new 4,592 SF restaurant.
SUMMARY:

PROJECT Informal Concept Hearing | Zoning Commission: October 21, 2014

HISTORY: Regional Planning Commission | RPC: Recommended Approval (6-0) January 8, 2015

Preliminary Development Plan | Zoning Commission: Recommended Approval (5-0) January 20, 2015 with the following conditions:

Conditions:

1. That the development shall contain a minimum of 15% common open space in compliance with Table 9-2 of the Zoning Resolution.
2. That a detailed analysis shall be provided for the entire shopping center that meets Section 13.3 of the Zoning Resolution.
3. That a minimum of 15 foot streetscape buffer yard shall be provided along Colerain Avenue and Mall Drive in compliance with Section 15.4.1 of the Zoning Resolution.

Preliminary Development Plan | Trustees: Approved (3-0) February 24, 2015 with the following conditions:

Conditions:

1. That the development shall contain a minimum of 15% common open space in compliance with Table 9-2 of the Zoning Resolution.
2. That a detailed parking analysis shall be provided for the entire shopping center that meets Section 13.3 of the Zoning Resolution.
3. That a minimum of 15 foot streetscape buffer yard shall be provided along Colerain Avenue in compliance with Section 15.4.1 of the Zoning Resolution.
4. That the existing landscaped area on Mall Dr. be improved with landscaping per Section 15.4.1 of the Zoning Resolution.

REVIEW OF FDP: Findings

LANDSCAPING Streetscape Buffer:

- Due to the shape of the Right-of-Way, the applicant proposes an irregular streetscape buffer area along Colerain Avenue that meets the intent of the streetscape buffer requirement. On Mall Rd., the Trustees are permitting the applicant to make improvements within the ROW consistent with the landscaping requirements of the streetscape buffer area.
- Applicant proposes 7 trees on Colerain where 7 are required.
- Applicant proposes 3 trees on Mall where 5 are required.
- Applicant proposes 75 SF of landscaped area on Colerain where 265 SF is required
- Applicant proposes no landscaped area on Mall where 205 SF is required.

REVIEW OF FDP: Parking Area:

- LANDSCAPING (CONTINUED)**
- Applicant proposes to landscape approximately 11% of the parking area where 15% is required.
 - Applicant proposes two parking islands which are required to have at a minimum 1 tree and 2 shrubs. The parking island on mall road has no trees or shrubs. The parking island on Colerain has 7 shrubs.
 - Applicant proposes a parking island on Colerain that is approximately 7.5' in width where 9 feet are required.

REVIEW OF FDP: Findings:

- LIGHTING**
- Average illumination on the parking area is 1.8 fc where less than 2.0 fc is required.
 - Applicant proposes 22' lights where 24' or less is required.

REVIEW OF FDP: Findings:

- PARKING**
- Applicant proposes 39 parking spaces (37 regular spaces and 2 accessible spaces). The zoning resolution proscribes 15 spaces per 1,000 SF of gross floor area or 69 spaces in this case. The applicant proposes that 30 of the required number of spaces to be designated as shared spaces.
 - No shared parking agreement was submitted.
 - The applicant proposes parking stalls with dimensions ranging from 9' by 16.5' and 9' by 18.5' where a minimum of 9' by 19' is required.
 - The applicant proposes one 26' two-way drive aisle on the east side of the building and one 28.7' drive aisle on the north side of the building where a minimum of 24' is required.
 - The applicant does not show the number of stacking spaces for the two drive-thru aisles. A minimum of 8 stacking spaces per lane are required.

REVIEW OF FDP: Findings:

SIGNAGE Wall Signage:

- The applicant proposes four wall signs where only two are permitted
- The applicant proposes that two of the wall signs be 7'1" in height where 4' is the maximum permitted.

<u>Elevation</u>	<u>Area (SF)</u>	<u>Height (feet)</u>	<u>SF Permitted</u>	<u>Ht Permitted</u>
North	41.19	7'1"	55.3	max 4'
South	41.19	7'1"	0	
West	37.67	4'	93.3	
East	37.67	4'	0	
Total	157.72			

Freestanding Signage:

- The site has an existing non-conforming freestanding sign which greatly exceeds the maximum signage for the site. Staff recommends making use of the existing sign and not permitting any new free standing signage.
- One new monument sign is proposed on the site along Colerain Avenue.
- The applicant proposes the monument sign to be 80 SF at a height of 15' where the maximum area permitted is 88.5 SF and the maximum height permitted is 15'

REVIEW OF FDP: Findings:

OTHER CONSIDERATIONS

- Impervious Surface Ratio - The site currently has an ISR of approximately 98%. The proposed site has an ISR of 82.4% where the maximum ISR is 75%.

- Dumpsters - The dumpsters are appropriately located on the south-eastern corner of the site and are properly screened

- Architectural Design Standards

- The zoning resolution requires that the building have 3-dimensional cornice treatments that extend at least 8" from the parapet facade plain.

- The zoning resolution requires that all roof-based mechanical equipment be screened from view with a parapet wall with cornice. It is not clear from the drawings that the mechanicals are appropriately screened.
- The applicant proposes 16.67% open space on the property which exceeds the required 15%
- The applicant provided a parking analysis of the larger site.

RECOMMENDATION: Staff recommends **APPROVAL** of this Final Development Plan with the following conditions and variances:

Conditions

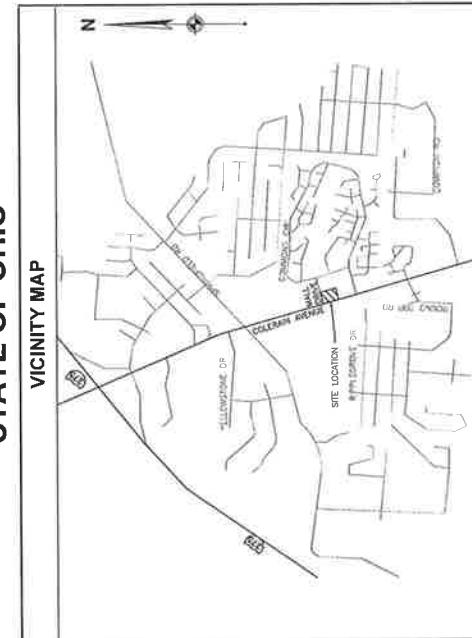
1. Applicant shall shorten the width of the drive aisle to not less than 24' to allow parking stalls to meet the minimum length of 19' per §13.4.3 (A) of the zoning resolution.
2. Applicant shall illustrate the required number of stacking spaces in the drive-thru aisles per §13.5.1 of the zoning resolution.
3. Any roof-based mechanical equipment that may be visible shall be screened from view per §12.11 of the zoning resolution.
4. Wall signage on the north and west elevation shall not exceed 4' in height per §15.8.2 (D) (2) of the zoning resolution. Additional wall signage shall not be permitted.
5. Applicant shall obtain a revokable license from the Township to make landscaping improvements within the right-of-way per condition #4 of the PDP
6. Applicant shall update the landscaping plan to show 5 trees and 205 SF of Landscaped Area in the landscaped portion of Mall Rd.
7. Applicant shall update the landscaping plan to show 265 SF of landscaped area in the Streetscape Buffer Yard on Colerain Ave.
8. Applicant shall update the landscaping plan to show a minimum of 1 tree and 2 shrubs in each parking island
9. Applicant shall update the site plan to show parking islands with a minimum width of 9'
10. Applicant shall comply with the rules found in §13.4.7 (B) of the zoning resolution related to shared parking.
11. No additional freestanding signage shall be added to the site.

Variances

1. **Table 8-2 Business Site Development Standards** - The applicant shall be permitted to have an Impervious Surface Ratio of 82.4%.
2. **§14.6.1 - Minimum Landscaping Requirement for Parking Area** - Applicant shall be permitted to install landscaping that covers 11% of the parking area.
3. **§12.11.1 - Architectural Standards** - Building shall be permitted as shown, so long as rooftop mechanicals are screened from view.



**PRELIMINARY ENGINEERING PLANS
COLERAIN COMMONS (CINCINNATI)**
**9470 COLERAIN AVENUE
HAMILTON COUNTY
STATE OF OHIO**



UTILITY CONTACTS

ELECTRIC SERVICE:	SANITARY SEWER SERVICE:
CHICK-FIL-A, INC. ADDRESS: 9470 COLERAIN AVENUE, HAMILTON, OH 45015 PHONE: 513-733-3300 EMAIL: huck.hill@chickfilainc.com	OHIO WATERWAYS AUTHORITY ADDRESS: 1000 BERNARD DRIVE, CINCINNATI, OH 45247 PHONE: 513-727-4700 EMAIL: info@ohiowaterways.com
GAS SERVICE:	STORM SEWER SERVICE:
CHICK-FIL-A, INC. ADDRESS: 9470 COLERAIN AVENUE, HAMILTON, OH 45015 PHONE: 513-733-3300 EMAIL: huck.hill@chickfilainc.com	HAMILTON HILLIER SEWER DISTRICT ADDRESS: 301 LEE STREET, HAMILTON, OH 45015 PHONE: 513-733-1121 EMAIL: info@hamiltonhilliersd.org
TELEPHONE:	WATER SERVICE:
CHICK-FIL-A, INC. ADDRESS: 9470 COLERAIN AVENUE, HAMILTON, OH 45015 PHONE: 513-733-3300 EMAIL: huck.hill@chickfilainc.com	AMERICAN WATER WORKS ADDRESS: 1111 SOUTHERN MEADOWS ROAD, CHICAGO, IL 60645 PHONE: 773-380-2400 EMAIL: amwater@amwater.com
BENCHMARK:	
THE BASE OF DRAUGHTON HOLLOW IS LOCATED P/C NO. SET - 32. DRAUGHTON HOLLOW ELLIOTSON & ROBERTS	

BENCHMARK:
THE BASE OF DRAUGHTON HOLLOW IS LOCATED
P/C NO. SET - 32. DRAUGHTON HOLLOW
ELLIOTSON & ROBERTS

APPLICANT/DEVELOPER:
CHICK-FIL-A, INC.
5200 BUFFINGTON RD.
ATLANTA, GEORGIA 30349-2998
CONTACT: JASON HILL
PHONE: 404-684-8530

PROPERTY OWNER:
HAUCK HOLDINGS, LTD
4334 GLENDALE-MILFORD ROAD
CINCINNATI, OH 45242
CONTACT: SCOTT HULL
PHONE: 513-733-3300

PREPARED BY:
W
WOOLPERT
engineering architectural interior design

1111 Southern Meadows Road
Suite 120
Oakbrook Terrace, IL 60181
FAX: 630.495.3731

C-0.0

Revisions:	Mark Date By _____
Mark Date By _____	Mark Date By _____
Mark Date By _____	Mark Date By _____
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Mark Date By _____

DRAWING INDEX
COVER SHEET
DEMOLITION PLAN
SITE PLAN
GRADE/EROSION CONTROL PLAN
UTILITY PLAN
STORM SEWER PROFILES
WATER SERVICE PLAN/PROFILE
STANDARD DETAILS
SITE DETAILS
LANDSCAPE PLAN
LIGHTING PLAN

Version:	V8.7
Issue Date:	7-2014

Job No.:	1074768
Store:	25312
Date:	03/25/13
Drawn By:	TSB
Checked By:	AG
Sheet:	1

DRAWING INDEX LEGEND
<input type="checkbox"/> solid = visible sheet on drawing side
<input checked="" type="checkbox"/> dashed = hidden sheet
<input type="checkbox"/> cross-hatched = sheet with hidden lines

N



N

DEMOLITION KEYNOTES

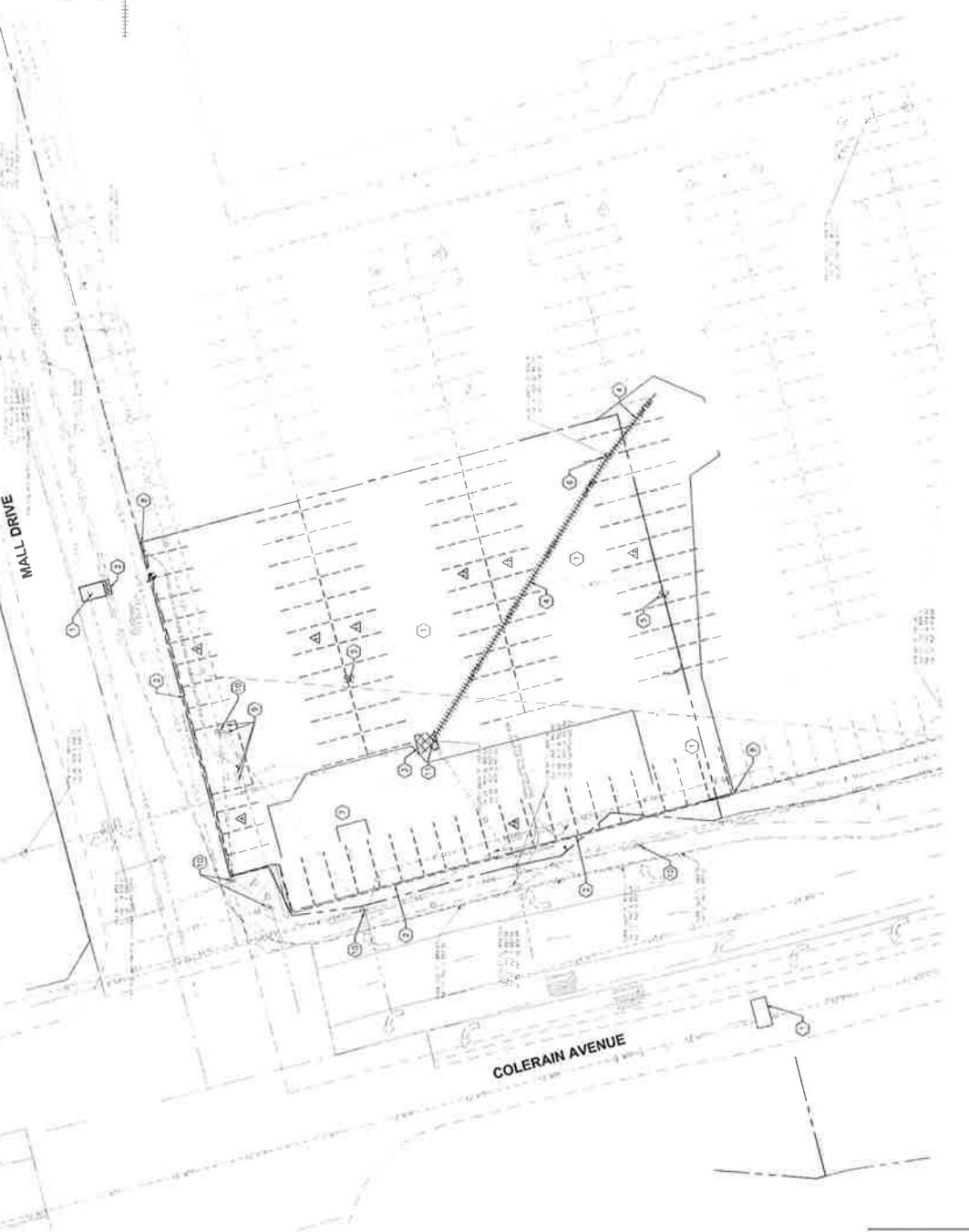
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①	SANICUT AND REMOVE EXISTING FULL-DEPTH PAVER STONE BASE COURSE TO RELEAVE
②	REMOVE EXISTING CURB COURSE
③	REMOVE EXISTING CONCRETE STONE BASE
④	REMOVE EXISTING CATCH-BASIN
⑤	DOUSE ALARMS
⑥	HILL 1 1/2" ASPHALT PAVEMENT
⑦	UNITS OF CURB REMOVAL
⑧	ROUND DRAULIC
⑨	EXISTING UPLINK POLE TO REMAIN SEE NOTE 9
⑩	ROUND CATCH-BASIN DESTINATION

5200 E. Madison Rd.
Columbus, OH 43228-2399
Revisions: △ Mark Date By _____
△

DEMOLITION NOTES

EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS ACCORDING TO THE BEST AVAILABLE INFORMATION. DUE TO THE AGE OF THE EXISTING UTILITIES, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING THE EXISTING UTILITIES AND FOR PROTECTING, AND IF NECESSARY, REPAIRING ANY DAMAGE DONE TO THE UTILITIES DURING DEMOLITION OR CONSTRUCTION.

- CONTRACTOR TO COPY LOCATION AND ELEVATION OF BENCHMARKS PRIOR TO THE START OF CONSTRUCTION.
- ENSURE STORM SEWER TRACHS TO BE BACKFILLED AND COMPACTED AS GROUTING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING POWER TO ALL EXISTING ENTITIES THAT REQUIRE IT, WHICH ARE AFFECTED BY THE REMOVAL OF THE EXISTING UPLINK POLES.
- CONTRACTOR SHALL SECURE ALL PERMITS NECESSARY TO PERFORM WORK IN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL COORDINATE STORM SEWER REMOVAL/RELOCATION IN PLACE WITH THE CITY OF DAYTON. CONTRACTOR SHALL PROVIDE A PLAN THAT WOULD A RAIN EVENT OCCUR PRIOR TO CONSTRUCTION OR RELOCATION.
- CONTRACTOR SHALL ENSURE ALL UTILITIES TO ADJACENT PROPERTIES ARE MAINTAINED DURING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE ALL UTILITY SERVICE CONNECTIONS WITH THE APPROPRIATE UTILITY.
- CONTRACTOR SHALL PROTECT EXISTING UTILITY POLES TO REMAIN AS NECESSARY DURING CONSTRUCTION. TEMPORARILY REMOVE AND REPLACE BY DUE ENERGY, COORDINATED WITH DUE ENERGY PERMITTED BY DUE ENERGY.
- NOTE: SEE DEMOLITION NOTES FOR MORE INFORMATION.



WALL DRIVE

MALL DRIVE

COLERAIN AVENUE

STREET NAME	COLERAIN AVENUE	
ROUTE NUMBER	120	
FAAX	485-3531	
Address	1815 South Myers Road	
City	WOODBINE	
State	OHIO	
Zip	45424-9001	
Revision	10181	
Mark	Date	By
△	_____	_____

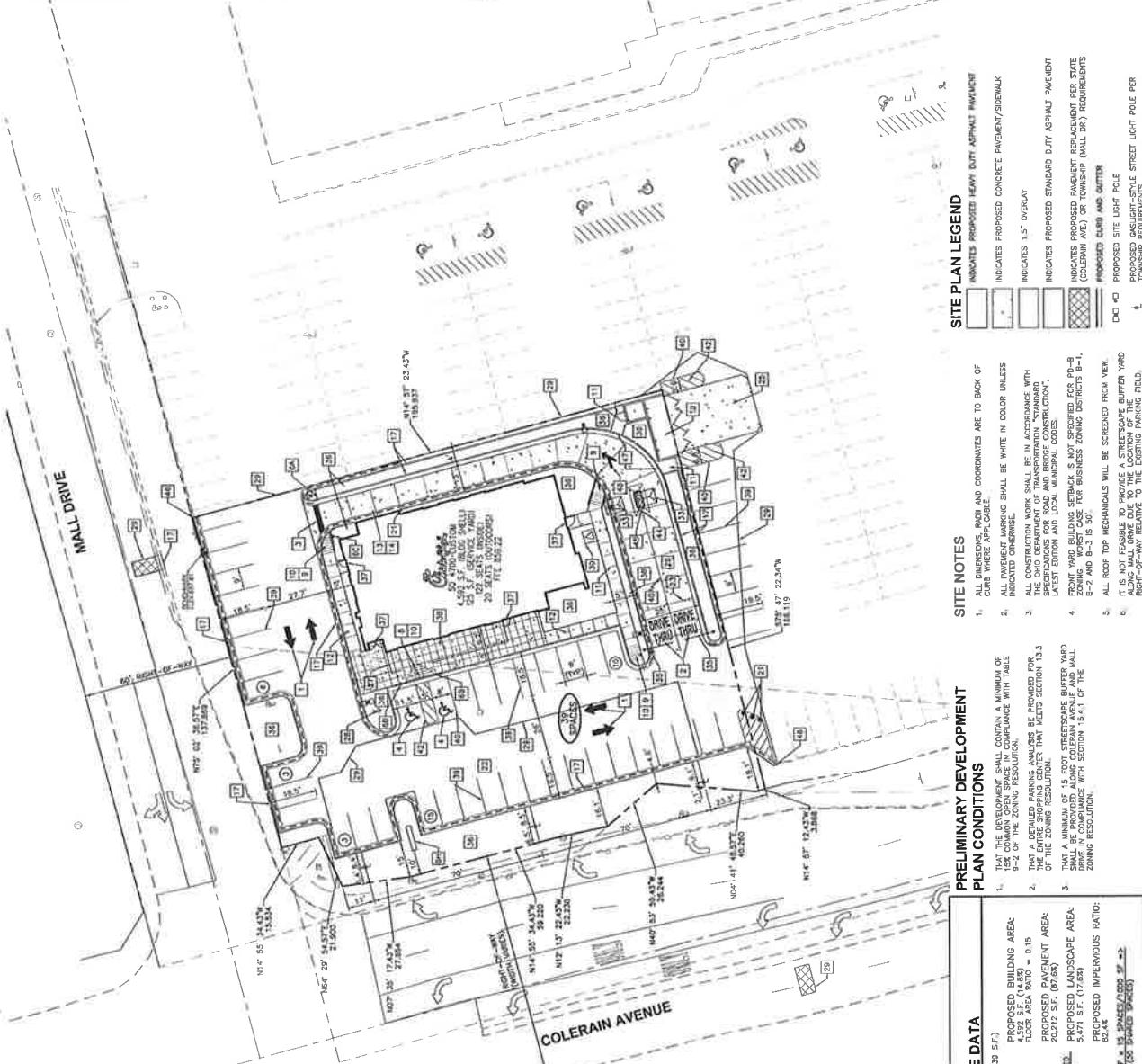
STREET NAME	COLERAIN AVENUE	
ROUTE NUMBER	120	
FAAX	485-3531	
Address	1815 South Myers Road	
City	WOODBINE	
State	OHIO	
Zip	45424-9001	
Revision	10181	
Mark	Date	By
△	_____	_____

BENCHMARK:
1815 South Myers Road
Address: 1815 South Myers Road
City: WOODBINE
State: OHIO
Zip: 45424-9001
Revision: 10181
Mark: △
Date: 07/22/14
By: JG
Checked By: JG
Sheet: C-1.0

One United Demolition Services
C-1.0
before you dig



SITE PLAN DESIGN NOTES & KEY PLAN



Layout file: C-2-01-1572-C-2-0.dwg, Message: map.dwg, Xref: 04768-p.dwg, 04768-x.dwg, 04768-18k.dwg

Revisions: 5/20/2016 5100 Buffington Rd Alma 49539-2998	Date: By _____
Work Date: By _____	Mark Date: By _____
Work Date: By _____	Mark Date: By _____
Work Date: By _____	Mark Date: By _____
Sedi	
WOLLPRET	
5101 South Meridian Road Sims 1210 Sims 1210 STOKE AREA COLERAIN TOWNSHIP FSI	534-2250-9000 FAX: 630-495-5731 534-2250-9000 Sims 1210 STOKE AREA COLERAIN TOWNSHIP FSI

C-2.0

GRAPHIC SCALE IN FEET
0 20 40 60

Check for dig
One Call at FiveLine Service

VERS: V8.7
ISSUE DATE: 7-2014

Job No.: 1074768
Store : 1532
Drawn By : _____
Checked By : _____
Sheet: _____

1. INDICATES PROPOSED HEAVY DUTY ASPHALT PAVEMENT.
2. INDICATES PROPOSED CONCRETE PAVEMENT/SIDEWALK.
3. INDICATES 1.5' OVERLAY.
4. INDICATES PROPOSED STANDARD DUTY ASPHALT PAVEMENT.
5. INDICATES PROPOSED PAVEMENT REQUIREMENT PER STATE COLERAIN AV. OR TOWNSHIP (MALL) REQUIREMENTS.
6. INDICATES PROPOSED IMPERVIOUS SURFACE.
7. INDICATES PROPOSED STREETCRAFT BUFFER AND GUTTER.
8. INDICATES PROPOSED GASLIGHT-STYLE STREET LIGHT POLE PER TOWNSHIP REQUIREMENTS.
9. INDICATES PARKING COUNT.

1. THAT THE DEVELOPMENT SHALL CONTAIN A MINIMUM OF 9.2% OF THE ZONING RESIDENTIAL BARGE WITH FLOOR AREA TWO - 15 EXISTING LANDSCAPE AREA 65' X 245' FT.

2. THAT A RETAILED MARING ANALYSIS BE PROVIDED FOR THE ENTIRE SHOPPING CENTER THAT MEETS SECTION 13.3 OF THE ZONING RESOLUTION.

3. THAT A MINIMUM OF 15 FOOT STREETSCAPE BUFFER YARD SHOWN IN THE COORDINATE PLAN ON PAGE 10 OF THE ZONING REGULATION.

4. THAT THE PROPOSED LANDSCAPE AREA BE PROVIDED FOR THE EXISTING LANDSCAPE AREA 65' X 245' FT.

5. THAT THE PROPOSED PAVEMENT REQUIREMENT PER STATE COLERAIN AV. OR TOWNSHIP (MALL) REQUIREMENTS BE PROVIDED FOR THE EXISTING LANDSCAPE AREA 65' X 245' FT.



Revisions:
Mark Date By

EXISTING BOUNDARY	
STORM SEWER	PROPOSED BOUNDARY
WATER MAIN	
UNDERGROUND ELECTRIC	
UNDERGROUND GAS	
UNDERGROUND ELECT/TEL	

PROPOSED DRAIN MAIN

PROPOSED CURE INLET

PROPOSED STORM MANHOLE

PROPOSED SANITARY MANHOLE

PROPOSED CLEANDUT

PROPOSED FIRE HYDRANT

PROPOSED VALVE

PROPOSED ELECTRIC MANHOLE

PROPOSED TELEPHONE MANHOLE

PROPOSED LIGHT POLE

INDICATES DETAIL LOCATION
(DETAIL NUMBER/DETAILED SHEET)

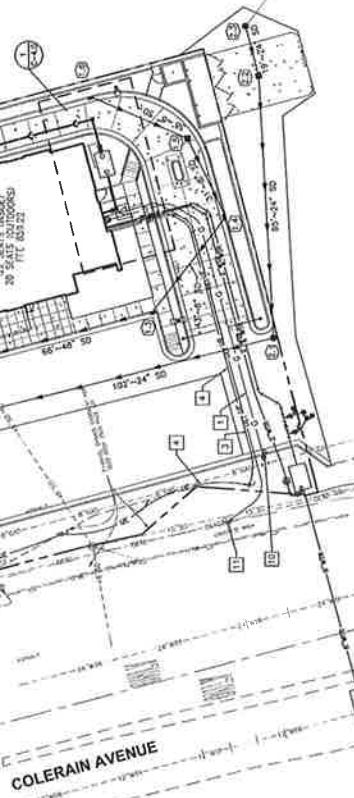
PROPOSED SANITARY STRUCTURE CLEANDUT

PROPOSED STREET STRUCTURE CLEANDUT

PROPOSED UTILITY CROSSING CLEANDUT

PROPOSED GASLIGHT-STYLE STREET LIGHT POLE PER
TOWNSHIP REQUIREMENTS**UTILITY NOTES**

1. DRIVE ENERGY WILL FURNISH AND INSTALL THE GAS SERVICE UP TO THE METER IF PAYING CONDUIT FEES. PROVIDE A TEE ON THE EXISTING CONDUIT UNDER PAVED AREAS.
2. CONTRACTOR TO FURNISH AND INSTALL (2) 4" SCHEDULE 40 PVC CONDUITS WITH PULL WIRE FOR ELECTRIC SERVICE. CONTRACTOR TO PROVIDE AND INSTALL PRIMARY ELECTRIC SERVICE EXCEPT TO BUILDING. PROVIDE AND INSTALL TRANSFORMER PAD AND SECONDARY SERVICE IN ACCORDANCE WITH SECTION 420 OF THE NATIONAL ELECTRICAL CODE.
3. CONTRACTOR TO FURNISH AND INSTALL TELEPHONE SERVICE FROM ORIGINATOR FIELD TO BUILDING. CONTRACTOR TO PROVIDE AND INSTALL TRANSMISSION LINE TO BUILDING.
4. SEE SHEET C-4-2 FOR WATER SERVICE INFORMATION.
5. ALL SANITARY SEWER SHALL BE CONSTRUCTED OF PVC SDR-26 UNLESS INDICATED OTHERWISE.
6. ROOF DRAWS, FOUNDATION DRAINS, AND OTHER CLEAN OUTS SHALL BE PROVIDED AS NECESSARY TO THE SANITARY SEWER SYSTEM.
7. ALL SANITARY SEWER SHALL BE INSPECTED AND TESTED FOR LEAKS. TRENCH SHALL BE BACKFILLED PER REQUIREMENTS OF MED.
8. ALL STORM SEWER SHALL BE INSPECTED AND TESTED FOR LEAKS. TRENCH SHALL BE BACKFILLED PER MANUFACTURER'S RECOMMENDATIONS.
9. ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON RECORD PLANS BY CONTRACTOR.
10. ALL SANITARY SEWER AND STORM SEWER CLEANDUTS SHALL BE PROVIDED OUTSIDE OF THE TOWNSHIP CONDUIT.
11. PROVIDE UNDERSIDES FROM SEPS OR SPRINGS ENCODED, ETC. TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FALL SLOPE.
12. ALL PROPOSED PIPE CONNECTIONS TO EXISTING ORS PROPRIETARY MANHOLES SHALL COMPLY WITH ASME-CZ-2.
13. SEE SHEET C-2 FOR STORM SEWER PROFILES, PAVING AND STRIKE CLEANDUT.
14. INVERT A BOTTOM OF MANHOLES AND CATCH BASINS MUST BE CHANNELLED.
15. SEE SHEET C-4-2 FOR UTILITY CROSSING INFORMATION.
16. CONTRACTOR SHALL COORDINATE ANY SHUT DOWN OF UTILITIES WITH THE APPROPRIATE UTILITY AGENCY AND NOTIFY TOWNSHIP PROVIDED (A) WORKING DAYS NOTICE.
17. CONTRACTOR SHALL ADJUST EXISTING STRUCTURES TO MEET FINAL GRADE.
18. SEE DETAIL A3 ON SHEET C-5-4 FOR USED MONITORING MANHOLE.

**COLERAIN AVENUE**

Sheet 1 of 3. Site Plan for Project No. 047469-TRLC. Drawing Date: 04/27/05. Drawing No.: 047469-X.dwg
Layer: Site Plan - C-4-0. Map Scale: 1:1000. Map Units: Feet. Map Projection: NAD 1983 StatePlane Ohio FIPS 3. Map Units: Feet. Map Projection: NAD 1983 StatePlane Ohio FIPS 3.

5000 Buffington Rd Augusta, GA 30901 (404) 259-8818	Mark Date By
Proposed Structure Callout	Mark Date By
Proposed Utility Crossing Callout	Mark Date By
Proposed Gaslight-Style Street Light Pole	Mark Date By
Indicates Detail Location (Detail Number/Detailed Sheet)	Mark Date By
Proposed Sanitary Structure Callout	Mark Date By
Proposed Street Structure Callout	Mark Date By
Proposed Utility Crossing Callout	Mark Date By
Proposed Light Pole	Mark Date By

SANITARY STRUCTURE TABLE

STRUCTURE ID	DESCRIPTION	RIM	INVERT
A-1	CONNECT TO EXISTING MSD MONITORING MANHOLE	835.31' = 835.60 (S) 835.31' = 835.43 (E)	835.20' (N)
A-2	SINGLE CLEANDUT	858.47' = 852.11 (S) 858.47' = 852.11 (E)	852.20' (N)
A-3	SINGLE CLEANDUT	858.01' = 854.11 (N) 858.01' = 854.11 (W)	854.31' (W) 854.51' (E)
A-4	SINGLE CLEANDUT	859.00' = 854.31 (W) 859.00' = 854.31 (E)	854.79' (N)
A-5	DOUBLE CLEANDUT	858.12' = 854.79 (N) 858.12' = 854.79 (E)	854.80' (S)
A-5	DOUBLE CLEANDUT	858.12' = 854.79 (N) 858.12' = 854.79 (E)	854.80' (S)
A-7	BUILDING INVERT	855.61' = 854.80 (S)	

LAYOUT NOTES

1. GAS SERVICE (SEE NOTE 1)
2. CORPORATE GAS METER INSTALLATION WITH GAS COMPANY
3. UNDERGROUND PRIMARY TELEPHONE/ELECTRIC SERVICE (SEE NOTES 2 AND 3)
4. UNDERGROUND SECONDARY ELECTRIC (1") SCHEDULE 40 PVC CONDUIT
5. DOUBLE CLEANDUT; SEE DETAIL A3 ON SHEET C-5-3
6. SINGLE CLEANDUT; SEE DETAIL A1 ON SHEET C-5-4
7. OILSEAS INTERCUP (1,000 GALLON); SEE DETAIL A4 ON SHEET C-5-4
8. SANITARY SEWER SERVICE
9. REQUIREMENTS
10. CONTRACTOR SHALL LOCATE EXISTING GAS MAIN, CONNECT TO EXISTING GAS MAIN PER DUE REQUIREMENTS
11. CONNECT TO EXISTING ELECTRIC PER DUE REQUIREMENTS, CONNECT EXISTING TELEPHONE PER ORIGINATOR BILL REQUIREMENTS

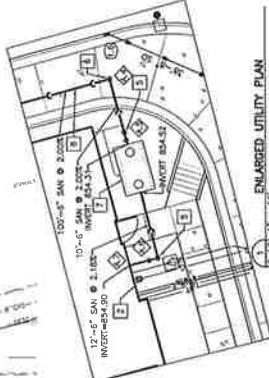


Dig it
before you dig

C-4-0
Sheet

Graphic Scale in Feet

C-4-0
Sheet

**ENLARGED UTILITY PLAN**

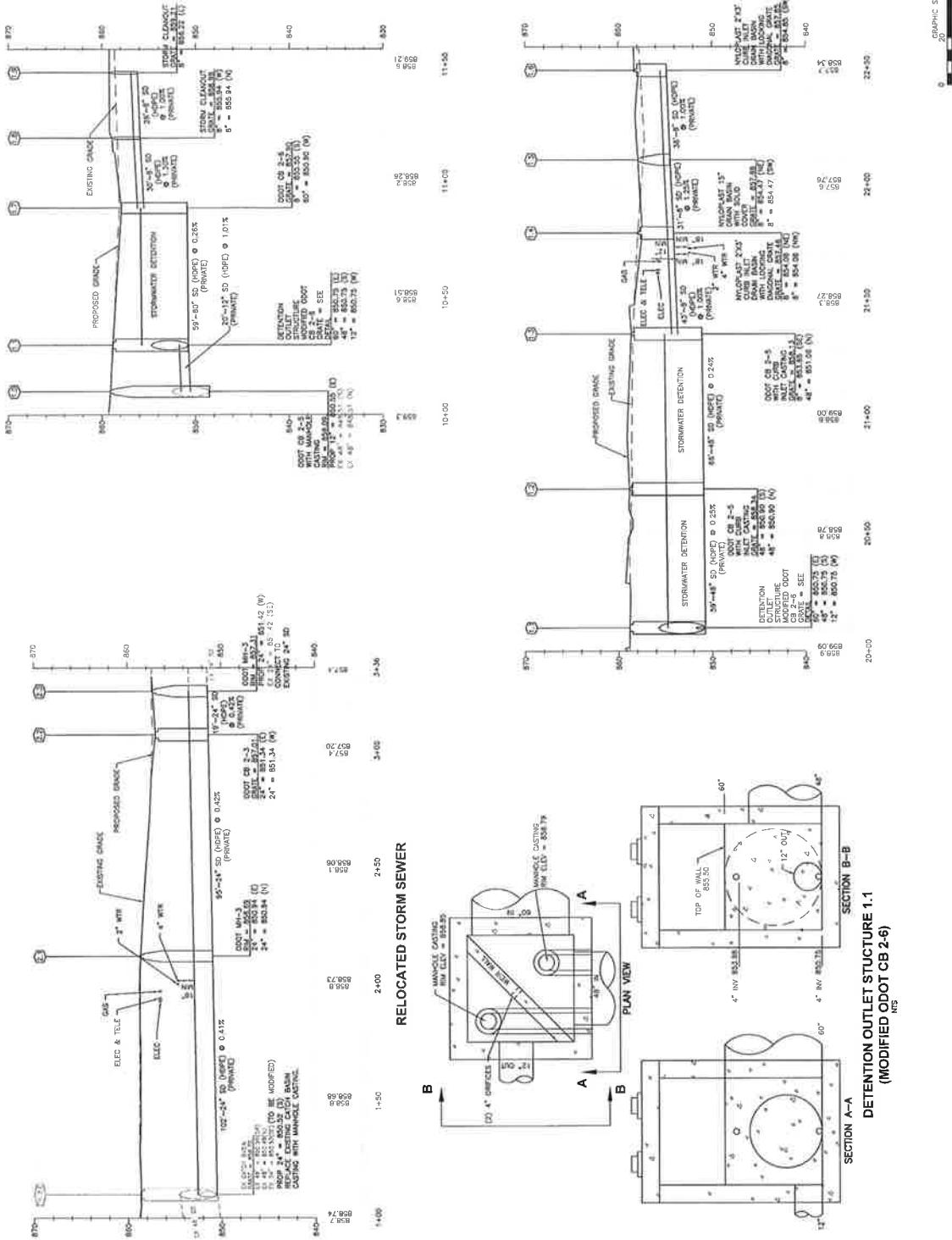
C-4-0
Sheet

Graphic Scale in Feet



500 Burlington Rd
Austin, TX 78744-2298
Revisions: **Mark Date By**

Work Date By _____
Seal



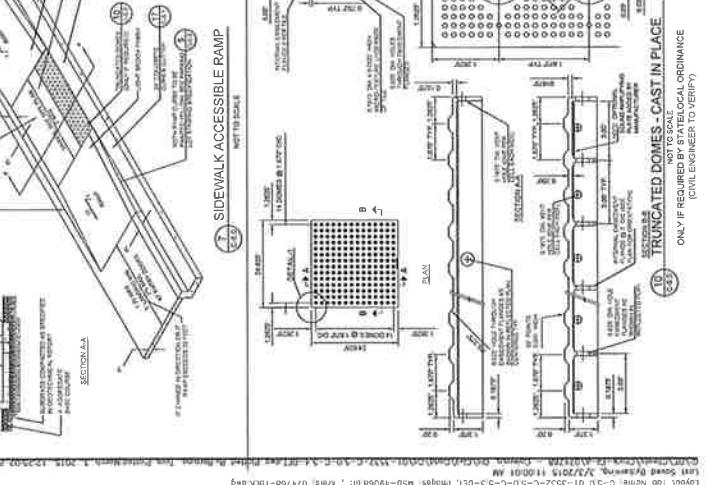
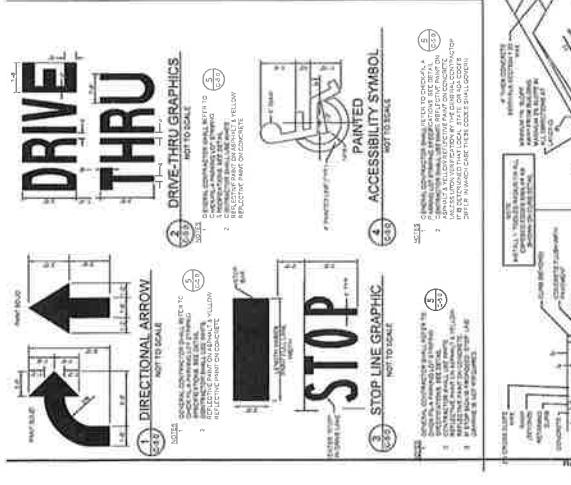
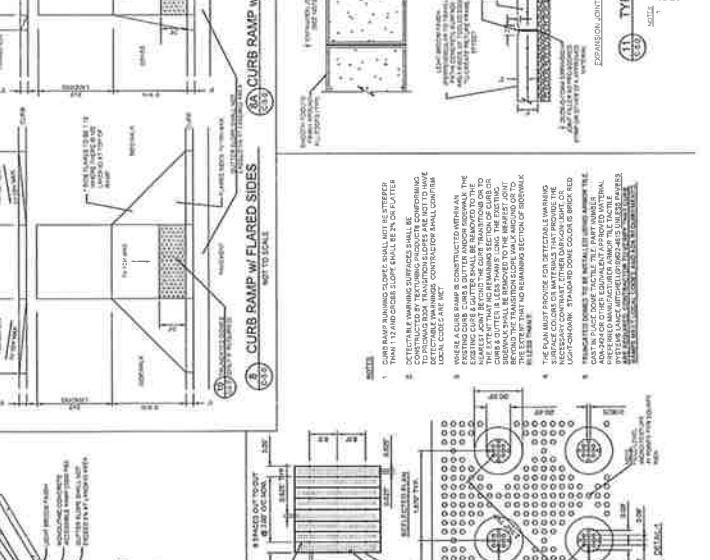
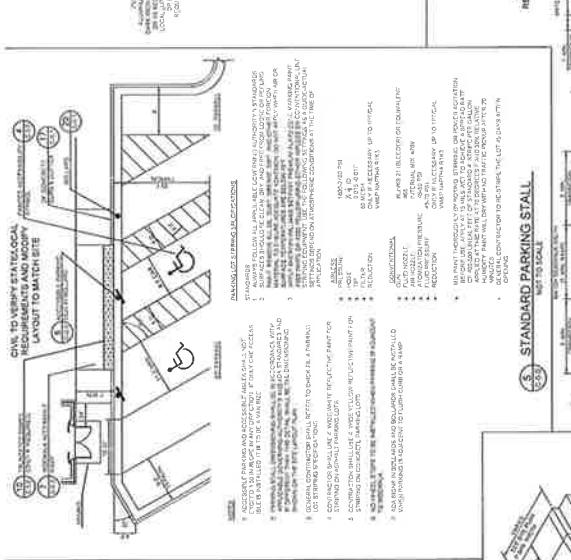
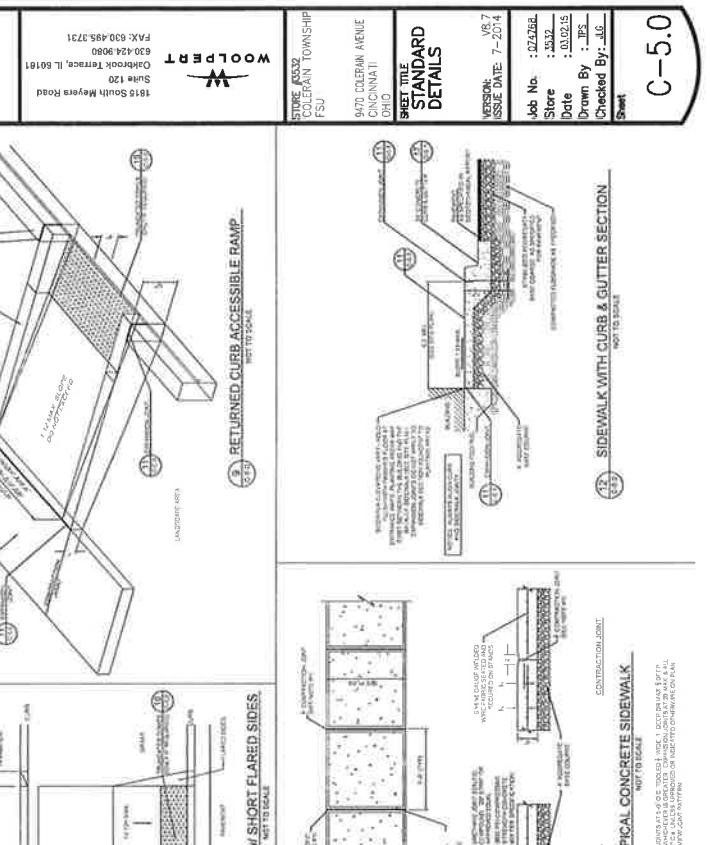
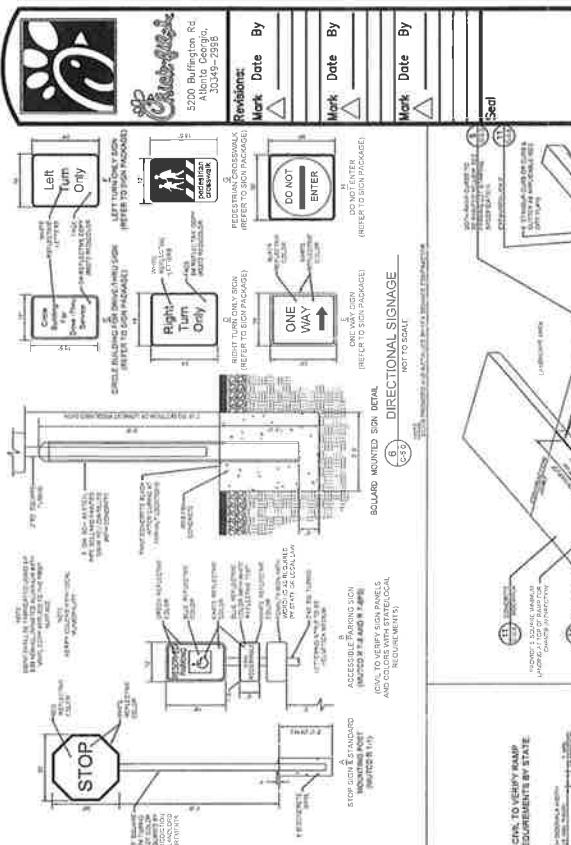


Cincinnati

5200 Burlington Rd.
Arlington, VA 22207
(703) 222-2531

Revisions:
Mark Date By

C-5.0



NOT TO SCALE
(CIVIL ENGINEER TO VERIFY)

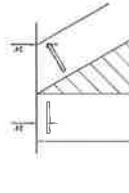
ONLY IF REQUIRED BY STATE LOCAL ORDINANCE
(CIVIL ENGINEER TO VERIFY)

NOT TO SCALE
CIVIL ENGINEER TO VERIFY
DO NOT USE FOR CONSTRUCTION
FOR CONSTRUCTION USE THE DRAWING
PRINTED ON THIS SHEET



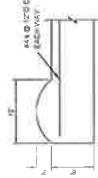
Revisions:

Mark Date By
△



SOLID PLASTIC WHEEL STOP
NOT TO SCALE

NOT TO SCALE



24-1 SOLID PLASTIC WHEEL STOP
NOT TO SCALE

NOT TO SCALE

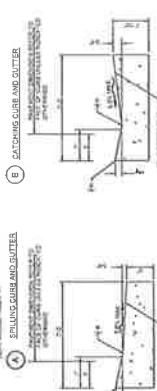
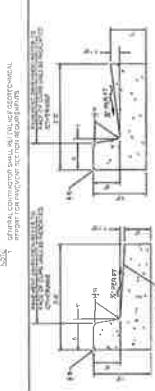
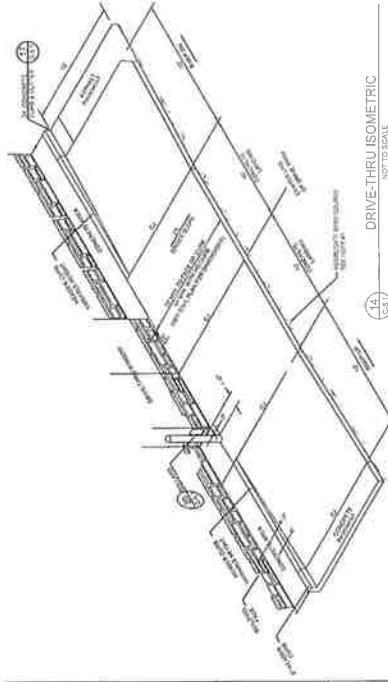
DRIVE-THRU ISOMETRIC
NOT TO SCALE

NOT TO SCALE

DRIVE-THRU ISOMETRIC
NOT TO SCALE

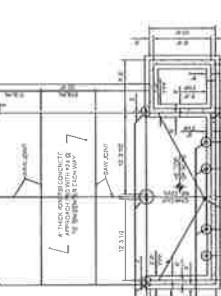
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NOT TO SCALE

DRIVE-THRU ISOMETRIC
NOT TO SCALE



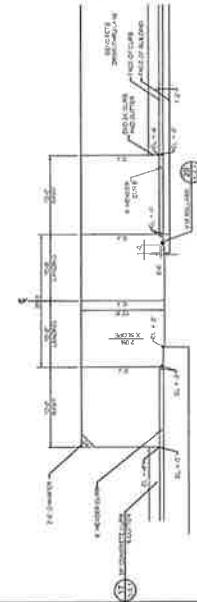
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NOT TO SCALE

NOT TO SCALE



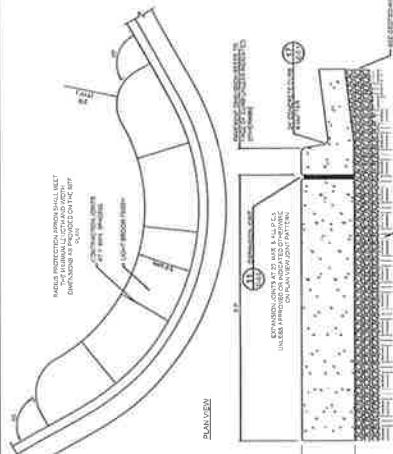
24-2 CONCRETE CURB & GUTTER
NOT TO SCALE

NOT TO SCALE



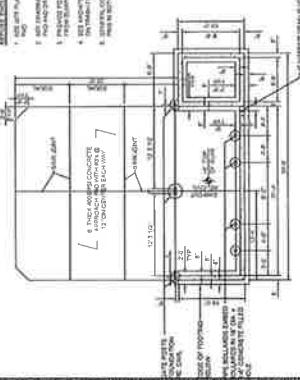
DRIVE-THRU PLAN
NOT TO SCALE

NOT TO SCALE



LANDSCAPE & IRRIGATION PROTECTOR
NOT TO SCALE

NOT TO SCALE



REFUSE ENCLOSURE FOUNDATION PLAN (ALT.)
NOT TO SCALE

NOT TO SCALE

SCREENED REFUSE ENCLOSURE FOUNDATION PLAN
NOT TO SCALE

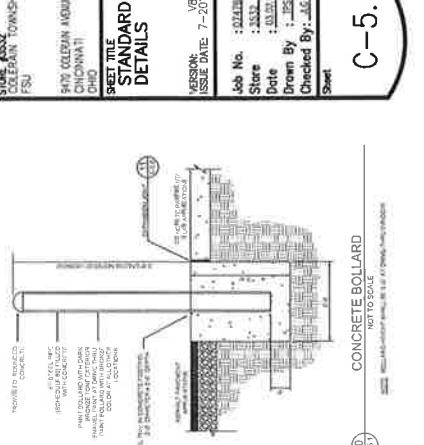
NOT TO SCALE

CONCRETE BOLLARD
NOT TO SCALE

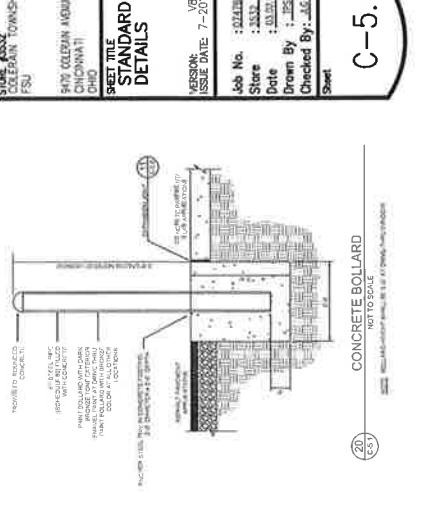
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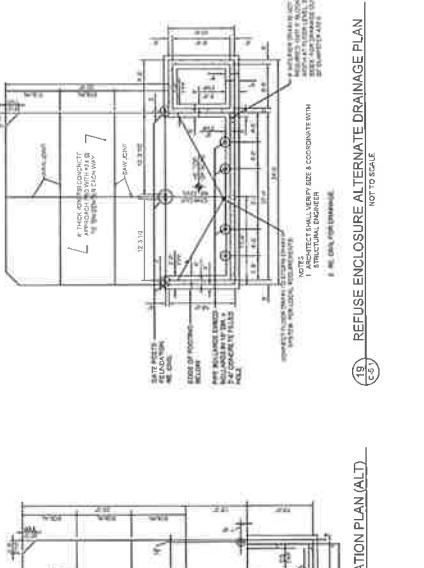
C-5.1



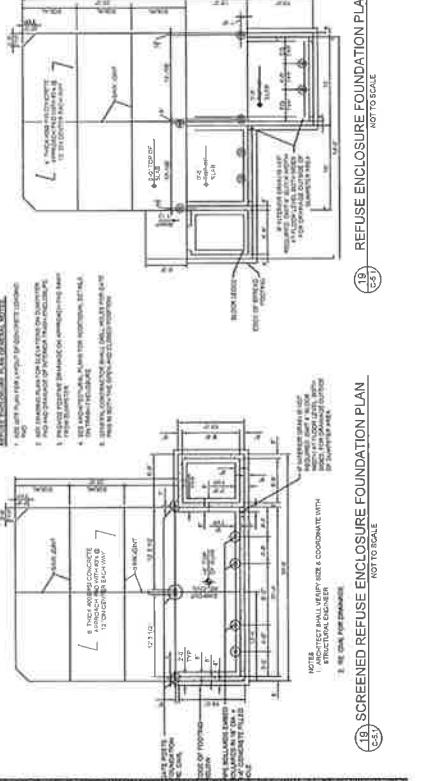
STANDARD DETAILS
NOT TO SCALE



ROLLER-MOUNTED CURBS
NOT TO SCALE



REFUSE ENCLOSURE ALTERNATE DRAINAGE PLAN
NOT TO SCALE



REFUSE ENCLOSURE FOUNDATION PLAN
NOT TO SCALE



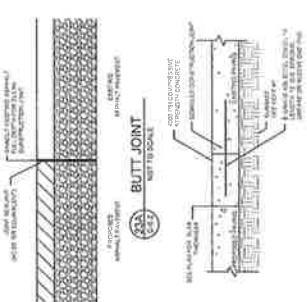
Revised:
Mark Date By

5000 Beaufort Rd.
Albion in Franklin Co.,
Ohio 44005
330-497-2985

Revisions:
Mark Date By

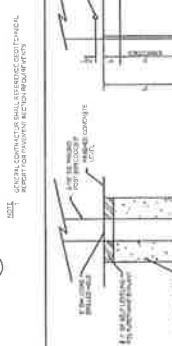
Revisions:
Mark Date By

C-5.2
Revised:
Mark Date By



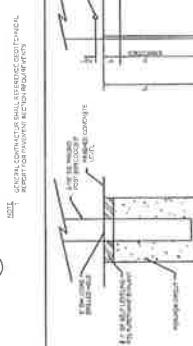
TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT

(22) NOT TO SCALE



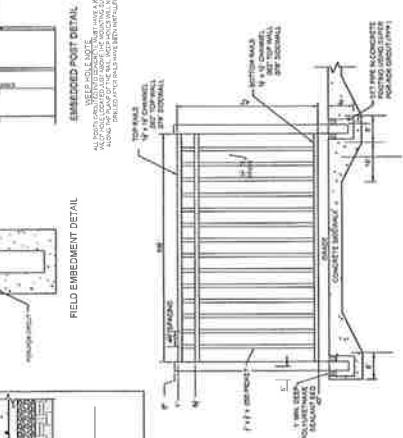
PAVEMENT EDGE DETAIL

(23) NOT TO SCALE



EMBEDDED POST DETAIL

(24) NOT TO SCALE



CONCRETE PAVING DRIVE-THRU LANE

(25) NOT TO SCALE

GENERAL CONTRACTOR: C.R. COOPER & SONS, INC.

Sheet No. 2 of 23 Appendix C-3 of 2021-C-5-3-DET, page No. 04-353-C-5-3-DET, Rev. No. 07/26/2011

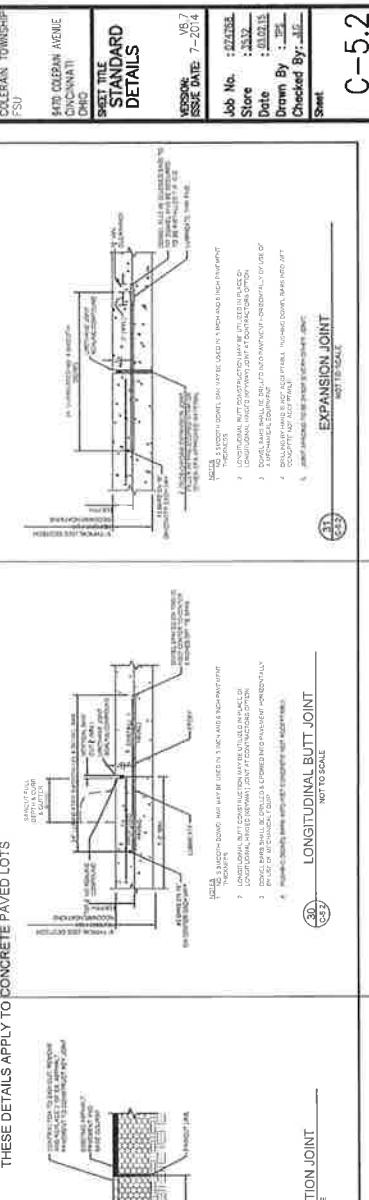
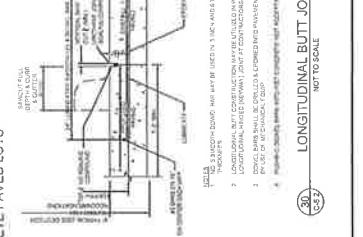
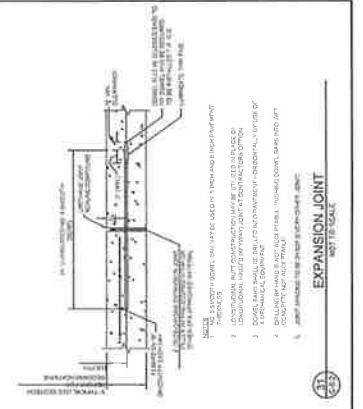
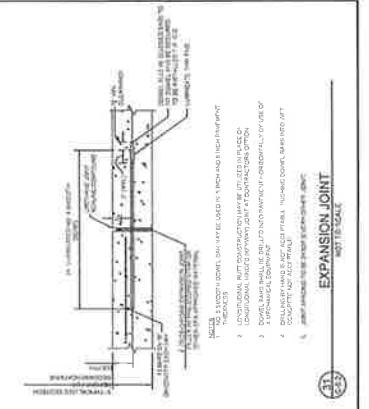
Revised:
Mark Date By

1515 SHAWNEE MARYS ROAD
GLENDALE, OHIO 44136
330-697-3095
FAX: 330-695-2211

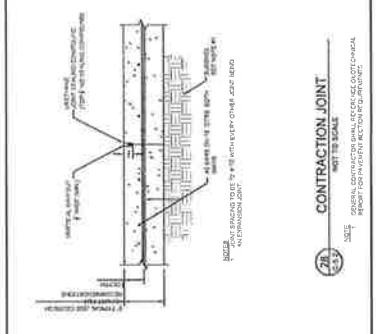
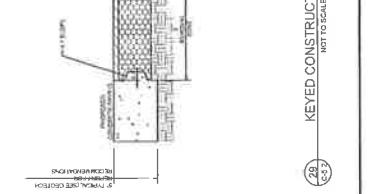
Revised:
Mark Date By

WOLLEBE RET

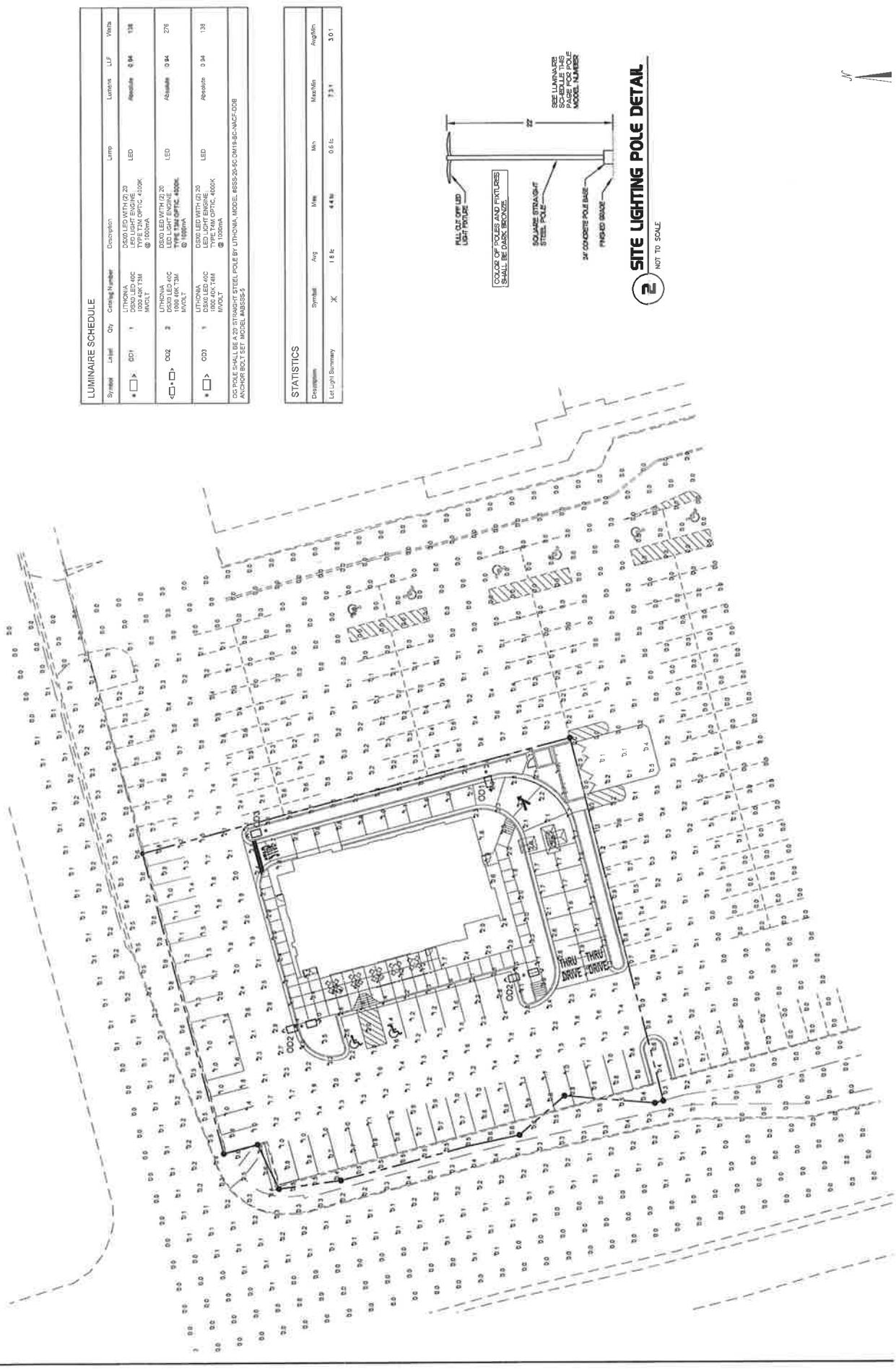
Revised:
Mark Date By



THESE DETAILS APPLY TO CONCRETE PAVED LOTS



Sheet No. 2 of 23 Appendix C-3 of 2021-C-5-3-DET, page No. 04-353-C-5-3-DET, Rev. No. 07/26/2011





520 Burlington Rd.
Arlanta Georgia
30349-2998

Printed By:
Architect:
Date:
Year:

Printed By:
Architect:
Date:
Year:

Printed By:
Architect:
Date:
Year:

FAC-0310-995-371
8302438000
Suite 120
Colerain Township, IL 60118
1013 South Superior Road
Plat 25-1007

MARSHAL G. BOYD

FAC-0310-995-371
8302438000
Suite 120
Colerain Township, IL 60118
1013 South Superior Road
Plat 25-1007

EXH

OPEN SPACE SUMMARY

Area	Size
Area 1	12,428 SF
Area 2	2,456 SF
Area 3	2,063 SF
Area 4	4,293 SF
Area 5	772 SF
Area 6	757 SF
Area 7	204 SF
Total Open Space Area	21,735 SF
Open Space Incident	14,928 SF

COLERAIN AVENUE BUFFER YARD WIDTH SUMMARY

NOTWITHSTANDING ANY OTHER REQUIREMENT OF THIS AGREEMENT, THE PLATTER OF THE PROPOSED OPEN SPACE AREA WHICH IS LOCATED ON THE EAST SIDE OF COLERAIN AVENUE AND LIES WEST OF THE PROPOSED DRIVE THRU SHALL BE 20 FEET IN WIDTH. THE PLATTER OF THE PROPOSED OPEN SPACE AREA WHICH IS LOCATED ON THE WEST SIDE OF THE PROPOSED DRIVE THRU SHALL BE 18 FEET IN WIDTH. THE PLATTER OF THE PROPOSED OPEN SPACE AREA WHICH IS LOCATED ON THE EAST SIDE OF THE PROPOSED DRIVE THRU SHALL BE 18 FEET IN WIDTH.

LEGEND

- Open space area
- Open space area
- Non-drive thru space

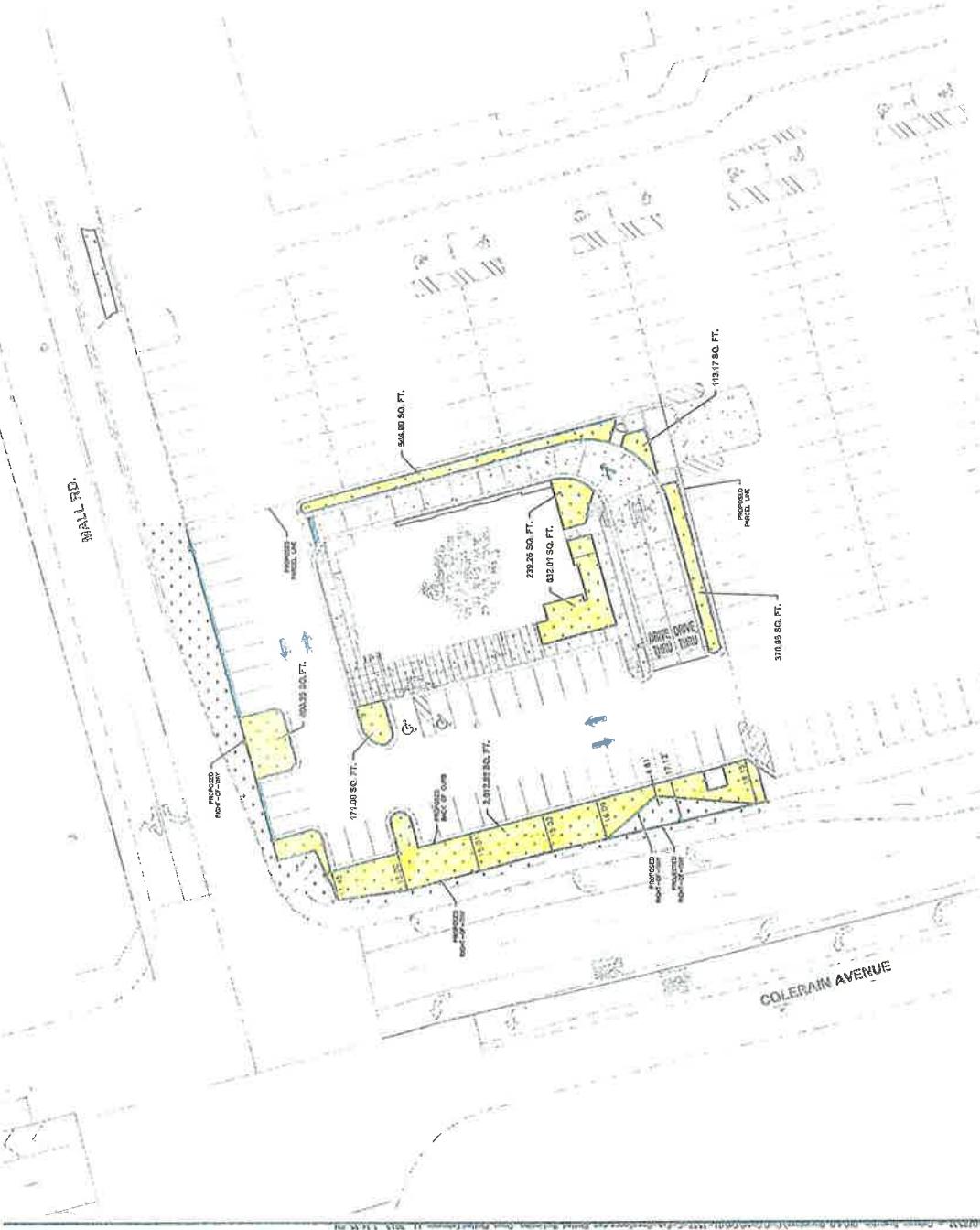
V8-7
Submitted: 2-2015

Job No.: 1024568
Store : 10038
Date : 01/08/15
Drawn By : JDS
Checked By : JAS
Signed:

On Line Drawing Service

before you dig

GRAPHIC SCALE IN FEET





3-10-2015

RECEIVED

MAR 10 2015

Colerain Township Planning & Zoning Dept.
4200 Springdale Rd.
Cincinnati, OH 45251

COLERAIN ZONING

To: Colerain Zoning Commission,

We are asking for an extension on the FDP (Case ZA2001-04 that was approved on May 22, 2014) for the parcel number 510-0440-0343 located at the corner of East Miami River Road and Harrison Ave. We have been working with the commission this past year in getting another FDP passed for the parcel next to this one. The FDP was approved this last November and we are currently focusing on bringing that parcel up to code.

Thank you for your help in this matter.

Tony Stephenson