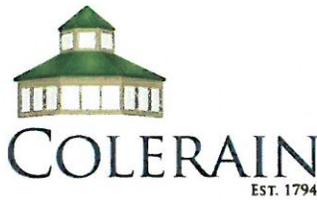


COLERAIN TOWNSHIP ZONING COMMISSION
Regular Meeting
Tuesday, November 17, 2015 - 7:00 p.m.

Colerain Township Government Complex
4200 Springdale Road - Cincinnati, OH 45251

1. Meeting called to order.
Pledge of Allegiance.
Roll Call.
2. Approval of Minutes: October 20, 2015.
3. Public Address: None.
4. Final Development Plan:
A. ZA2015-03 – White Oak Garden Center.
5. Public Hearings: None.
6. Informal Concept Review: 5230-5332 Springdale Rd.- Request change from R-2 Residential to Planned District for residential senior development.
7. Old Business: None.
8. New Business: None.
9. Administration: None.
10. Announcements: None.
11. Next Meeting: December 15, 2015.
12. Adjournment.



Staff Report: **Final Development Plan**
Case #: ZA2015-03
White Oak Garden Center
3579 Blue Rock Road
November 17, 2015

Prepared by: Jenna M. LeCount, AICP
Director of Planning & Zoning

PROJECT SUMMARY:

The applicant proposes to rezone an assemblage of properties to a PD-B: Planned Development Business District to allow for growth of business and easier access to the business.

PROJECT HISTORY:

Preliminary Development Plan | RPC: Recommended Approval August 6, 2015
Preliminary Development Plan | Zoning Commission: Recommended Approval (5-0) August 18, 2015
Preliminary Development Plan | Trustees: Approved (3-0) September 8, 2015 with the following conditions and variances:

Conditions:

1. The applicant must submit a site plan demonstrating that the 15% open space requirements set forth in section 9.3.7 of the zoning resolution have been met.
2. Hermes Drive shall be paved.
3. Any proposed parking area within the 15-foot streetscape buffer yard along Hanley Road must be removed, or a Revocable Agreement letter must be provided by the Hamilton County Engineer's Office.
4. The streetscape buffer yard and landscaping along the Hanley Road street frontage must meet the requirements of Section 14.5.1 of the zoning resolution.
5. The applicant must provide the required landscape plantings or an equivalent off-site buffer along the northern half of the western property boundary.
6. The applicant must satisfy any requirements of the Hamilton County Engineer, such as right-of-way dedication and traffic impact analysis report.
7. Zoning staff and applicant shall work on the details of the sidewalks for the payment in lieu of program.

Variances:

1. Section 13.4.1(E) - That the northern entrance to the site on Blue Rock Road shall be permitted to remain 40 feet from the intersection of Blue Rock Road and Hanley Road where a 50 foot separation is required.
2. Section 13.4.4(D) & 14.5.1 – That the site shall be permitted a streetscape buffer yard of 0 feet along Blue Rock Road where a streetscape buffer of 15 feet is required and shall be permitted no plantings or landscaping where plantings and landscaping is required within the streetscape boundary buffer.
3. Table 14-1 – That the site shall be permitted with the current buffer yard where a 30-foot boundary buffer yard is required along the boundary of the adjacent residential lot on Hanley Road.

REVIEW OF FDP
LANDSCAPING:

Approval of the Preliminary Development Plan was conditioned on the streetscape buffer and landscaping requirements of Section 14.5.1 of the zoning resolution. The FDP shows the site plan meets the requirements of this section.

LIGHTING:

Approval of the Preliminary Development Plan was conditioned on the lighting complying with Article 12 of the Zoning Resolution. The FDP does not propose new lighting for the site and existing lighting meets standards set forth in the zoning resolution.

SIGNAGE:

Approval of the Preliminary Development Plan was conditioned on the signage complying with Article 15 of the Zoning Resolution. No zoning certificate will be issued for signage in excess of the requirements in Article 15.

PARKING:

The dimensions and location of the parking stalls and drive aisles is in keeping with the requirements found in the zoning resolution.

OTHER CONSIDERATIONS:

Sidewalks – Per condition 7 of the approval of the Preliminary Development Plan, the Applicant has applied for and been granted a sidewalk waiver and payment-in-lieu of sidewalks from the Colerain Township Board of Trustees.

Impervious Surface Ratio – The proposed site has an ISR of 68.8% where the maximum ISR allowed is 75%.

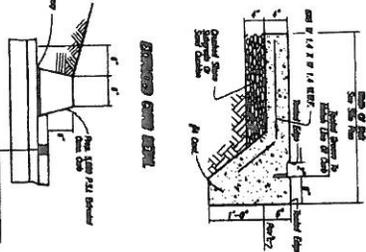
Dumpsters – The dumpsters are appropriately located and properly screened.

Architectural Design Standards – The architecture of the buildings meet the design standards in the zoning resolution.

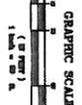
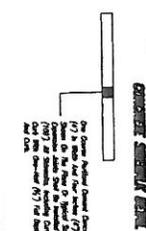
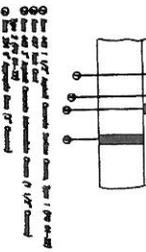
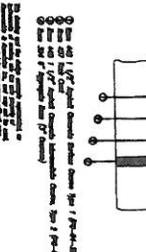
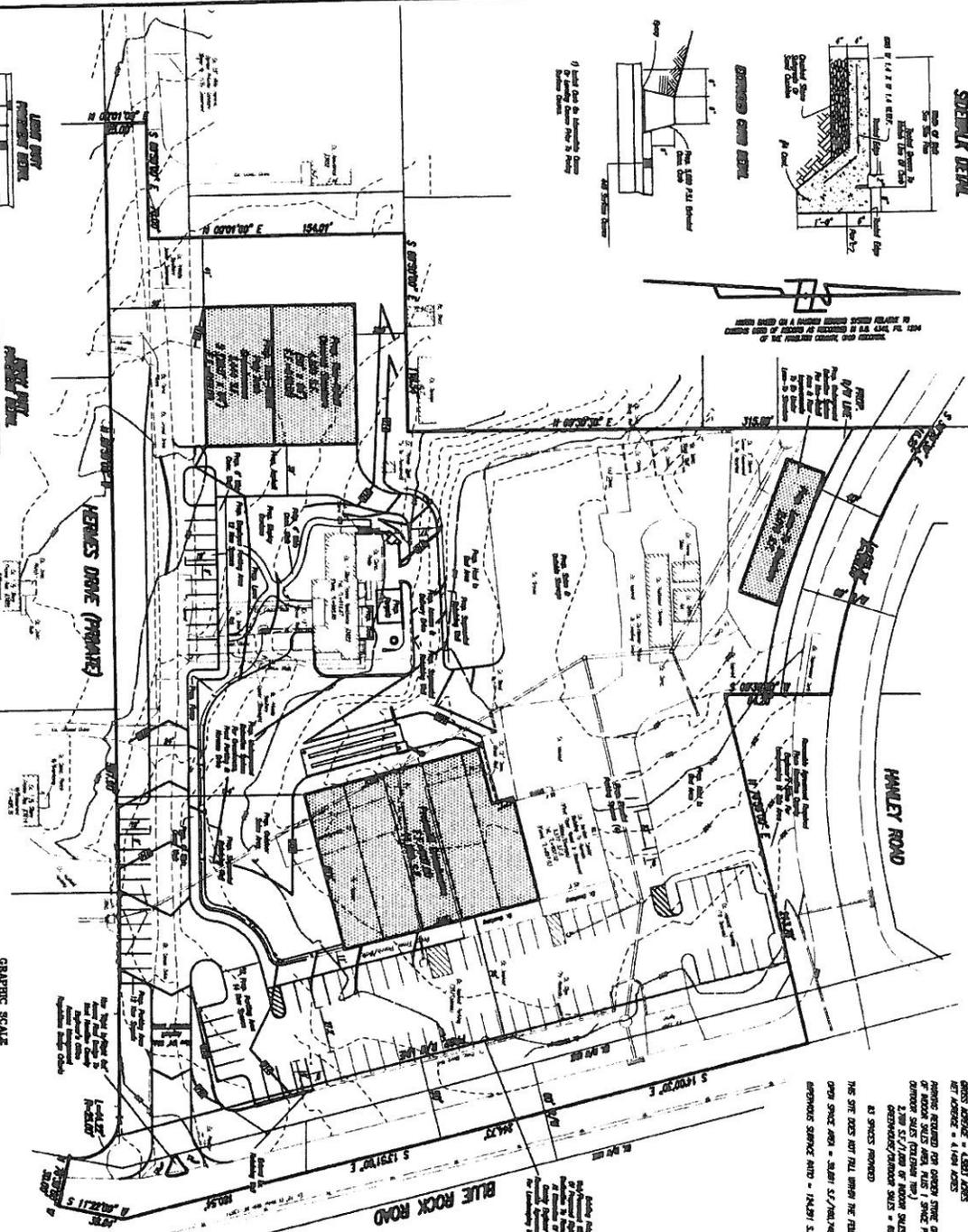
RECOMMENDATION:

Staff recommends **APPROVAL** of this Final Development Plan. The applicant has met all of the conditional requirements of the approval for the Preliminary Development Plan.

SIDEWALK DETAIL



NOTE: BASED ON A CHANNEL DESIGN SPECIFIED RELATIVE TO THE CITY OF HAMILTON. THE CITY OF HAMILTON IS NOT RESPONSIBLE FOR THE PROPER CONSTRUCTION AND MAINTENANCE OF THE SIDEWALK DETAIL.



1. All work shall be in accordance with the City of Hamilton Building Code, 1997 Edition, unless otherwise specified.

2. All work shall be in accordance with the City of Hamilton Zoning By-Law, 1997 Edition, unless otherwise specified.

3. All work shall be in accordance with the City of Hamilton Engineering Code, 1997 Edition, unless otherwise specified.

4. All work shall be in accordance with the City of Hamilton Fire Code, 1997 Edition, unless otherwise specified.

5. All work shall be in accordance with the City of Hamilton Health Department Code, 1997 Edition, unless otherwise specified.

6. All work shall be in accordance with the City of Hamilton Public Works Code, 1997 Edition, unless otherwise specified.

7. All work shall be in accordance with the City of Hamilton Police Code, 1997 Edition, unless otherwise specified.

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10. All work shall be in accordance with the City of Hamilton Public Works Code, 1997 Edition, unless otherwise specified.

GENERAL NOTES

1. CROSS SECTION = 4.000 METERS

2. LET SPACING = 4.000 METERS

3. FINISH GRADE FOR DRIVEWAY SHALL BE 1.500 METERS PER 1.000 S.F. OF DRIVEWAY OR NET DRIVEWAY AREA (WHICHEVER IS GREATER).

4. DRIVEWAY/PAVEMENT SHALL BE 60 SHOVS REQUIRED

5. 60 SHOVS REQUIRED

6. THE SITE DOES NOT FALL WITHIN THE FLOOD HAZARD FLOOD ZONE

7. DRIVEWAY SURFACE INTO = 1.500 S.F./1.000 S.F. = 2.12

8. DRIVEWAY SURFACE INTO = 1.500 S.F./1.000 S.F. = 2.12



DEVELOPMENT PLAN

1. THE DEVELOPMENT PLAN IS SUBJECT TO THE CITY OF HAMILTON ZONING BY-LAW, 1997 EDITION, AND THE CITY OF HAMILTON BUILDING CODE, 1997 EDITION, UNLESS OTHERWISE SPECIFIED.

2. THE DEVELOPMENT PLAN IS SUBJECT TO THE CITY OF HAMILTON ENGINEERING CODE, 1997 EDITION, UNLESS OTHERWISE SPECIFIED.

3. THE DEVELOPMENT PLAN IS SUBJECT TO THE CITY OF HAMILTON FIRE CODE, 1997 EDITION, UNLESS OTHERWISE SPECIFIED.

4. THE DEVELOPMENT PLAN IS SUBJECT TO THE CITY OF HAMILTON HEALTH DEPARTMENT CODE, 1997 EDITION, UNLESS OTHERWISE SPECIFIED.

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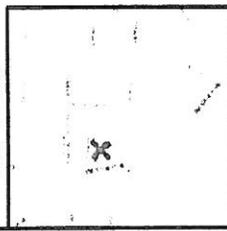
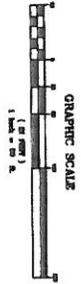
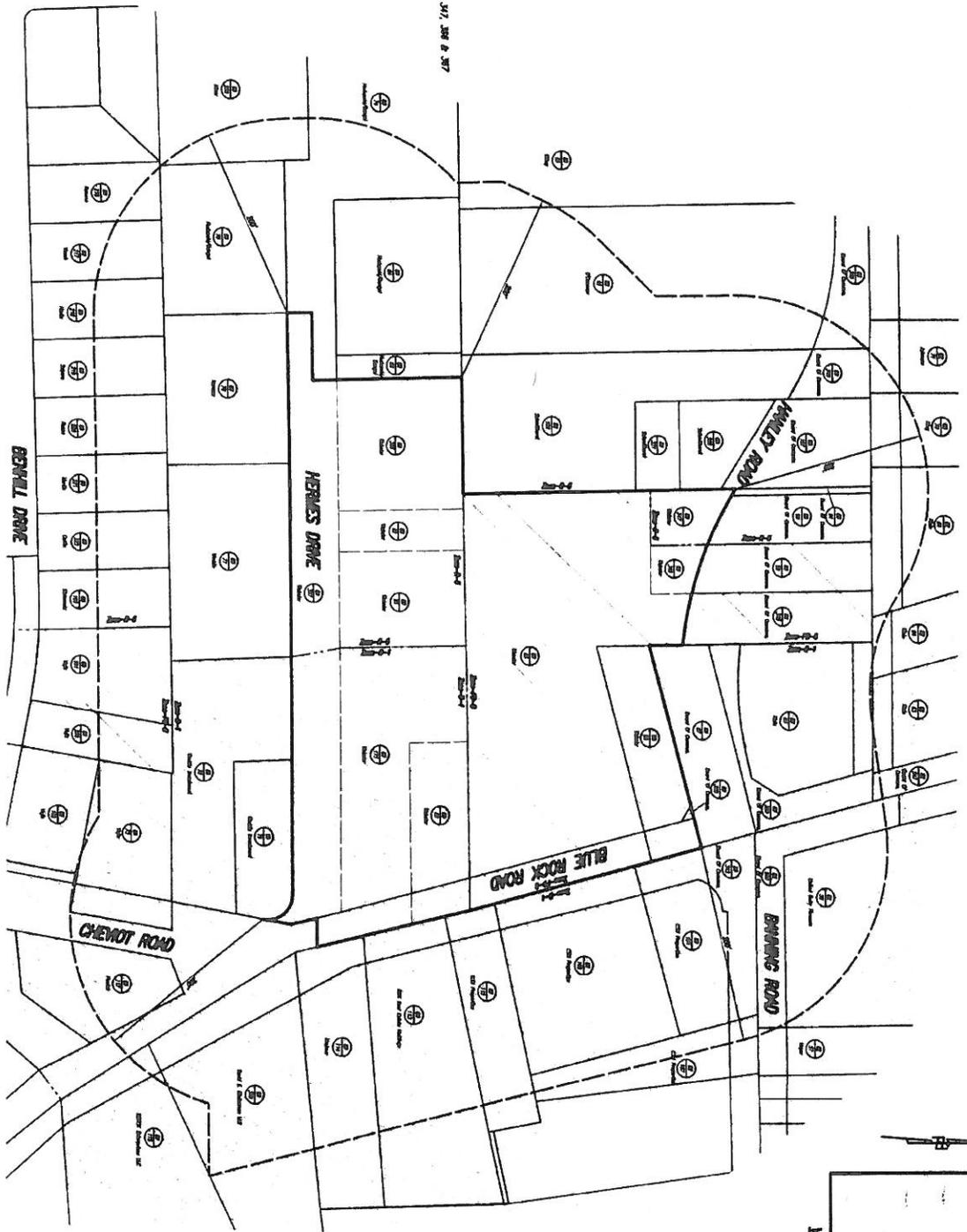
10. THE DEVELOPMENT PLAN IS SUBJECT TO THE CITY OF HAMILTON POLICE CODE, 1997 EDITION, UNLESS OTHERWISE SPECIFIED.

<p>Abercrombie & Associates, Inc. Civil Engineering - Surveying 4117 Campbell Road, Suite 110 Hamilton, Ontario L8S 4K3 905-571-2222</p>	<p>FINAL DEVELOPMENT PLAN</p> <p>ONE ONE ONE ONE SECTION-7, TOWN-2, E RANGE-1 COLLEEN TOWNSHIP HAMILTON COUNTY, ONT</p>	<p>9-20-15</p> <p>J.C.</p> <p>C.A.</p> <p>1" = 30'</p>
	<p>DATE: 9-20-15</p> <p>SCALE: 1" = 30'</p>	<p>PROJECT NO: 15-00000000-0-000</p>

THIS PLAN IS A REVISION OF THE PLAN OF
 SECTION 7, TOWNSHIP 2, E. RANGE-1
 OF HAMILTON COUNTY, OHIO.

-  EXISTING ROADWAY ZONE P-4
-  EXISTING ROADWAY ZONE A-1
-  EXISTING ROADWAY ZONE P-4

PROCESSED BY THE ENGINEER
 TO BE RECORDED IN 19-0

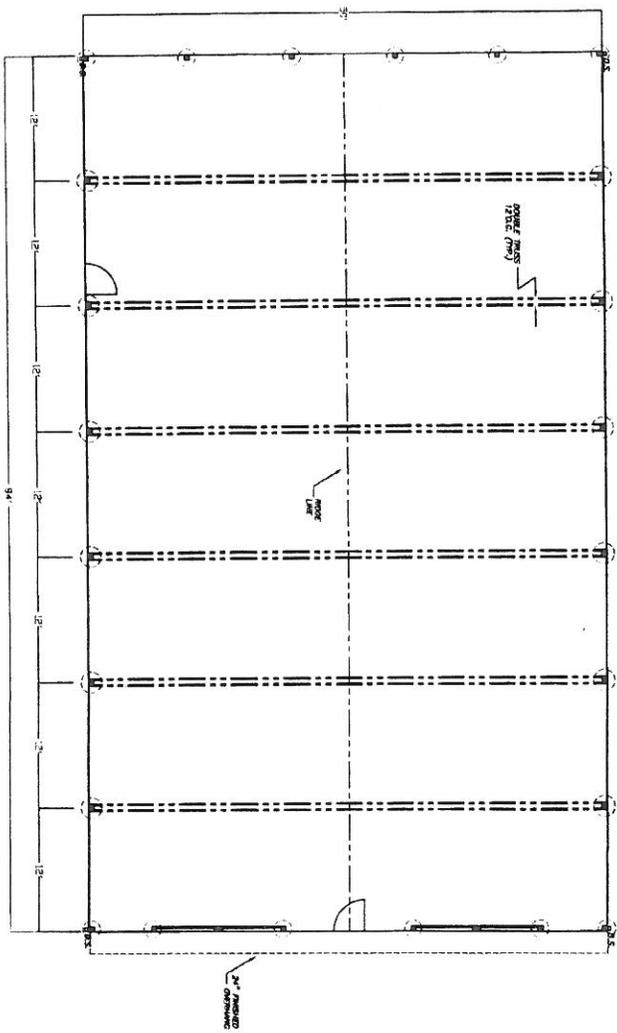


A&A Abercrombie & Associates, Inc.
 Civil Engineering - Surveying
 1271 Columbia Road, Suite 120
 Columbus, Ohio 43260
 614-885-1200
 www.abercombie.com

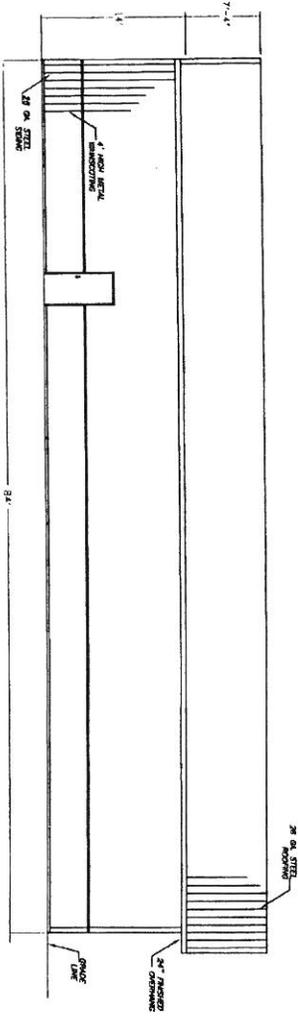
FINAL DEVELOPMENT PLAN
 WINDY CREEK GOLF COURSE
 SECTION-7, TOWNSHIP-2, E. RANGE-1
 COLLIERIA TOWNSHIP
 HAMILTON COUNTY, OHIO

DATE	19-0
BY	J.C.
CHECKED	C.A.
SCALE	1" = 50'

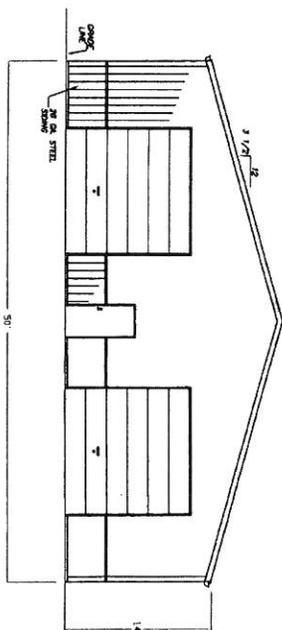
19-021511-0-10P



FLOOR PLAN
SCALE: 3/16" = 1'



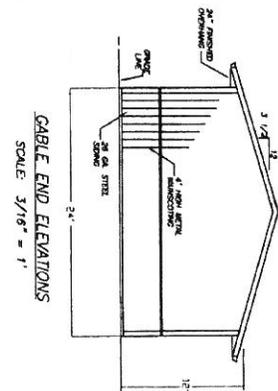
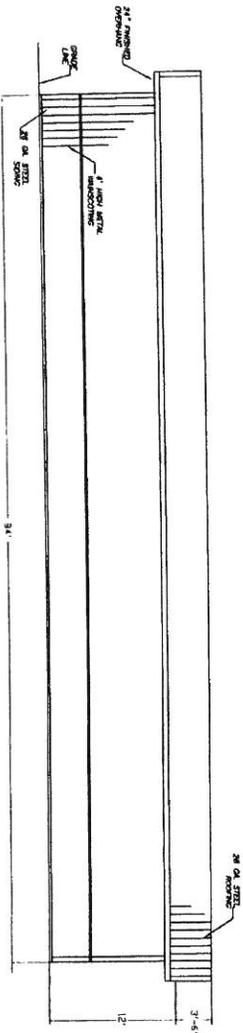
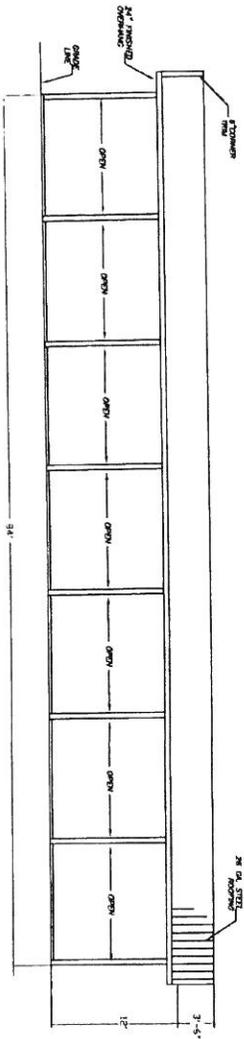
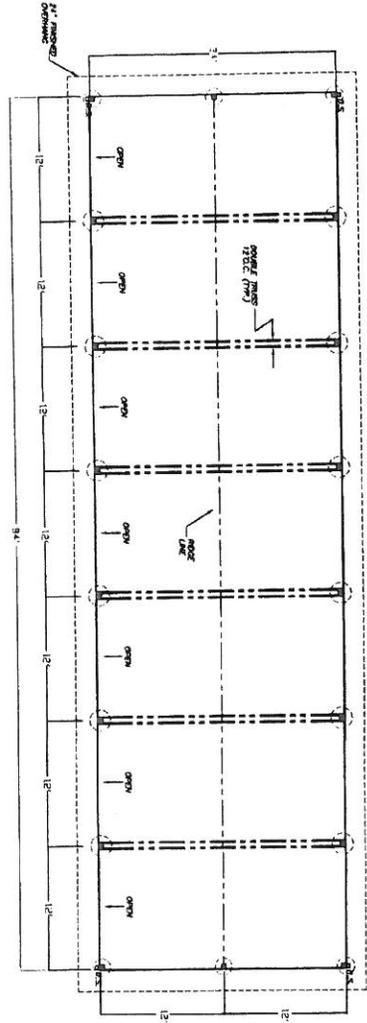
EAVE SIDE ELEVATIONS
SCALE: 3/16" = 1'



GABLE END ELEVATIONS
SCALE: 3/16" = 1'

WHITE OAK GARDEN CENTER
 3578 BLUE ROCK ROAD
 CINCINNATI, OHIO 45247
 6770 Kepler Road
 Cleveland, Ohio 45002
 Wayne Buildings (513) 353-9000

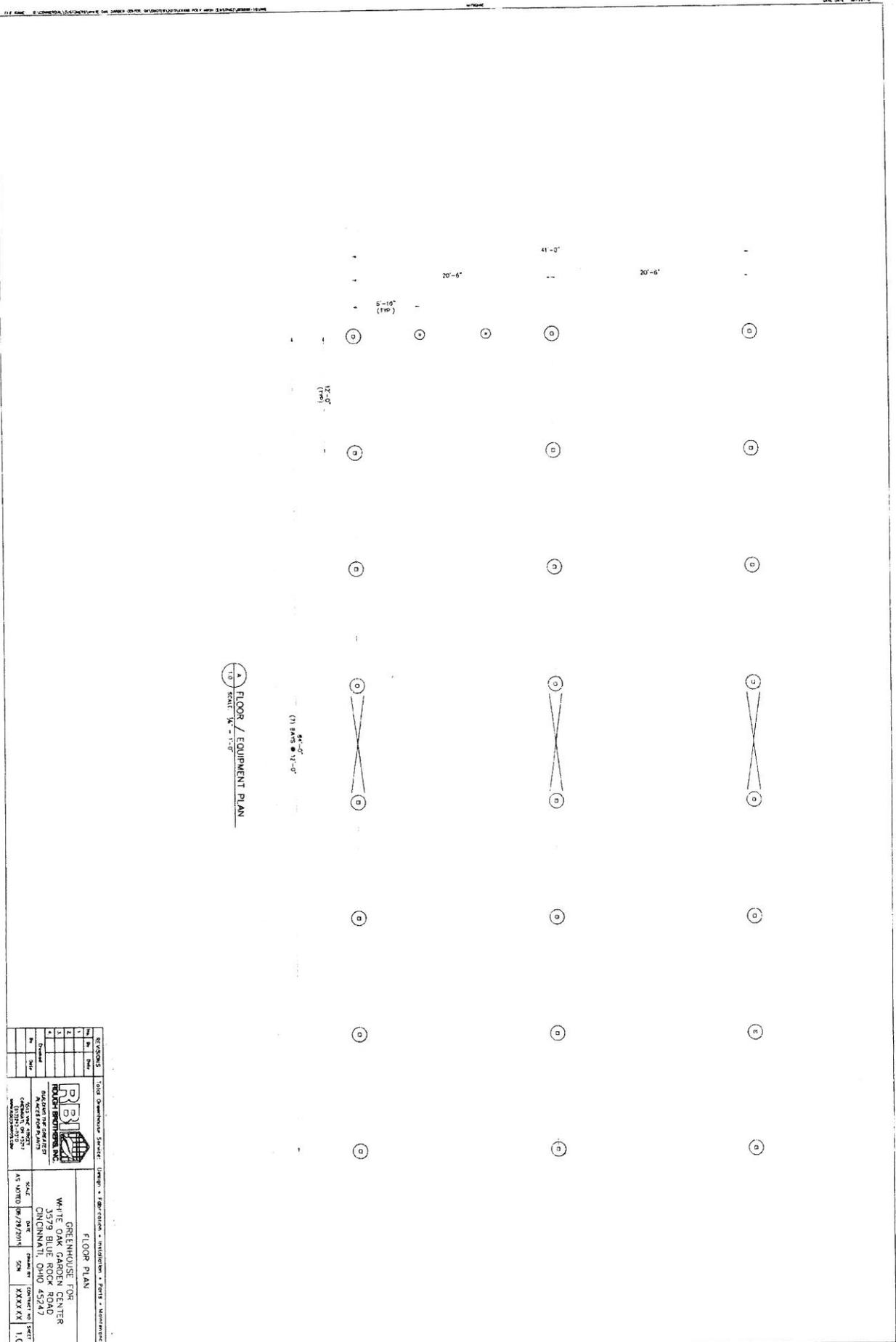
76-24-15	DATE
667-01	BY
	SHOWN
	1



WHITE OAK GARDEN CENTER
3579 BLUE ROCK ROAD
CINCINNATI, OHIO 45247

WYNNE 6770 Koehler Road
Cleveland, Ohio 45002
Buildings (513) 383-8000

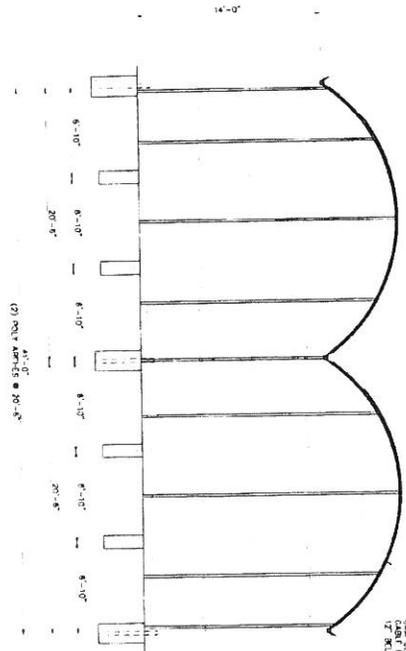
DATE	06-24-15
NO. SHOWN	666-01
SHEET	1



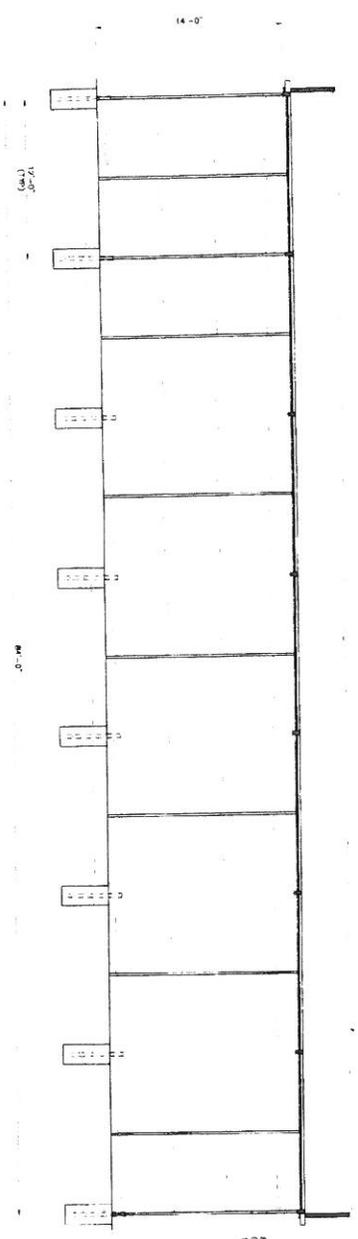
1-1 FLOOR / EQUIPMENT PLAN
SCALE: 1/8" = 1'-0"

REVISED	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

		ROBERT BROWN ENGINEERS, INC. 1000 W. WASHINGTON ST. CINCINNATI, OHIO 45202	
SCALE: 1/8" = 1'-0"		DATE: 09/29/2011	
PROJECT NO: 10		SHEET NO: 10	
GREENHOUSE FOR: WHITE OAK GARDEN CENTER 3579 BLUE ROCK ROAD CINCINNATI, OHIO 45247			

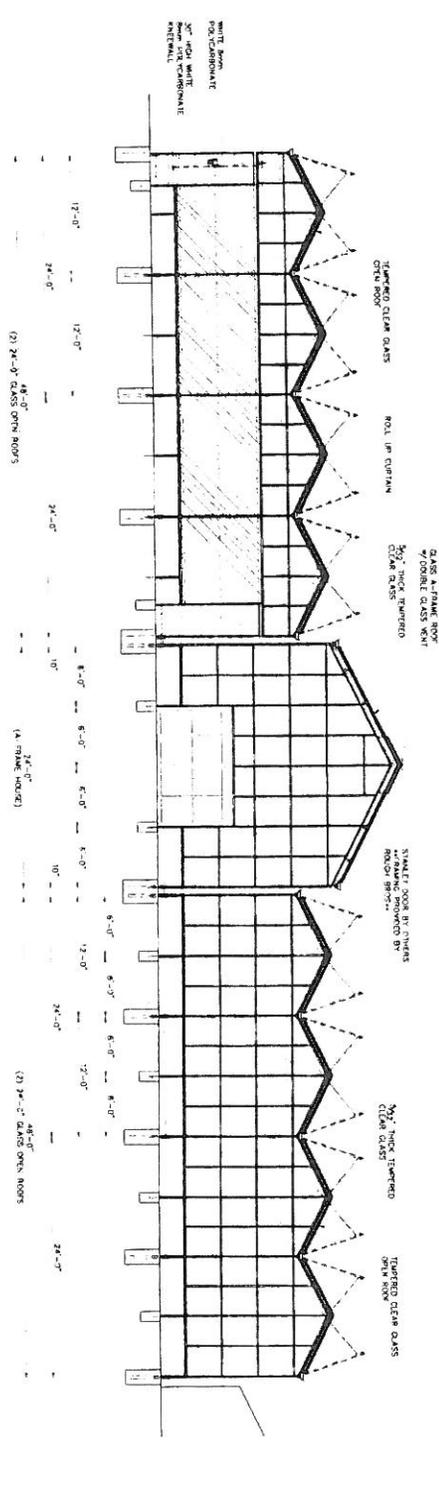


A CABLE ELEVATION
SCALE: 1/8" = 1'-0"

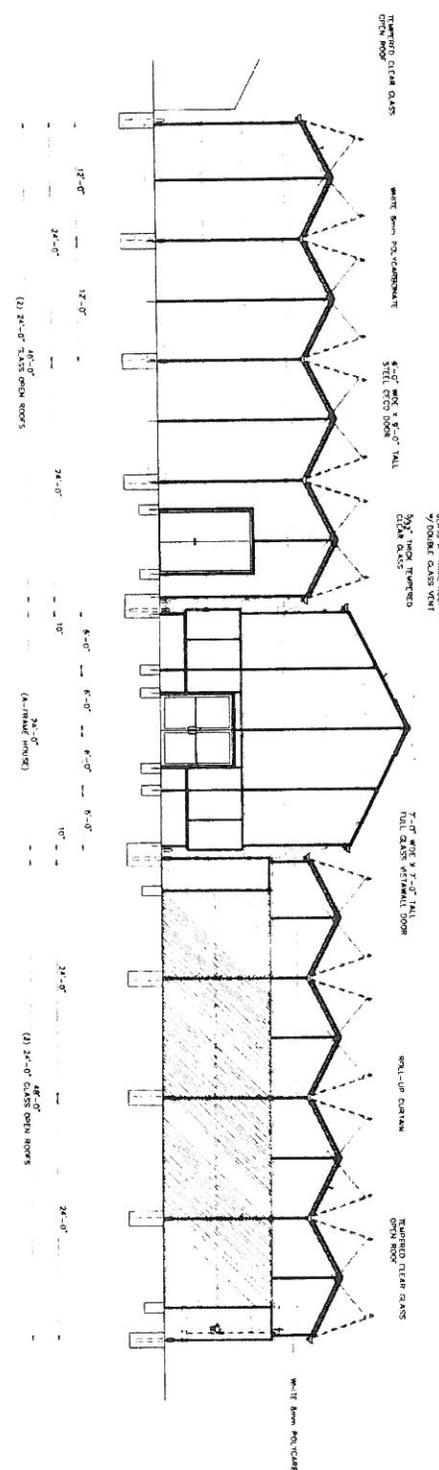


B SIDE WALL ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS		DATE		BY	
1					
2					
3					
4					
5					
R.E. BISHOP ENGINEERS INC. 10000 W. 12TH AVE. SUITE 100 DENVER, CO 80202					
PROJECT		GREENHOUSE FOR			
DESCRIPTION		WHITE OAK GARDEN CENTER			
ADDRESS		3579 BLUE ROCK ROAD			
CITY		CHICAGO, ILL.			
STATE		ILL.			
ZIP		60642			
DATE		10/27/2011			
DRAWN BY		J.M.			
CHECKED BY		J.M.			
SCALE		AS SHOWN			
PROJECT NO.		XXXXXX			
SHEET NO.		2 OF 2			



A EAST CABLE ELEVATION
SCALE: 3/8" = 1'-0"

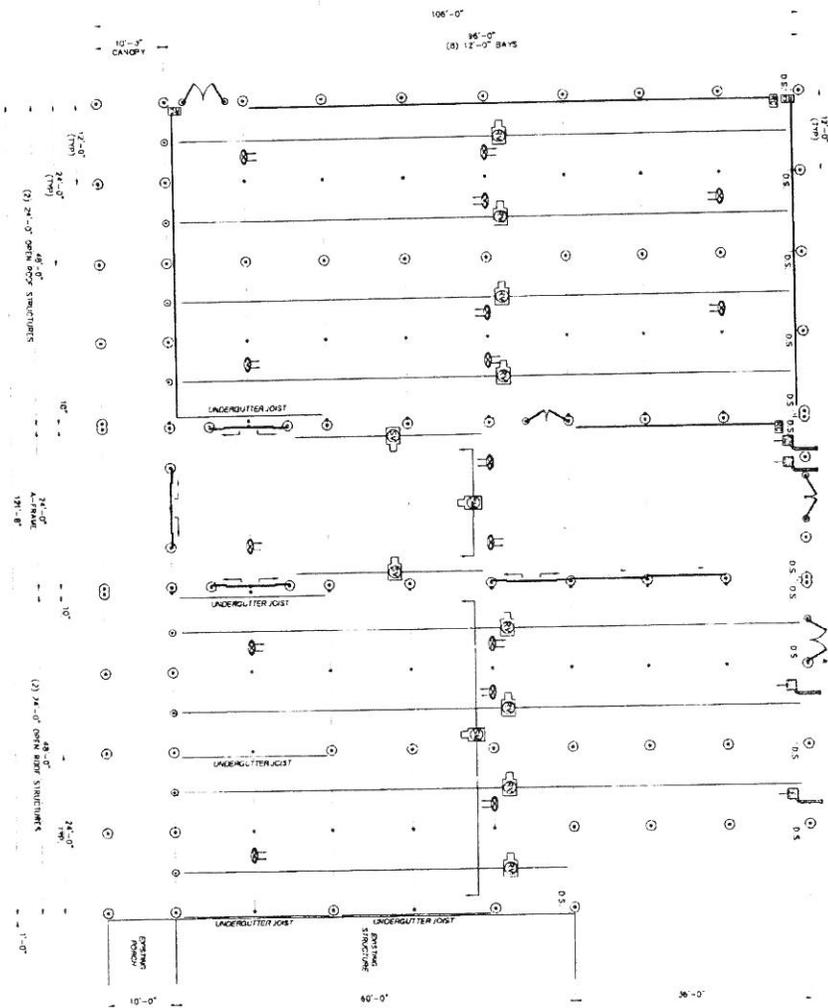


B WEST CABLE ELEVATION
SCALE: 3/8" = 1'-0"

**PRELIMINARY
NOT FOR CONSTRUCTION**

NO.	DATE	REVISIONS
1	12/15/13	ISSUED FOR PERMIT
2	1/27/14	REVISED PER COMMENTS
3	1/27/14	REVISED PER COMMENTS
4	1/27/14	REVISED PER COMMENTS

		Total Construction Service • DESIGN & CONSTRUCTION • MANAGEMENT • ESTIMATE • ADMINISTRATION
ROBERT BROTHERS, INC.		
10000 W. STATE STREET CINCINNATI, OHIO 45241		
PROJECT NO. 145101	SHEET NO. 210	DATE 01/27/2014



EQUIPMENT PLAN
SCALE: 1/8" = 1'-0"

**PRELIMINARY
NOT FOR CONSTRUCTION**

EQUIPMENT SCHEDULE		QTY
1	ROOF MOUNT MOTORS (SEE DETAIL)	8
2	ROOF MOUNT MOTORS (SEE DETAIL)	2
3	ROOF MOUNT MOTORS (SEE DETAIL)	2
4	ROOF MOUNT MOTORS (SEE DETAIL)	2
5	ROOF MOUNT MOTORS (SEE DETAIL)	2
6	ROOF MOUNT MOTORS (SEE DETAIL)	2
7	ROOF MOUNT MOTORS (SEE DETAIL)	2
8	ROOF MOUNT MOTORS (SEE DETAIL)	2
9	ROOF MOUNT MOTORS (SEE DETAIL)	2
10	ROOF MOUNT MOTORS (SEE DETAIL)	2
11	ROOF MOUNT MOTORS (SEE DETAIL)	2
12	ROOF MOUNT MOTORS (SEE DETAIL)	2
13	ROOF MOUNT MOTORS (SEE DETAIL)	2
14	ROOF MOUNT MOTORS (SEE DETAIL)	2
15	ROOF MOUNT MOTORS (SEE DETAIL)	2
16	ROOF MOUNT MOTORS (SEE DETAIL)	2

- NOTES:
1. ALL DIMENSIONS CONTAINED ON THIS PLAN TO BE CONSIDERED AS MINIMUM DIMENSIONS UNLESS OTHERWISE NOTED.
 2. THIS DRAWING IS FOR INFORMATION ONLY. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS AND FINISHES.
 3. CHECK WITH THE ARCHITECT FOR ALL DIMENSIONS AND FINISHES.
 4. CHECK WITH THE ARCHITECT FOR ALL DIMENSIONS AND FINISHES.
 5. CHECK WITH THE ARCHITECT FOR ALL DIMENSIONS AND FINISHES.
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 15. CHECK WITH THE ARCHITECT FOR ALL DIMENSIONS AND FINISHES.
 16. CHECK WITH THE ARCHITECT FOR ALL DIMENSIONS AND FINISHES.

NO.	DESCRIPTION	DATE	BY	CHKD.
1	PREPARED	10/10/11	J. B. BROWN	J. B. BROWN
2	REVISION			
3	REVISION			
4	REVISION			
5	REVISION			

PROJECT: GREENHOUSE FOR WHITE OAK GARDEN CENTER
 35379 BLUE ROCK ROAD
 CINCINNATI, OHIO 45227
 ARCHITECT: R. B. BROWN & ASSOCIATES
 45 W. 10th St., Cincinnati, Ohio 45202
 SCALE: 1/8" = 1'-0"
 SHEET NO. 110

OCT 20 2015

COLERAIN ZONING

APPLICATION FOR INFORMAL CONCEPT PLAN REVIEW OF A PROPOSED ZONE AMENDMENT

COLERAIN TOWNSHIP ZONING COMMISSION 4200 SPRINGDALE ROAD, CINCINNATI OH 45251 (513) 385-7505

Date of Application: 10/20/2015

Request Change From R-2 To Planned District

Land Use Map Designation: Rural Residence Area: 9.563 +/- acres

Applicant: Clover Group Inc. Telephone No.: (513) 295-4967

Address: 348 Harris Hill Rd. City, State, Zip: Williamsville, NY 14221

Name, address and parcel number of each property owner of record within the area of proposed to be reclassified (use separate sheet if necessary):

- 1. Clifford & Deanna Niehaus 5230 Springdale Rd. 510-0190-0026-00
2. Francis & Trena Lievwen 5332 Springdale Rd. 510-0190-0239-00
3.

Location of property in accordance with County Auditor's Records:

Township: Colerain Book: 510 Page: 190 Parcel No.(s): 26, and 239

Physical location of property:

5230-5332 Springdale Rd., Colerain Township, Cincinnati, Ohio 45251

My (our) interest in the property included in the request is:

Owner Agent Lessee Optionee [checked]

Applicant Signature: [Signature]

Address: 6457 Glenway Ave. Ste. 135 Cincinnati, OH 45211 Telephone No. (513) 295-4967

No filing fee is required for this informal concept plan review application.

Submit 12 copies of the following: Application, Letter of Intent (see information on the reverse of this page), and Concept Plan with elevations.

October 20, 2015

RECEIVED

Ms. Jenna LeCount
Director of Planning, Building & Zoning
Colerain Township
4200 Springdale Road
Cincinnati, Ohio 45251

OCT 20 2015

COLERAIN ZONING

Hand Delivered

RE: Clover Group Development/5230-5332 Springdale Road

Dear Jenna:

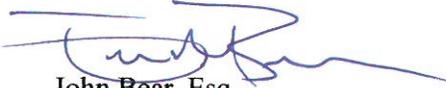
As you know, Clover Group Inc. is proposing to develop a 125-unit, market rate, residential development designed for the senior members of Colerain Township at 5230-5332 Springdale Road. The 9.563 acre site is zoned "R-2" Estate Residential District, and consistent with the provisions of the Zoning Resolution we will be requesting an amendment to the zoning classification to "PD" Planned District.

Prior to submitting a formal application requesting a zone amendment, we would like to submit an application for an informal concept plan review of the proposed zone amendment by the Colerain Township Zoning Commission.

It is my understanding that the Zoning Commission will meet on November 17, 2015, at which time the concept plan will be reviewed.

Should you have any questions or need additional information prior to the meeting, please do not hesitate to call me.

Sincerely,



John Bear, Esq.
Director of Development
Clover Group, Inc.
6457 Glenway Avenue, Suite 135
Cincinnati, Ohio 45211

