

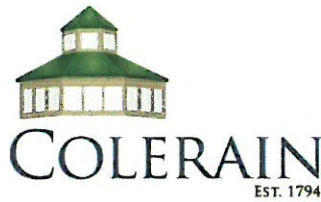
COLERAIN TOWNSHIP ZONING COMMISSION

Regular Meeting

Tuesday, November 17, 2015 - 7:00 p.m.

Colerain Township Government Complex
4200 Springdale Road - Cincinnati, OH 45251

1. Meeting called to order.
Pledge of Allegiance.
Roll Call.
2. Approval of Minutes: October 20, 2015.
3. Public Address: None.
4. Final Development Plan:
A. ZA2015-03 – White Oak Garden Center.
5. Public Hearings: None.
6. Informal Concept Review: 5230-5332 Springdale Rd.- Request change from R-2 Residential to Planned District for residential senior development.
7. Old Business: None.
8. New Business: None.
9. Administration: None.
10. Announcements: None.
11. Next Meeting: December 15, 2015.
12. Adjournment.



Staff Report: **Final Development Plan**
Case #: ZA2015-03
White Oak Garden Center
3579 Blue Rock Road
November 17, 2015

Prepared by: Jenna M. LeCount, AICP
Director of Planning & Zoning

PROJECT SUMMARY:

The applicant proposes to rezone an assemblage of properties to a PD-B: Planned Development Business District to allow for growth of business and easier access to the business.

PROJECT HISTORY:

Preliminary Development Plan | RPC: Recommended Approval August 6, 2015
Preliminary Development Plan | Zoning Commission: Recommended Approval (5-0) August 18, 2015
Preliminary Development Plan | Trustees: Approved (3-0) September 8, 2015 with the following conditions and variances:

Conditions:

1. The applicant must submit a site plan demonstrating that the 15% open space requirements set forth in section 9.3.7 of the zoning resolution have been met.
2. Hermes Drive shall be paved.
3. Any proposed parking area within the 15-foot streetscape buffer yard along Hanley Road must be removed, or a Revocable Agreement letter must be provided by the Hamilton County Engineer's Office.
4. The streetscape buffer yard and landscaping along the Hanley Road street frontage must meet the requirements of Section 14.5.1 of the zoning resolution.
5. The applicant must provide the required landscape plantings or an equivalent off-site buffer along the northern half of the western property boundary.
6. The applicant must satisfy any requirements of the Hamilton County Engineer, such as right-of-way dedication and traffic impact analysis report.
7. Zoning staff and applicant shall work on the details of the sidewalks for the payment in lieu of program.

Variances:

1. Section 13.4.1(E) - That the northern entrance to the site on Blue Rock Road shall be permitted to remain 40 feet from the intersection of Blue Rock Road and Hanley Road where a 50 foot separation is required.
2. Section 13.4.4(D) & 14.5.1 – That the site shall be permitted a streetscape buffer yard of 0 feet along Blue Rock Road where a streetscape buffer of 15 feet is required and shall be permitted no plantings or landscaping where plantings and landscaping is required within the streetscape boundary buffer.
3. Table 14-1 – That the site shall be permitted with the current buffer yard where a 30-foot boundary buffer yard is required along the boundary of the adjacent residential lot on Hanley Road.

REVIEW OF FDP
LANDSCAPING:

Approval of the Preliminary Development Plan was conditioned on the streetscape buffer and landscaping requirements of Section 14.5.1 of the zoning resolution. The FDP shows the site plan meets the requirements of this section.

LIGHTING:

Approval of the Preliminary Development Plan was conditioned on the lighting complying with Article 12 of the Zoning Resolution. The FDP does not propose new lighting for the site and existing lighting meets standards set forth in the zoning resolution.

SIGNAGE:

Approval of the Preliminary Development Plan was conditioned on the signage complying with Article 15 of the Zoning Resolution. No zoning certificate will be issued for signage in excess of the requirements in Article 15.

PARKING:

The dimensions and location of the parking stalls and drive aisles is in keeping with the requirements found in the zoning resolution.

OTHER CONSIDERATIONS:

Sidewalks – Per condition 7 of the approval of the Preliminary Development Plan, the Applicant has applied for and been granted a sidewalk waiver and payment-in-lieu of sidewalks from the Colerain Township Board of Trustees.

Impervious Surface Ratio – The proposed site has an ISR of 68.8% where the maximum ISR allowed is 75%.

Dumpsters – The dumpsters are appropriately located and properly screened.

Architectural Design Standards – The architecture of the buildings meet the design standards in the zoning resolution.

RECOMMENDATION:

Staff recommends **APPROVAL** of this Final Development Plan. The applicant has met all of the conditional requirements of the approval for the Preliminary Development Plan.

[illegible]

41 SPACES REMOVED
 THIS SITE DOES NOT FALL WITHIN THE FEMA 100-YEAR FLOOD ZONE
 OPEN SPACE AREA = .2431 SF/PAVING S.F. = 22.1%
 DEVELOPED SPACE RATIO = 1.1631 SF/PAVING S.F. = 8.8%

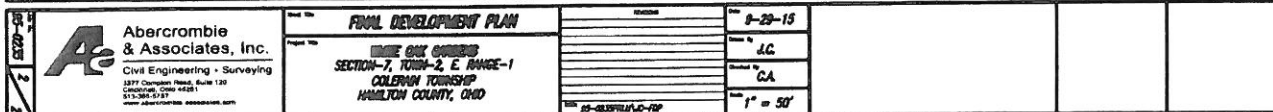
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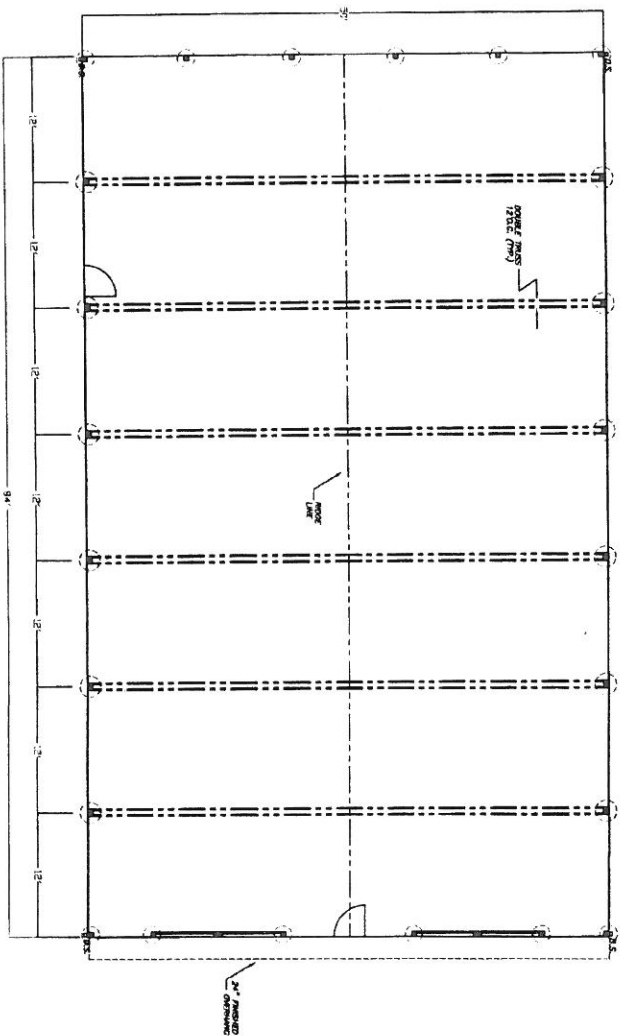
STATE OF _____
COUNTY OF _____
I, _____, ss.
do hereby certify that _____
of _____
has been duly appointed _____
of _____
and that he has taken and filed the required oath of office and qualification.

Final Development Plan
LINE ONE CORRIDOR
SECTION-7, TOWN-2, E RANGE-1
COLERAIN TOWNSHIP
HAMILTON COUNTY, OHIO

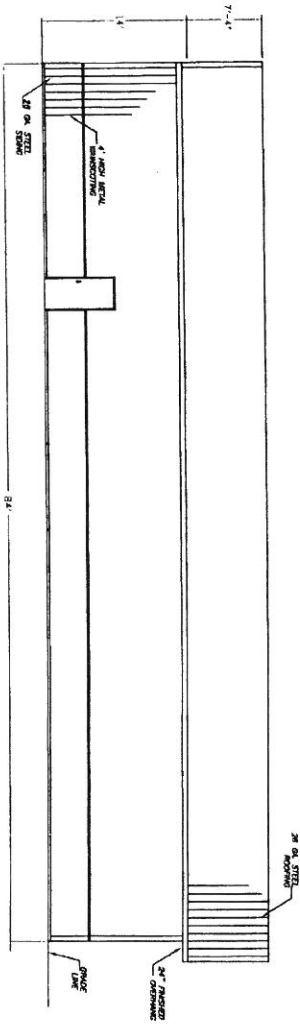
RECEIVED	Date 9-28-13
	Cross by L.C.
	Measured by CA
	Time 1° = 30'

Date	9-28-13
Drawn by	LC
Checked by	CA
Scale	1" = 30'

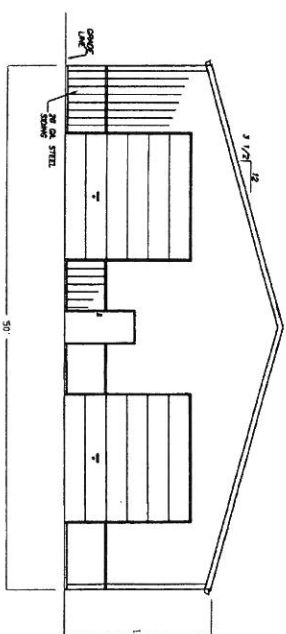




FLOOR PLAN
SCALE: 3/16" = 1'



EAVE SIDE ELEVATIONS
SCALE: 3/16" = 1'

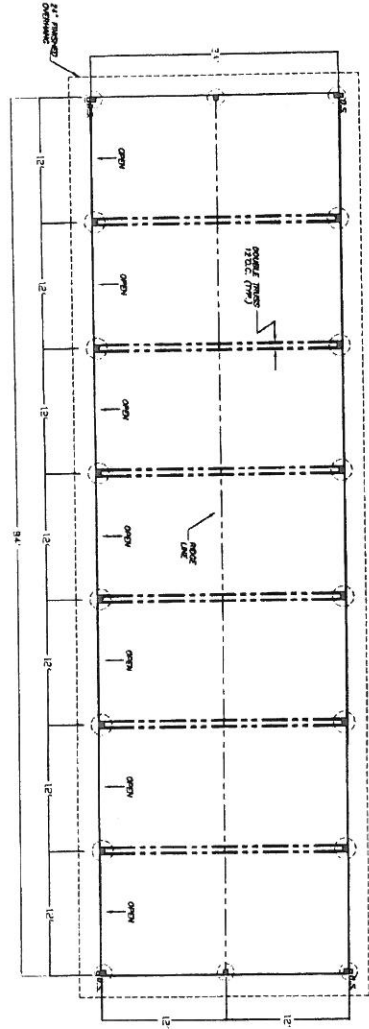


GABLE END ELEVATIONS
SCALE: 3/16" = 1'

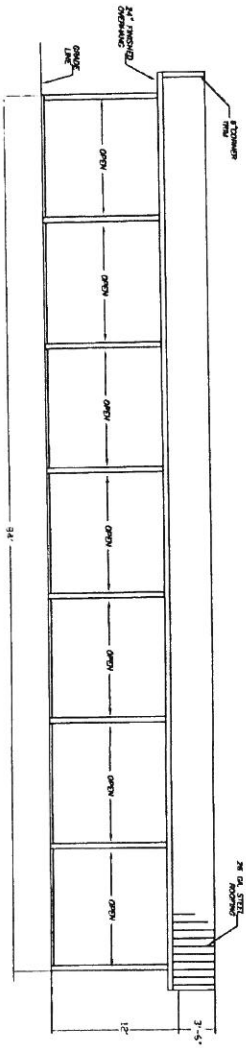
WHITE OAK GARDEN CENTER
3578 BLUE ROCK ROAD
CINCINNATI, OHIO 45247

WAYNE
6770 Kepler Road
Cleveland, Ohio 45002
Buildings (513) 353-8000

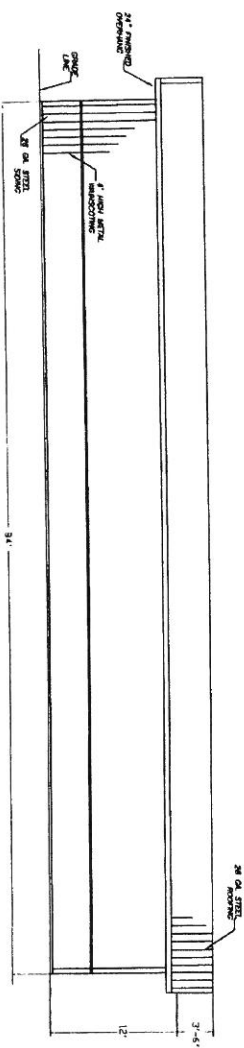
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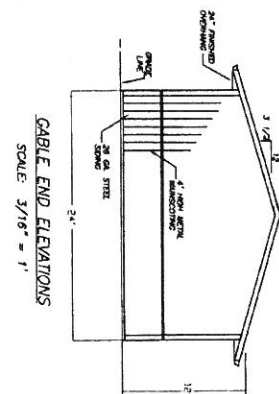
FLOOR PLAN
SCALE: 3/16" = 1'



REAR EAVE ELEVATION
SCALE: 3/16" = 1'



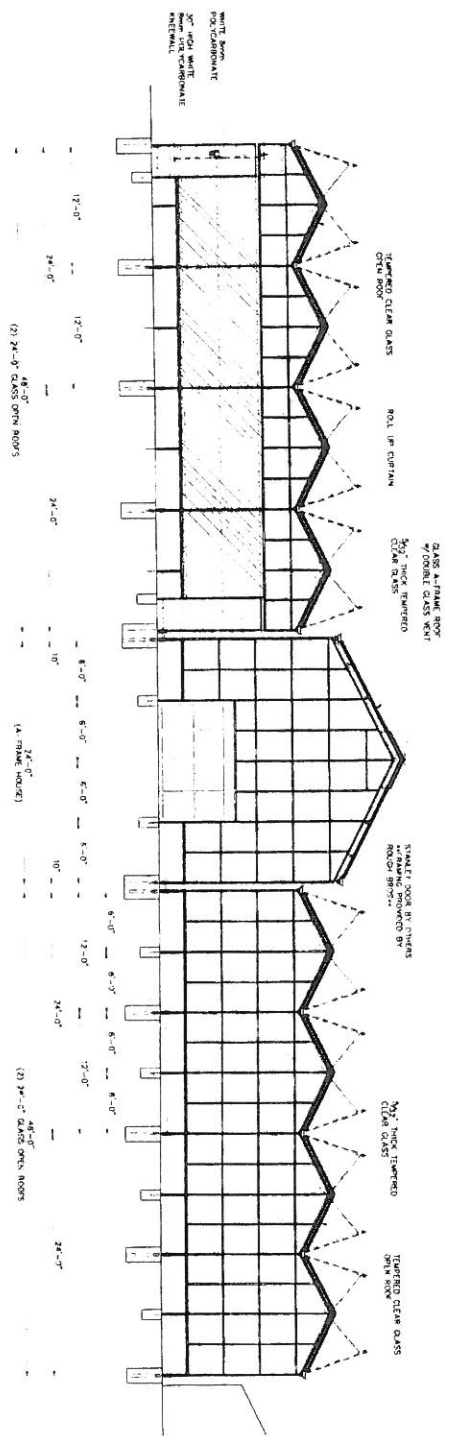
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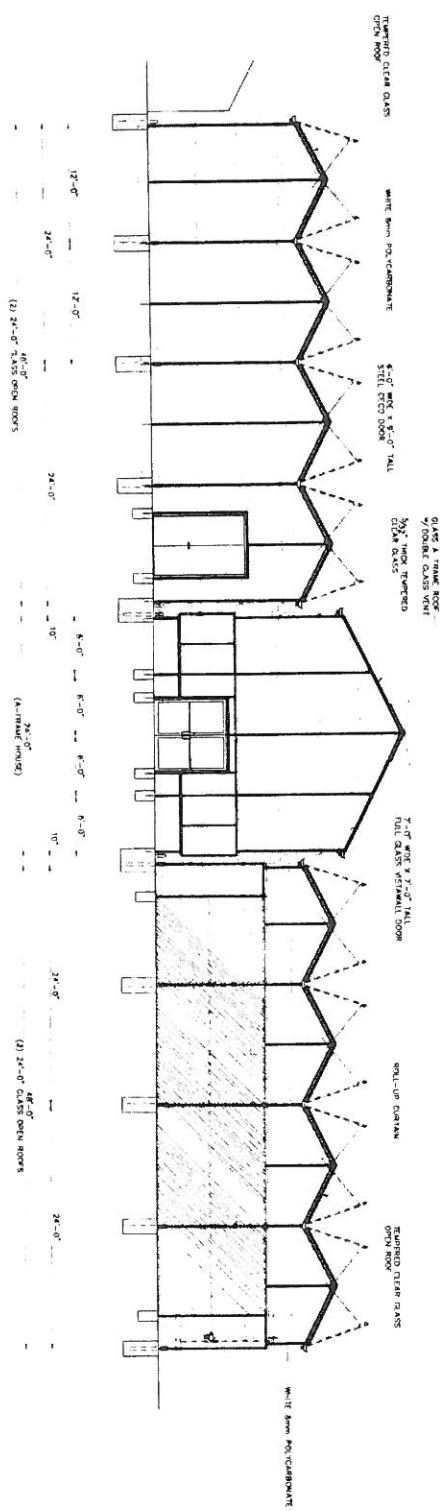
CABLE END ELEVATIONS
SCALE: 3/16" = 1'

WHITE OAK GARDEN CENTER 3579 BLUE ROCK ROAD CINCINNATI, OHIO 45247	
WYNNE 6770 Kipler Road Cleveland, Ohio 45002 (513) 383-8000	06-24-15 666-01 1

[illegible]



A EAST CABLE ELEVATION
 SCALE: 3/4" = 1'-0"



B WEST CABLE ELEVATION
 SCALE: 3/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS		Total Construction Services		Design & Fabrication & Installation & Detail & Administration	
No.	Date	By	Check	Drawn	Scale
1	10/14/2014				
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GREENHOUSE FOR
WHITE OAK GARDEN CENTER
 3579 BLUE ROCK ROAD
 CINCINNATI, OHIO 45247

SCALE: 2.0



1. ALL DISCOUNTS OFFERED BY A FIRM TO CREDITORS OR SUPPLIERS MUST BE AVAILABLE TO ALL.
2. THE REASON FOR A FIRM'S OFFER OF DISCOUNT ON A SALE OF GOODS MUST BE TO INCREASE THE FIRM'S CASH FLOW.
3. A FIRM CANNOT REFUSE TO ACCEPT A DISCOUNT OFFERED BY A CREDITORS OR SUPPLIERS.
4. ALL DISCOUNTS OFFERED BY A FIRM TO CREDITORS OR SUPPLIERS MUST BE AVAILABLE TO ALL.

PRELIMINARY
NOT FOR CONSTRUCTION

[illegible]

POSTHOC ANALYSIS

[illegible]

(1) Plaintiff Breckner Delmar L. Lindus, P.D. B.

- (1) Parent Surface Drift - Lanthier RD - B
- (2) Streets apr Bulfinch
- A River Rock Rd
 - 42' left of frontage line; W/ bulfinch = 12,400 sqft
 - 12,400 sqft divided by 10 = 1,240 sqft of minimum lands apd area
 - Proposed lands apd area is streets apr bulfinch = 4,395 sqft
- B Holden Rd
 - 32' left of frontage line; W/ bulfinch = 5,640 sqft
 - 5,640 sqft divided by 10 = 564 sqft of minimum lands apd area
 - Proposed lands apd area is streets apr bulfinch = 4,423 sqft
- (3) Boundary Bulfinch
 - A Bulfinch between parents
 - [50' left of bul line
 - 150' left divided by 10 left = 1,500
 - 1,500 times minimum of 5 equals three = 15 equals seven times
 - 150' not divided by 5 equals 3
 - 2 times minimum of 12 divide = 24 divide
 - Proposed lands apr bulfinch = 7,770 sqft times 15 = 116,550 sqft times 4 = 466,200 sqft

RECEIVED
OCT 20 2015

COLERAIN ZONING

APPLICATION FOR INFORMAL CONCEPT PLAN REVIEW
OF A PROPOSED ZONE AMENDMENT

COLERAIN TOWNSHIP ZONING COMMISSION
4200 SPRINGDALE ROAD, CINCINNATI OH 45251
(513) 385-7505

Date of Application: 10/20/2015

Request Change From R-2 To Planned District

Land Use Map Designation: Rural Residence Area: 9.563 +/- acres

Applicant: Clover Group Inc. Telephone No.: (513) 295-4967

Address: 348 Harris Hill Rd. City, State, Zip: Williamsville, NY 14221

Name, address and parcel number of each property owner of record within the area of proposed to be reclassified (use separate sheet if necessary):

1. Clifford & Deanna Niehaus 5230 Springdale Rd. 510-0190-0026-00
2. Francis & Trena Lievwen 5332 Springdale Rd. 510-0190-0239-00
3. _____

Location of property in accordance with County Auditor's Records:

Township: Colerain Book: 510 Page: 190 Parcel No.(s): 26, and 239

Physical location of property:

5230-5332 Springdale Rd., Colerain Township, Cincinnati, Ohio 45251

My (our) interest in the property included in the request is:

Owner _____ Agent _____ Lessee _____ Optionee ✓

Applicant Signature: [Signature]

Address: 6457 Glenway Ave. Ste. 135 Telephone No. (513) 295-4967
Cincinnati, OH 45211

No filing fee is required for this informal concept plan review application.

Submit 12 copies of the following: Application, Letter of Intent (see information on the reverse of this page), and Concept Plan with elevations.

(over)

October 20, 2015

RECEIVED

OCT 20 2015

COLERAIN ZONING

Ms. Jenna LeCount
Director of Planning, Building & Zoning
Colerain Township
4200 Springdale Road
Cincinnati, Ohio 45251

Hand Delivered

RE: Clover Group Development/5230-5332 Springdale Road

Dear Jenna:

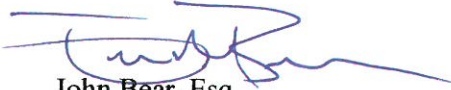
As you know, Clover Group Inc. is proposing to develop a 125-unit, market rate, residential development designed for the senior members of Colerain Township at 5230-5332 Springdale Road. The 9.563 acre site is zoned "R-2" Estate Residential District, and consistent with the provisions of the Zoning Resolution we will be requesting an amendment to the zoning classification to "PD" Planned District.

Prior to submitting a formal application requesting a zone amendment, we would like to submit an application for an informal concept plan review of the proposed zone amendment by the Colerain Township Zoning Commission.

It is my understanding that the Zoning Commission will meet on November 17, 2015, at which time the concept plan will be reviewed.

Should you have any questions or need additional information prior to the meeting, please do not hesitate to call me.

Sincerely,



John Bear, Esq.
Director of Development
Clover Group, Inc.
6457 Glenway Avenue, Suite 135
Cincinnati, Ohio 45211



CURRENT ZONING: R4
9.66 ACRES
3 STORY
125 UNITS (21 2-BEDROOM, 4 1-BEDROOM
100 0-BEDROOM)
44,196 SF (132,598 TOTAL)
134 PARKING SPACES (INCLUDING 22 GARAGES)



SENIOR HOUSING 5230 SPRINGDALE ROAD COLERAIN, OHIO SENIOR/MARKET-RATE APARTMENTS

NAME	DATE	DESCRIPTION
PROJECT NO.	25287-01	
DATE	10-23-2015	
SCALE	1"=40'	
DRAWN BY	S. SCHNEIDER	
CHECKED BY		
NO. 14 REVIEWER	REVIEWED	
7203 SUPERVISOR OF THE WORK		
EDUCATION LAW		

CONCEPT PLAN

CES
COMPANIES

C&S Engineers, Inc.
10000
Buffalo, New York 14203
Phone: 716-647-1500
Fax: 716-647-1501
WWW.CESCOMPANIES.COM