



COLERAIN TOWNSHIP
BOARD OF ZONING APPEALS
Regular Meeting
Wednesday, April 23, 2014 - 7:00 p.m.

Colerain Township Government Complex
4200 Springdale Road - Cincinnati, Ohio 45251

1. Meeting called to order.
2. Pledge of Allegiance.
3. Explanation of procedures.
4. Roll Call.
5. Swearing in: appellants, attorneys and all speakers in the cases.
6. Hearing of Appeals:
 - A. Case No.: BZA2014-02
Application: Variance for privacy fence - Article/Section 12.8.4
Case No.: BZA2014-03
Application: Variance for accessory structure (tree house) Article/Section 10.2.3
Location: 2614 Bellbranch Ct., Cincinnati, OH
Applicant/Owner: Christopher R. Gaines
 - B. Case No.: BZA2014-04
Application: Variances for redevelopment of gas station – Articles/Sections 8.3.1, 8.4.2(C), 8.4.6(C), 12.9.4, 14.6.1, 15.8.3(G)
Location: 9760/9780 Colerain Ave., Cincinnati, OH
Applicant/Owner: Gilligan Oil Company
 - C. Case No.: BZA2014-06
Application: Variance for front yard setback – Article/Section 7.3.1, Table 7-2
Location: 2629 John Gray Rd., Cincinnati, OH
Applicant: Thomas Dunn
Owner: Michael Berry
7. Resolutions for Adoption: None.
8. Unfinished Business: None.
9. Approval of Minutes: March 26, 2014 meeting.
10. Administrative Matters: None.
11. Adjournment.

Appeal #2014-06
Area Variance

2629 John Gray

Case Summary

In the matter of the appeal of Thomas Dunn on behalf of Micheal Berry for an area variance from Article 7, Section 7.3.1, Table 7-2 of the Zoning Resolution, related to the front yard setback in a R-6: Urban Residential District, the applicant proposes to construct a porch with a roof that would extend 6'5" into the required 30' setback. The applicant applied for and was denied a zoning certificate for the proposed addition on November 14, 2013. Uncovered porches which do not extend more than 3 feet above floor level of the ground floor may project into a required front yard (§12.3.2) and open unenclosed porches may project into the front yard for a distance not exceeding 10 feet (§12.3.3) however, because the proposed porch does not meet these criteria, it is governed by §12.3.1 which says that every part of a required yard shall be open to the sky and unobstructed.

Staff Findings:

1. All buildings in the 2600 block of John Gray are setback approximately 35 feet from the right-of-way.
2. No other properties in this block have covered porches that extend into the front yard setback.
3. The proposed addition would be contrary to the purpose of Article 7 of the zoning resolution as listed in §7.1.1 (A).
4. There is no unique, practical difficulty that sets this property apart from its neighboring properties.
5. The practical difficulty alleged by the applicant could feasibly be obviated by other means.
6. The variance would not adversely affect the delivery of governmental services
7. The neighborhood is currently characterized by homes built to a similar setback without covered porches extending into the front yard setback, the proposed addition would change the established character of the neighborhood.
8. By taking into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood and broader community, staff finds that substantial justice would be done by denying this variance.

Staff Recommendation: Denial



Area Variance**Case Summary**

In the matter of the appeal of Christopher Gaines for an area variance from Article 12, Section 12.8.4 and Article 10, Section 10.2.3 of the Zoning Resolution, related to design standards for fencing and accessory structures in a R-6: Urban Residential District, the applicant seeks relief for a previously constructed fence with the finished side not facing out and an accessory structure that stands above the maximum allowable height of 15 feet and is located closer than 5 feet from a property line.

As part of a long standing dispute between the neighbors at 2606 Bellbranch (the Beimesche residence) and 2614 Bellbranch (the Gaines residence) the two disputants filed a number of zoning and police complaints against each other in September of 2012. After many contacts with both the Beimesche's and Mr. Gaines, our office concluded its investigation of both properties and in February of 2013 issued notices of violation (NOV) for all zoning and property maintenance violations on the properties including, at Mr. Gaines residence, NOVs for illegal home occupation, an illegal accessory structure and an illegal fence.

The home occupation violation was related to the change in the outside appearance of the premises resulting from a commercial trailer being stored in the driveway for Mr. Gaines' DJing business Jam Entertainment. Mr. Gaines has petitioned the BZA on two separate occasions for permission to store his commercial trailer in his driveway. In 2009, BZA case number BZA2009-0024 granted Mr. Gaines permission to store the commercial trailer in his driveway subject to the following conditions:

1. That only one trailer shall be permitted on the site.
2. That the variance shall be granted to the vehicle presented in this appeal.
3. That there shall be no blocking of the walkway.
4. That the applicant shall install a motion sensor on his house to provide safety for the neighborhood.
5. That the variance shall be limited to this land owner.
6. That the variance is granted with a one year limitation.

On February 23, 2011, after the 2009 variance expired, the BZA denied any extension of the 2009 variance finding that "the parking of the applicant's commercial vehicle on the premises during the past year had an adverse effect on the occupants of the neighboring properties" (BZA2010-0022). From that date forward, Mr. Gaines continued to park his commercial trailer in his driveway despite notifications from our office to remove the trailer.

Mr. Gaines failed to comply with our zoning resolution even after the NOVs were issued in February of 2013. After exhausting all administrative remedies, our office filed suit for an injunction against Mr. Gaines on June 6, 2013. As a result of that lawsuit, the Colerain Township Board of Trustees entered into a settlement agreement with Mr. Gaines wherein Mr. Gaines admitted to being in violation of our laws and was required to remove the commercial trailer and petition the BZA for variances for the fence and accessory structure.

Staff Findings:

1. With or without the variances requested, the applicant would be able to yield a reasonable return on the property;
2. Without a variance the applicant would not be able to enjoy the beneficial use of the accessory structure that was constructed without a zoning certificate;
3. The applicant has reported that the neighboring property owners will not permit him on their property and therefore is unable to complete the construction of the outward facing portion of the fence. If this is true, the applicant faces a practical difficulty in his compliance with the zoning resolution;
4. Given the unique and particular circumstances of this property the variances requested are not substantial;
5. The essential character of the neighborhood has been altered by Mr. Gaines construction of the accessory structure and fence in contravention to the zoning resolution but not substantially so;
6. Adjoining property owners have, in the past, alleged that they suffer a substantial detriment as a result of the construction of the accessory structure and fence.
7. The alternative to a variance for the accessory structure and fence is the deconstruction and/or redesign and relocation of the accessory structure and the reconstruction of the fence.
8. The variance would not adversely affect the delivery of governmental services

9. Given the context of this case and by taking into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood and broader community, staff finds that substantial justice would be done by approving these two variances with conditions.

Staff Recommendation: Approval with conditions:

1. the accessory structure and fence may not be expanded or altered without the consent of the BZA



**Appeal #2014-04
Area Variance**

9760 Colerain

Case Summary

In the matter of the appeal of Gilligan Oil Company for area variances from Article 8, Sections 8.3.1, 8.4.2 (C), 8.4.6 (C), Article 12, Section 12.9.4; Article 14, Section 14.6.1; Article 15, Section 15.8.3 (G) of the Zoning Resolution, related to the front yard setback, setbacks for protective canopies, impervious surface ratio, lighting standards, minimum landscaping requirements for parking areas, and wall signage in a B-2: General Business District, the applicant proposes to redevelop the existing Shell gas station and CarQuest parcels as described in the materials included in the packet.

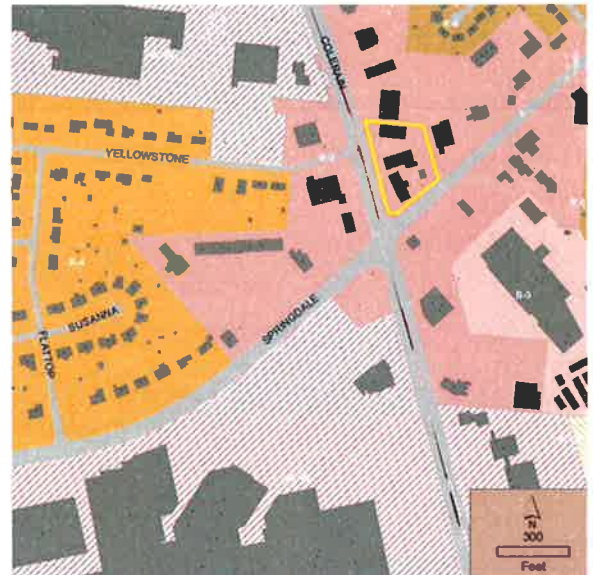
Staff Findings:

1. The gas station canopy extends less than 5 feet into the Colerain Ave. front yard set back and less than 10 feet into the Springdale Road front yard setback. On both frontages, the required setback is 50 feet. The existing gas canopy is significantly deficient in terms of meeting front yard setbacks. The variance would bring the site closer to compliance with the law and is not substantial;
2. The drive-thru canopy on the west side of the Dunkin' Donuts/GoCo station extends into the setback by less than three feet. The variance is not substantial;
3. The Popeye's Restaurant building extends into the front yard setback. The existing vacant car wash that this building would replace, has a greater front yard deficiency and a variance would bring the site closer to compliance with the law.
4. The maximum impervious surface ratio permitted in a B-2: General Business district is 75%. The applicant proposes an ISR of 90%. The existing ISR on the property is greater than 90%. The variance would bring the site closer to compliance with the law;
5. The applicant proposes to install landscaping in the parking area in an amount less than 15%. Given the existing condition, the deviation from the parking area landscaping requirement is not substantial;
6. The applicant proposes wall signage in excess of 50 SF on the west facade of the Dunkin' Donuts/GoCo store. The signage includes an image of a cup of coffee which meets our definition of a sign but is not conventional. The unique aspects of this sign on this site results in an attractive facade and is not substantial;
7. The applicant proposes 45 SF wall signage on the south facade of the Popeyes Restaurant building, exceeding the 32SF permitted. The building is exceptionally narrow and in this particular case and on this particular site, the variance is not substantial and aligns with the architectural features of the building;

8. The applicant proposes an outdoor lighting scheme with an average illumination of 2.35 footcandles, exceeding the maximum illumination of 2.0 foot candles. This variance is not significant;
9. The intersection of Colerain and Springdale is one of the most important intersections in the township;
10. Colerain Township will be investing over two million dollars in the burial of utilities at this intersection to improve the aesthetics and enhance the image of the township;
11. The applicant proposes to remove the existing billboard located on the site, thereby decreasing the visual clutter and improving the aesthetics of the area;
12. The applicant proposes a robust streetscape landscaping plan improving the aesthetics of the intersection;
13. The applicant proposes to demolish two vacant buildings (former car washes);
14. The applicant proposes to demolish the building currently occupied by CarQuest. This building has been in violation of the property maintenance resolution of the Township since at least November 21, 2013 when a Notice of Violation was issued for peeling paint and oxidation stains on the building's exterior;
15. The redevelopment, when taken as a whole, is a needed and welcome improvement at this important intersection;
16. It is unclear whether the owner of the property would be able to yield a reasonable return without the variances;
17. The essential character of the area would be substantially altered for the better as a result of the issuance of these variances;
18. Adjoining property owners would not suffer a detriment as a result of the granting of the variances, in fact they likely would realize benefits accruing from the redevelopment and investment in the property;
19. Many of the variances requested could be obviated by some other means but the resulting product would be less desirable than the redevelopment proposed;
20. Given the location of this project and by taking into consideration the benefit to the applicant if the variance is granted, as weighed against the detriment to the health, safety and welfare of the neighborhood and broader community, staff finds that substantial justice would be done by approving these variances with conditions.

Staff Recommendation: Approval with Conditions:

- 1. the existing billboard shall be removed and not replaced;**
- 2. the streetscape lighting fixtures and landscaping shall be installed as described in the proposed site plan;**
- 3. the project shall in all other ways comply with the zoning resolution;**
- 4. the project shall in all ways comply with the proposed site plan.**



APPLICATION FOR APPEAL
COLERAIN TOWNSHIP BOARD OF ZONING APPEALS

4200 Springdale Rd
Cincinnati, Ohio 45251
(513) 385-7505; Fax (513) 245-6503

RECEIVED
MAR 03 2014
COLERAIN ZONING

An appeal must be filed within 20 calendar days of the action causing the appeal (ORC 519.15)

Application number: BZA 2014-02

Owner: CHRISTOPHER GAINES Applicant: SAME

Property Address: 2614 BELBRANCH CT

City: CINCINNATI State/Zip: OH 45231

Applicant Address: SAME

City: _____ State Zip _____

Phone: 513 608 9553

Auditor's Book-Page-Parcel Number: 510 -- 21 -- 361

Zoning Classification: 12-8-4

Appeal to (check one): Refusal to issue Zoning Certificate _____ Citation for Violation X

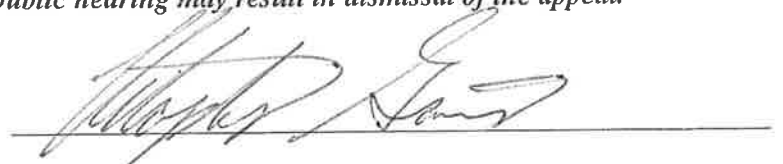
Required Documents:

- Signed, typewritten *Justification of Variance* statement addressing the items listed on the reverse of this page - **8 copies.**
- Site Plan (surveyor/engineer's seal may be required) and construction drawings - **8 copies.**
- Names and addresses of adjacent property owners (use County Auditor's records) - **2 copies.**
- Plat showing adjacent property owners - **2 copies.**
- Fees. N/A

Office use only:	Appeal Fee:	_____
	Legal Notice:	_____
	Mailing/adjacent Property Owners:	_____
	Total Amount Paid:	_____

An application for appeal will not be accepted until all of the requirements are met.
Failure to appear at the scheduled public hearing may result in dismissal of the appeal.

Signature of Property Owner:



Signature of Applicant (if not the Owner):

February 28, 2014

Colerain Township Board of Appeals
4200 Springdale Road
Cincinnati, Oh 45251

Dear Colerain Township Board of Zoning Appeals,

This letter is in regard to the variance violation in the Zoning Resolution section

12.8.4 Fences in all districts shall be designed and installed with the most finished side out so that the most finished side face the adjacent lots and any right of way or so that both sides are equally finished.

The fence referred to in this violation is a privacy fence in my rear yard. The previous privacy fence that was bordering the rear yard was rotting and falling down, and as I have two dogs, I needed to either repair or replace that fence. I chose to replace the fence with a new privacy fence as it was in such bad shape, and my dogs are easily excited by other animals and people in adjacent yards. Knowing I needed to replace the privacy fence, I explained my plan and obtained a permit from Colerain Township Zoning which is attached.

Having previous issues with the residents in the neighboring house at 2606 Bellbranch Court taunting my dogs and then claiming that they are barking and trying to escape, I attempted to avoid any new issues and set up a meeting with the previous Colerain Zoning Director Susan Roschke, the Colerain Township Resource Officer Shannon Sharp, and the referred to neighbors to discuss my concerns and needs for replacing the privacy fence. In this meeting, which was in 2011, it was agreed upon by all parties, that I would replace the fence with the finished side facing my yard so that my dogs would not be able to push through the boards of the fence. The parallel bracing boards would be acting as a barrier against the vertical boards if they were dug at or pushed on. In this same discussion, I gave several different options as to how to replace the fence and still keep the dogs from escaping. I suggested wrapping the entire fence with the new cedar boards so that all sides would be finished. The neighbors, Susan Roschke, Shannon Sharp, and myself all agreed that it would be a financial burden and unnecessary to do so. I also suggested putting the old fence panels back up on the neighboring sides so that the fence would still maintain a finished look on all sides but reduce the financial burden as discussed. Again, all parties agreed that it would not be necessary to do so. The final decision in this meeting

was that I would replace the privacy fence with the finished panels facing my yard.

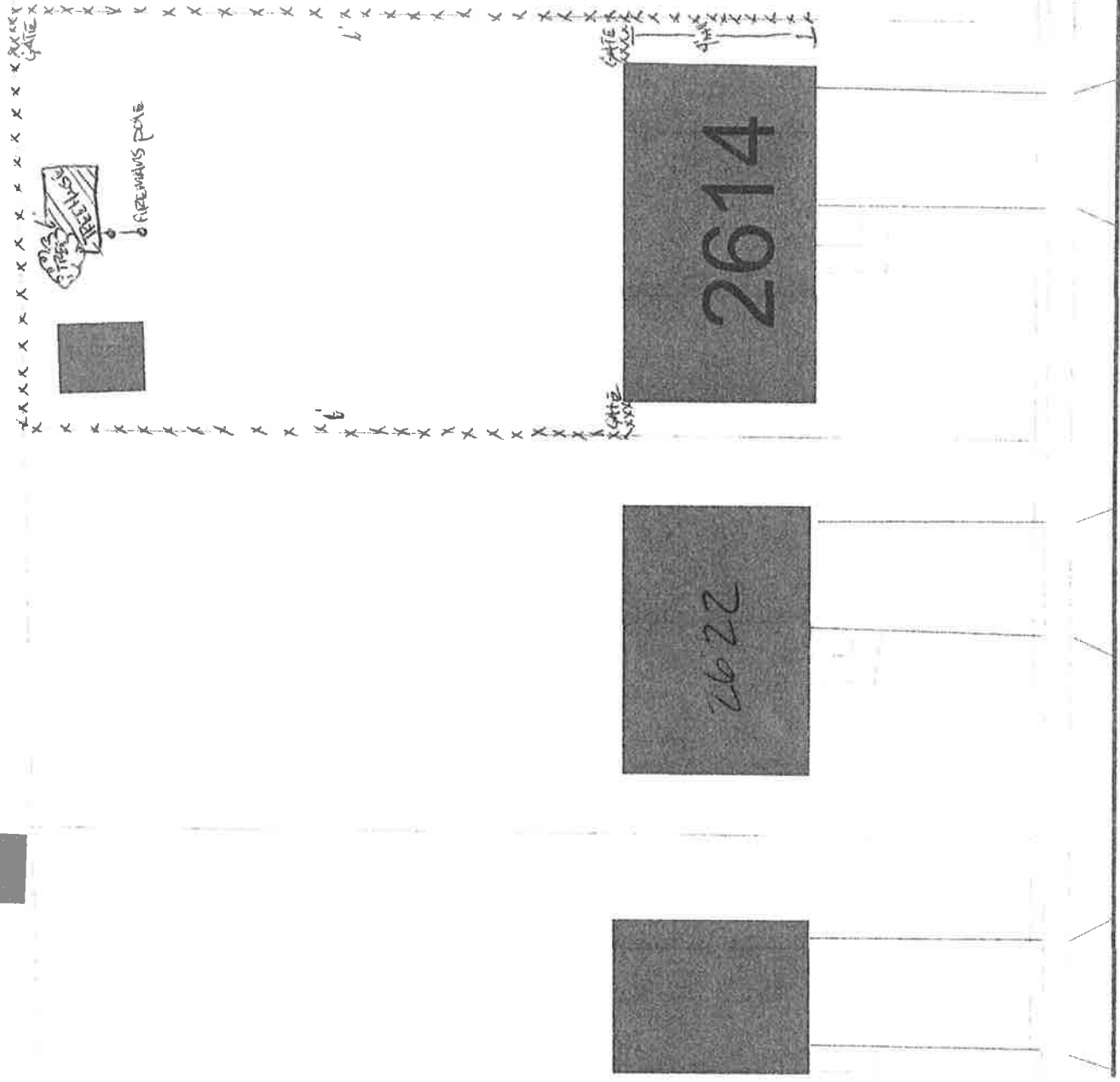
In 2013, upon reviewing a variance request regarding a separate need, Geoffrey Milz, current Zoning Director, noticed the fence panels facing my side and proceeded with issuing the violation mentioned above. I have explained to Geoffrey Milz that prior to replacing the privacy fence, I had a meeting with the previous Zoning Director, the Colerain Resource Officer, and the neighbors and it was agreed upon that the finished side may face my yard due to the reason stated above. Geoffrey did not acknowledge this as an acceptable answer and continued with the issued violation.

Once again, I feel personally attacked and victimized to endure an unnecessary hardship in fixing something that I previously was granted to do by the previous Zoning Director of this very same township. I am frustrated to know that even in attempting to take the proper steps prior to updating my own residence that I am now being personally targeted to undo and redo the work I was granted to do already. I hope that no other resident of this township has to be put through what I have regarding unsubstantial violations. I ask that you please respect and consider the previous Zoning Director's, Colerain Resource Officer's, and adjacent neighbor's decision in 2011, and either dismiss this violation or grant a permanent variance to the so-called violation.

Thank you for your time and understanding,



Christopher Gaines
2614 Bellbranch Court
Cincinnati, OH 45231
(513) 608-9553



BELL BRANCH CT

2606

2614

2622

GATE

GATE

GATE

FIREMAN'S POLE

FIRE ALARM

1'

1'

9'

RECEIVED

APPLICATION FOR APPEAL
COLERAIN TOWNSHIP BOARD OF ZONING APPEALS

MAR 03 2014

COLERAIN ZONING

4200 Springdale Rd
Cincinnati, Ohio 45251
(513) 385-7505; Fax (513) 245-6503

An appeal must be filed within 20 calendar days of the action causing the appeal (ORC 519.15)

Application number: BZA 2014-03

Owner: CHRISTOPHER GAINES Applicant: CHRISTOPHER GAINES

Property Address: 2614 BELL BRANCH CT

City: CINCINNATI State/Zip: OH 45231

Applicant Address: SAME

City: _____ State Zip _____

Phone: 513 608 9553

Auditor's Book-Page-Parcel Number: **510** -- 21 -- 361

Zoning Classification: RES 10-2-3

Appeal to (check one): Refusal to issue Zoning Certificate _____ Citation for Violation X

Required Documents:

- Signed, typewritten *Justification of Variance* statement addressing the items listed on the reverse of this page - **8 copies.**
- Site Plan (surveyor/engineer's seal may be required) and construction drawings - **8 copies.**
- Names and addresses of adjacent property owners (use County Auditor's records) - **2 copies.**
- Plat showing adjacent property owners - **2 copies.**
- Fees. NA

Office use only:	Appeal Fee:	_____
	Legal Notice:	_____
	Mailing/adjacent Property Owners:	_____
	Total Amount Paid:	_____

An application for appeal will not be accepted until all of the requirements are met.
Failure to appear at the scheduled public hearing may result in dismissal of the appeal.

Signature of Property Owner: 

Signature of Applicant (if not the Owner): _____

February 29, 2014

Colerain Township Board of Appeals
4200 Springdale Road
Cincinnati, Oh 45251

Dear Colerain Township Board of Zoning Appeals,

This letter is in regard to the variance violation in the Zoning Resolution section 10.2.3 Accessory structures shall have a maximum height of 15 feet and shall be located a minimum of 5 feet from all lot lines.

The structure that the violation is referring to is a treehouse that I have been in the process of building for my children. Before working on the treehouse, I spoke to the previous Zoning Director, Susan Roschke, and asked if I need a permit to build a treehouse. She informed me that I did not need any permit, as the treehouse would fall under acceptable playground equipment in section 10.2.2 (swing sets and gym sets) according to Colerain Township Zoning codes. In this conversation, I fully explained the planned height, width, and length of the treehouse plan to ensure that it would in fact not need a permit. Susan assured me that it would not.

Beginning in 2013 after constant neighbor harassment over un-related issues, the new zoning director, Geoffrey Milz, decided that Susan Roschke's previous decision no longer stands and found me in violation of the zoning resolution section mentioned above. I have explained to Geoffrey Milz that I asked about permits prior to constructing the treehouse and was told it was not needed. He ignored this and continued to move forward with the so-called violation also continuing to refer to it as an "accessory structure" instead of the play-intended treehouse that I explained it is.

The treehouse stands at 15 feet tall, 8 feet wide and 8 feet long. It is for play purposes only. It includes a fireman's pole, gymnast rings, a tire swing, and standard playground swings for my children and their friends to enjoy. It does not affect or interfere with any nearby neighbors or their properties.

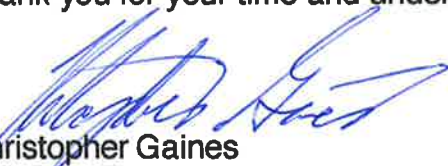
I have not been able to finish the treehouse to my liking at this point and my children have not been able to enjoy it because of these new allegations that I needed a permit or permanent variance. The finished product is meant to be pleasing to the eye for any person who sees the treehouse and will be up to code

on all safety standards. By no means will the treehouse be used as any extension of my home, which I find to be quite humorous, or for any type of "living" purpose.

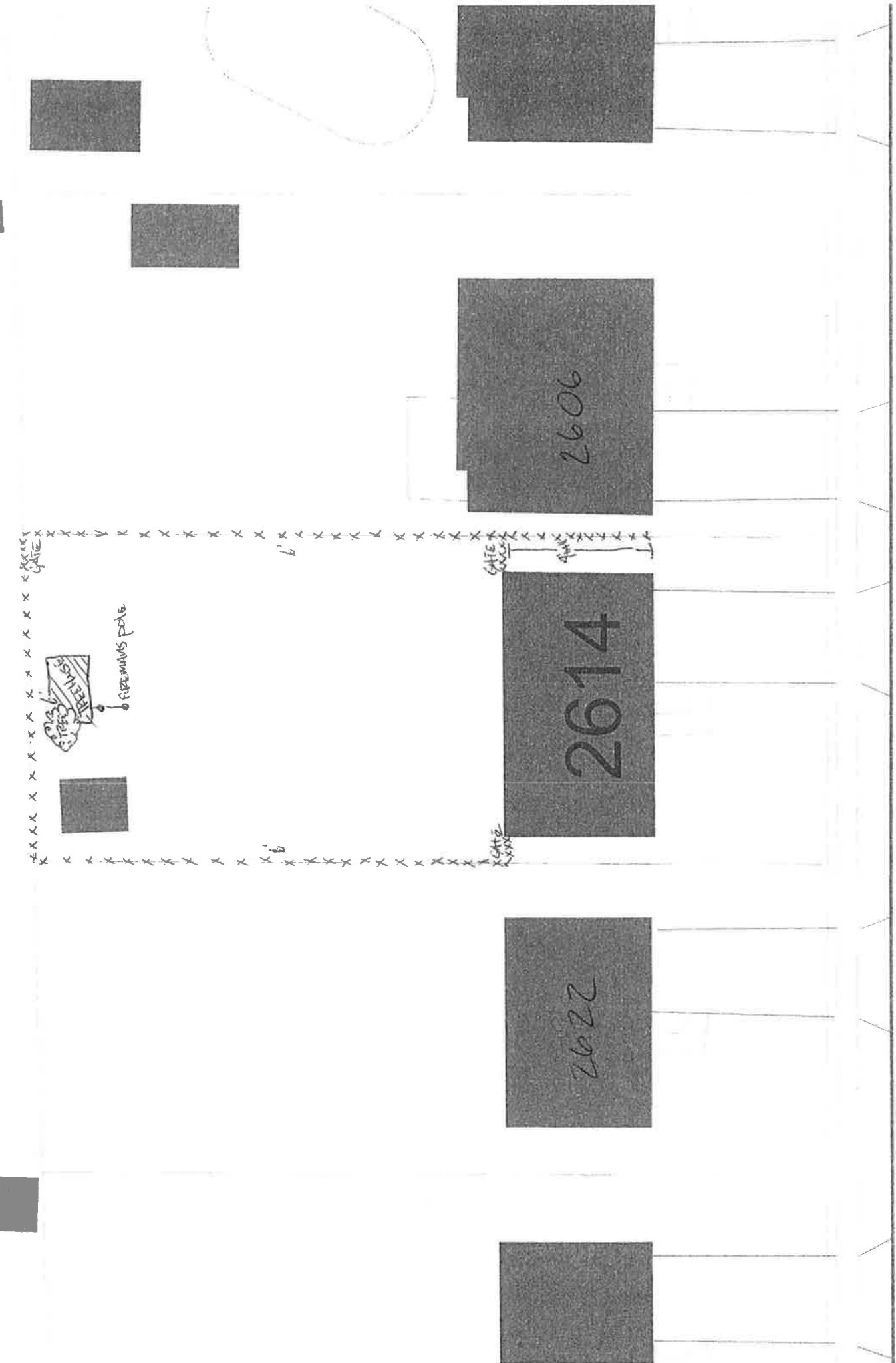
I feel that I am being personally attacked and that the Zoning Director is purposely trying to put an extra hardship on me and my family over something that I previously went through the proper channels for before building. Not only would it be devastating to my children to see the treehouse, that we have worked on together, be torn down, but it would also be more work than to finish it. It would take more equipment to tear the treehouse down than to finish what we have started.

I ask that you please respect and take into full consideration the previous Zoning Director's decision that a permit was not needed to build the treehouse, as she decided it is acceptable playground equipment under the same zoning codes that currently stand, and either dismiss the need for a variance, or grant a permanent variance so that my children can enjoy what we have been working on as they have been looking forward to it for a very long time.

Thank you for your time and understanding,



Christopher Gaines
2614 Bellbranch Court
Cincinnati, OH 45231
(513) 608-9553



BELLBRANCH CT

RECEIVED

APPLICATION FOR APPEAL
COLERAIN TOWNSHIP BOARD OF ZONING APPEALS

MAR 21 2014

4200 Springdale Rd
Cincinnati, Ohio 45251
(513) 385-7505; Fax (513) 245-6503

COLERAIN ZONING

An appeal must be filed within 20 calendar days of the action causing the appeal (ORC 519.15)

Application number: BZA 2014-04

Owner: Pilligen Oil Company LLC Applicant: Same

Property Address: 9760 and 9780 Colerain Ave

City: Cincinnati State/Zip: OH 45239

Applicant Address: Baldwin 200, 625 Eden Park Dr.

City: Cincinnati State Zip OH 45202

Phone: 513-321-9064

Auditor's Book-Page-Parcel Number: **510** -- 0103 -- 0110, 0111, 0167, 0162

Zoning Classification: B-2

Appeal to (check one): Refusal to issue Zoning Certificate Citation for Violation

Required Documents:

- Signed, typewritten *Justification of Variance* statement addressing the items listed on the reverse of this page - **8 copies.**
- Site Plan (surveyor/engineer's seal may be required) and construction drawings - **8 copies.**
- Names and addresses of adjacent property owners (use County Auditor's records) - **2 copies.**
- Plat showing adjacent property owners - **2 copies.**
- Fees.

Office use only:	Appeal Fee:	_____
	Legal Notice:	_____
	Mailing/adjacent Property Owners:	_____
	Total Amount Paid:	<u>275</u>

An application for appeal will not be accepted until all of the requirements are met.
Failure to appear at the scheduled public hearing may result in dismissal of the appeal.

Signature of Property Owner: P.C. Pilligen

Signature of Applicant (if not the Owner): _____

Colerain Township
Justification of Variance Statement

1. Gilligan Oil company is requesting the following known variances:
 - a. Parking requirements: 34 provided
 - b. Sign variance
 - c. Building setback variance
 - d. Impervious % of development
2. The proposed use on these parcels is permitted in the B-2 zoning district. The uses are: retail fuel, convenience store, retail food with drive thru.
3. This variance is not contrary to the public interest because the public desires to have food and fueling alternatives provided in a convenient and safe manner. The variances requested are necessary in order to meet the growing demands of the consumers in the Colerain township area.
4. The literal enforcement of the zoning resolution would result in unnecessary hardship. This is a corner lot, with two frontages requiring setbacks and a triangular shape. The buildings are not able to be positioned on the properties and allow for adequate traffic flow, access and parking without encroaching on the setback requirement.
Because the buildings face both ROW's we need a variance to allow signs on the south and west building faces to appropriately communicate with customers.
The parking requirements would create an undevelopable site. We run 60% of our food service through the drive thru. We have provided more than enough stack for the drive thru business and in doing so there is less space available for parking....by design and to be consistent with our business.
5. The variance is NOT the result of the applicants actions but rather is necessary in order to develop the site into an allowed use in the zoning code.

P.C. Gilligan 3-19-14

GILLIGAN OIL COMPANY, LLC

SHELL STATION 9760 COLERAIN AVE SITE PLAN

SECTION 9, TOWN 1N, RANGE 2E COLERAIN TOWNSHIP HAMILTON COUNTY, OHIO



GENERAL NOTES

1. ALL CONSTRUCTION PROCEDURES SHALL BE IN ACCORDANCE WITH CONSTRUCTION AND MATERIAL SPECIFICATIONS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION.
2. UNLESS OTHERWISE NOTED ALL CONSTRUCTION DETAILS SHALL CONFORM WITH THE STANDARD CONSTRUCTION DRAWINGS OF THE STATE OF OHIO DEPARTMENT OF TRANSPORTATION.
3. ALL SANITARY SEWER MANHOLES, CATCHES, PUMP LIFT, SHALL CONFORM WITH CURRENT SPECIFICATIONS OF THE METROPOLITAN SEWER DISTRICT AND THE OHIO ENVIRONMENTAL PROTECTION AGENCY.
4. ALL MANHOLE MANES, PIPE, FITTINGS AND MATERIALS SHALL CONFORM WITH ENVIRONMENTAL PROTECTION AGENCY ALL POLICE. MANHOLE MANES SHALL HAVE A MINIMUM CLEARANCE OF 7 FEET TO THE TOP OF THE COVER. ALL MANHOLE MANES SHALL BE MADE OF 18 GA. GALV. STEEL. ALL MANHOLE MANES SHALL BE MADE OF 18 GA. GALV. STEEL. ALL MANHOLE MANES SHALL BE MADE OF 18 GA. GALV. STEEL. ALL MANHOLE MANES SHALL BE MADE OF 18 GA. GALV. STEEL.
5. UNLESS OTHERWISE SPECIFIED ALL STORM SEWERS 18 INCHES IN DIAMETER OR LARGER SHALL BE 1500 LB. PER FOOT CLASS IV WITH CLASS II RESIN. ALL STORM SEWERS 18 INCHES OR SMALLER SHALL BE 1500 LB. PER FOOT CLASS II WITH CLASS II RESIN. ALL STORM SEWERS SHALL BE 1500 LB. PER FOOT CLASS II WITH CLASS II RESIN. ALL STORM SEWERS SHALL BE 1500 LB. PER FOOT CLASS II WITH CLASS II RESIN.
6. ALL STORM SEWERS, SANITARY, LATERALS, WATER SERVICES AND LINTNY CROSSOVERS LOCATED UNDER THE PAVEMENT OR WITHIN 2.0 FEET OF PAVEMENT SHALL BE TOTALLY BACK FILLED WITH CLASS B SPOCCON OR COMPACTED SAND.
7. SANITARY SEWERS ARE TO BE INSTALLED WITH CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
8. ANY CONNECTIONS OF EXISTING SANITARY SEWERS SHALL BE RECONSTRUCTED TO MEET ALL REQUIREMENTS OF THE SANITARY SEWER SYSTEM. ALL SANITARY SEWERS SHALL BE 1500 LB. PER FOOT CLASS II WITH CLASS II RESIN. ALL SANITARY SEWERS SHALL BE 1500 LB. PER FOOT CLASS II WITH CLASS II RESIN.
9. ALL SANITARY SEWER MANHOLES SHALL BE 24" DIA. WITH 24" DIA. COVERS. ALL SANITARY SEWER MANHOLES SHALL BE 24" DIA. WITH 24" DIA. COVERS.
10. ALL SANITARY SEWER MANHOLES SHALL BE 24" DIA. WITH 24" DIA. COVERS.
11. ALL ROADWAY CATCH BASINS ARE STANDARD COOT CATCH BASINS.
12. REGION CONTROL MEASURES SHALL BE MAINTAINED BY THE CONTRACTOR / DEVELOPER.

ENGINEER'S NOTES

1. IF ANY QUESTIONS EXIST AS TO THE PURPOSE OR INTENT OF DRAWING, THE CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PROCEEDING.
2. LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED / VERIFIED BY CONTRACTOR IN THE FIELD PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN ALL SITE BARRIERS.

INDEX OF SHEETS

SHEET	DATE	REV.	REVISION
C1.0	03-20-2014		ISSUE
C2.0	03-20-2014		EXISTING CONDITIONS
C3.0	03-20-2014		SITE PLAN
L1.0	03-20-2014		PLANNING PLAN

PROJECT SUMMARY

Project Name	GILLIGAN OIL COMPANY, LLC SHELL STATION
Project Location	9760 COLERAIN AVE, SECTION 9, TOWN 1N, RANGE 2E, HAMILTON COUNTY, OHIO
Project Area	1.265 AC (Exclude Right of Way)
Project Type	Shell Station
Project Status	2014
Project Owner	GILLIGAN OIL COMPANY, LLC
Project Engineer	DAVID J. GILLIGAN
Project Designer	DAVID J. GILLIGAN
Project Checker	DAVID J. GILLIGAN
Project Approver	DAVID J. GILLIGAN
Project Date	03-20-2014
Project Scale	1"=500 FEET
Project Notes	SEE GENERAL NOTES

OWNER
GILLIGAN OIL COMPANY, LLC
6900 Yellow Creek Road, Suite A
Mason, OH 45040
Ph: (513) 241-8005

ENGINEER/SURVEYOR
DAVID J. GILLIGAN
6900 Yellow Creek Road, Suite A
Mason, OH 45040
Ph: (513) 241-8005

BENCHMARK
SANITARY MANHOLE ON MAIN ROAD
WEST OF CANTON CEMETERY (SEE C2.0)
INTERFER=601.10

2 WARNING DATE BEFORE YOU DIG
Call Ohio Utility Locating Service
1-800-485-5744
www.ohio1call.com

LOCATION OF ALL EXISTING UTILITIES TO BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION.

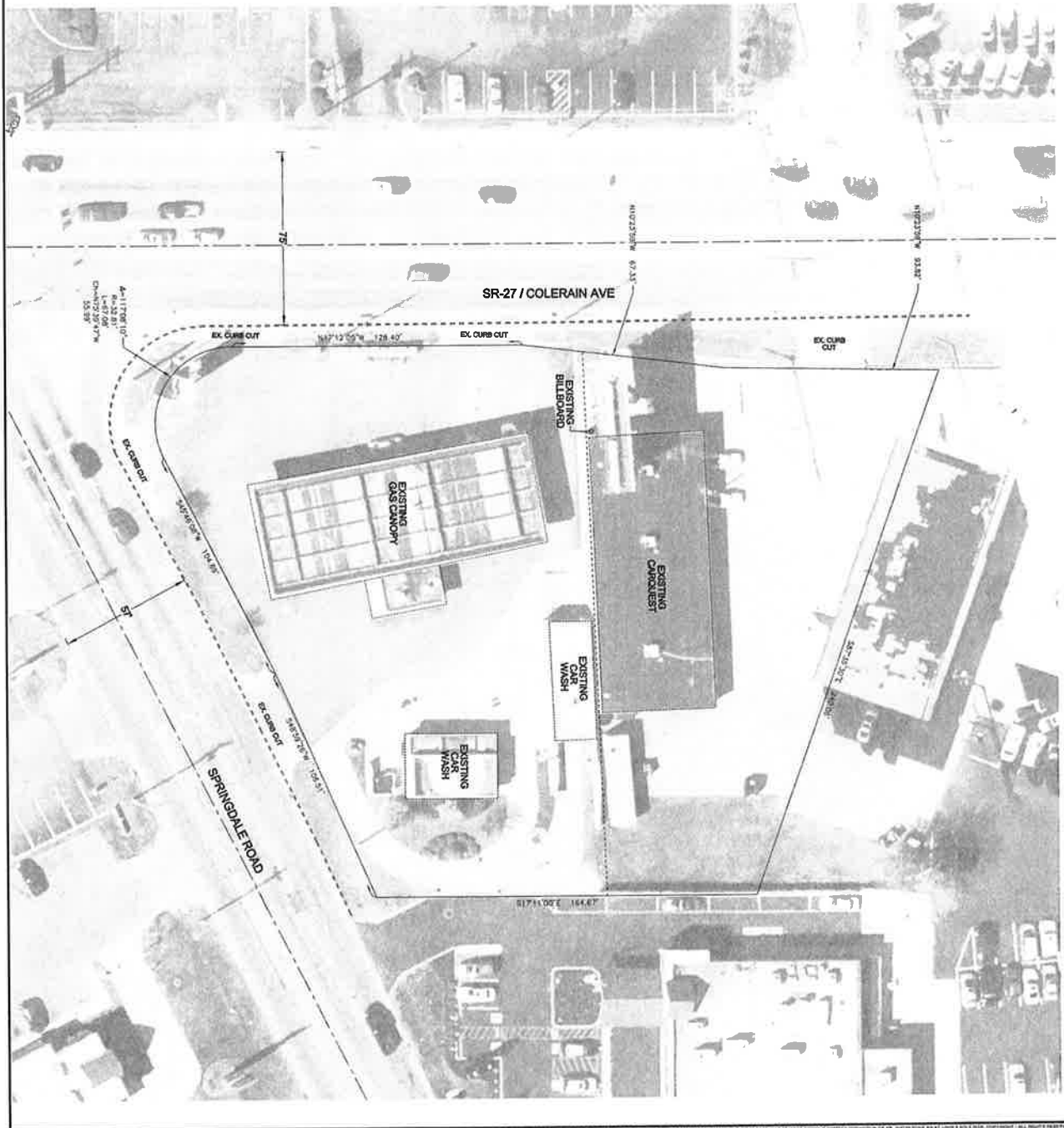
www.bayerbecker.com
6900 Yellow Creek Road, Suite A
Mason, OH 45040 • 513.396.8800

GILLIGAN OIL COMPANY, LLC
SHELL STATION
9760 COLERAIN AVE
SECTION 9, TOWN 1N, RANGE 2E
HAMILTON COUNTY, OHIO

TITLE SHEET

C1.0

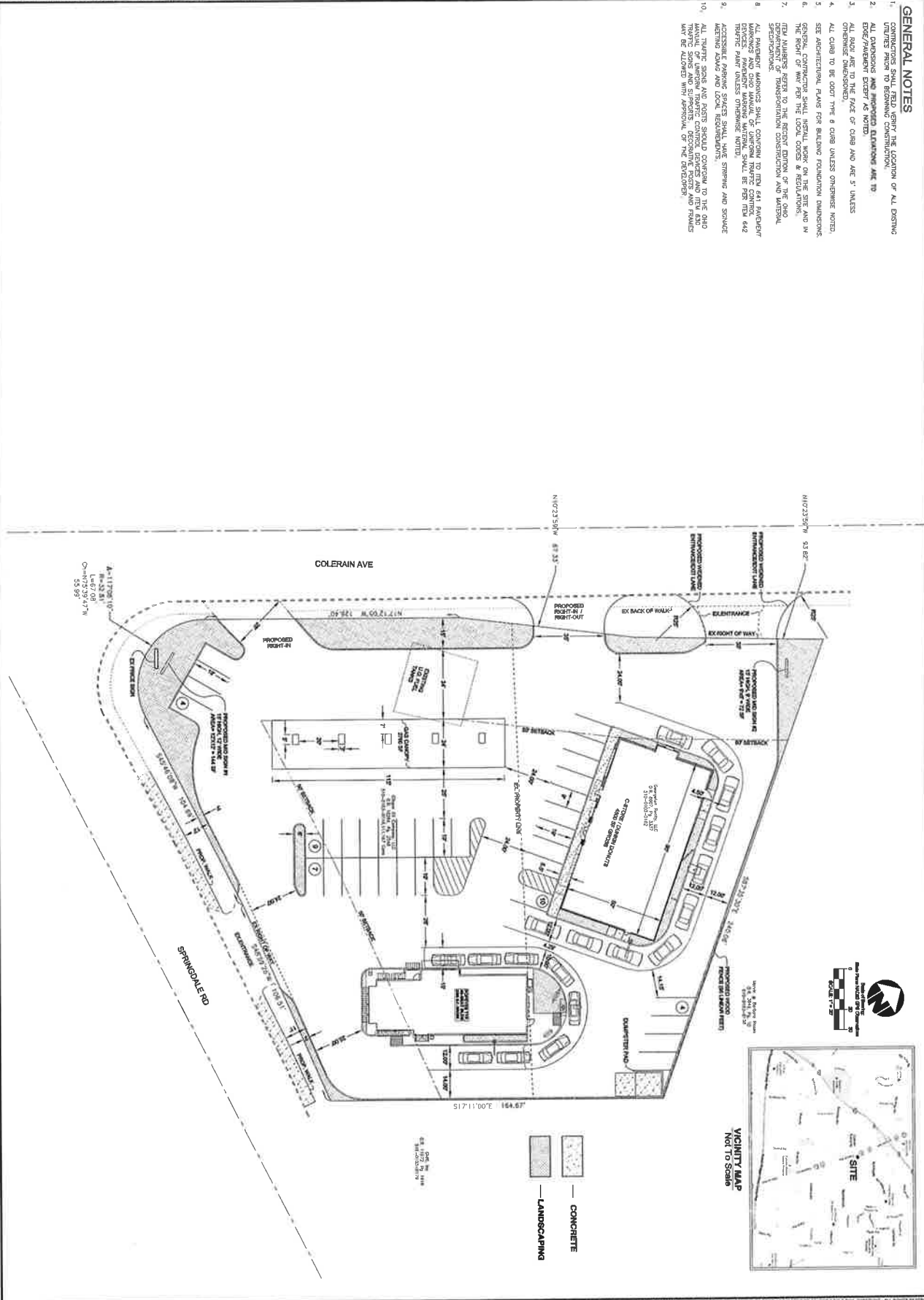
VICINITY MAP
 NOT TO SCALE



<p>C2.0</p> <p>DATE: 03/28/21</p> <p>PROJECT: 202101101443-000-CV00011-C182-000-EP-EX-18211-ENG-Layout Plan Layout</p>	<p>www.bayerbecker.com 6900 Yaleville Road, Suite A Mason, OH 45040 • 513.236.8800</p>	<p>GILLIGAN OIL COMPANY, LLC SHELL STATION 9760 COLERAIN AVE SECTION 8, TOWN 11N, RANGE 2E COLERAIN TOWNSHIP HAMILTON COUNTY, OHIO EXISTING CONDITIONS</p>	<p>Rev</p> <p>Revised Description</p> <p>Date</p> <p>Drawn</p> <p>CHK</p>



- ### GENERAL NOTES
1. CONFORM TO ALL STATE AND LOCAL ORDINANCES AND THE LOCATION OF ALL EXISTING UTILITIES.
 2. ALL DIMENSIONS AND PROPOSED DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL RADI ARE TO THE FACE OF CURB AND ARE 5' UNLESS OTHERWISE DIMENSIONED.
 4. ALL CURB TO BE COOT TYPE B CURB UNLESS OTHERWISE NOTED.
 5. SEE ARCHITECTURAL PLANS FOR BUILDING FOUNDATION DIMENSIONS.
 6. GENERAL CONTRACTOR SHALL INSTALL WORK ON THE SITE AND IN THE RIGHT OF WAY PER THE LOCAL CODES & REGULATIONS.
 7. ITEM NUMBERS REFER TO THE RECENT EDITION OF THE OHIO STATUTES.
 8. ALL PARKING SPACES SHALL CONFORM TO MN 641 PARADET PARKING AND CURB MANUAL OR UNIFORM PARKING CONTROL MANUAL UNLESS OTHERWISE NOTED.
 9. ALL TRAFFIC SIGNS AND MARKINGS SHALL BE PER MN 642 UNLESS OTHERWISE NOTED.
 10. ALL TRAFFIC SIGNS AND MARKINGS SHALL BE PER MN 642 UNLESS OTHERWISE NOTED. ACCESSIBLE PARKING SPACES SHALL HAVE STRIPING AND SIGNAGE MEETING STATE AND LOCAL REQUIREMENTS.
 11. ALL TRAFFIC SIGNS AND MARKINGS SHALL BE PER MN 642 UNLESS OTHERWISE NOTED. DECORATIVE FENCES AND FRAMES MAY BE ALLOWED WITH APPROVAL OF THE DEVELOPER.



- CONCRETE
- LANDSCAPING

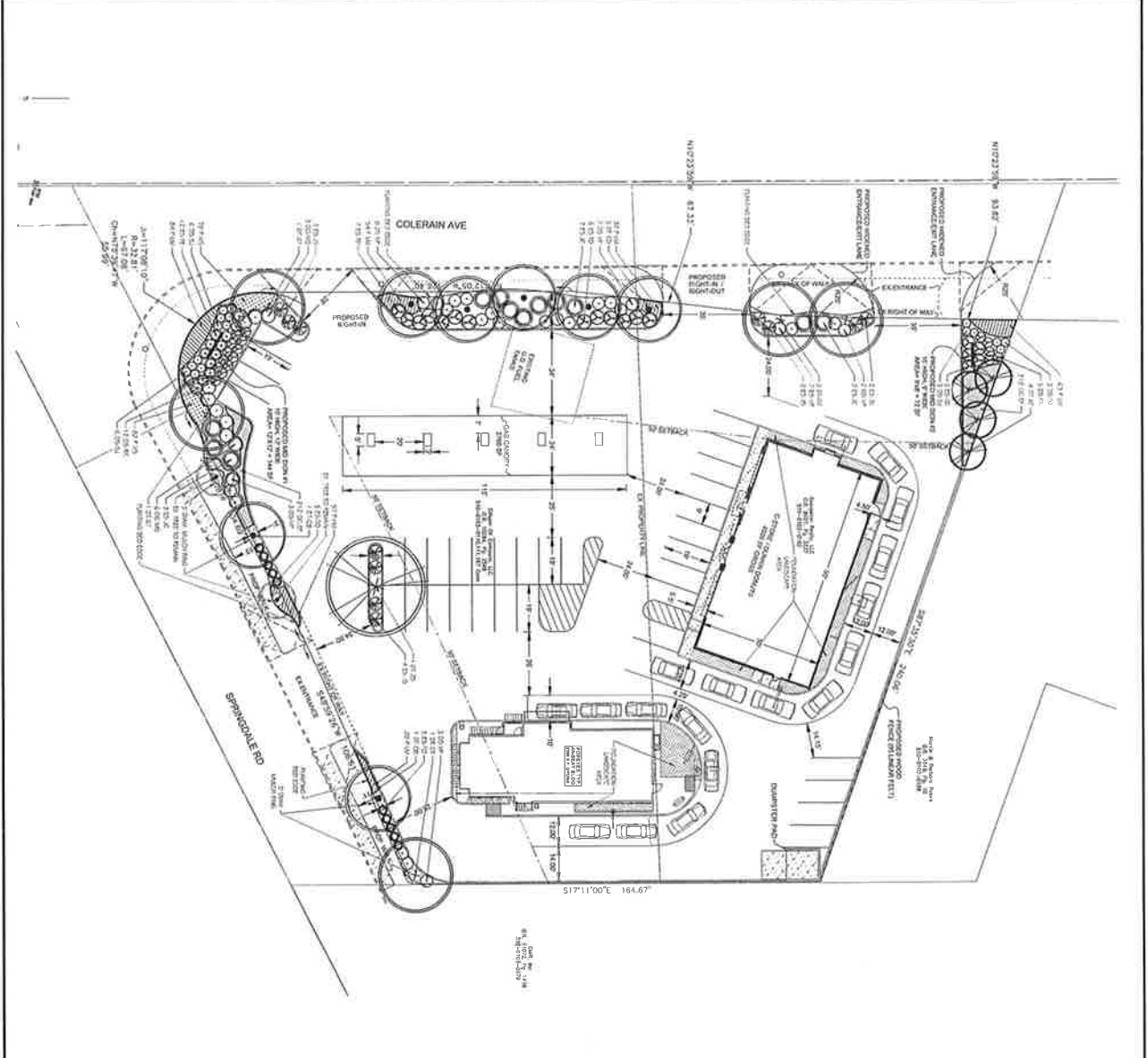
**GILLIGAN OIL COMPANY, LLC
SHELL STATION**
8780 COLERAIN AVE
SECTION 9, TOWN 14, RANGE 2E
COLERAIN TOWNSHIP
HAMILTON COUNTY, OHIO

SITE PLAN



C3.0
PROJ: 17-0002-01-1001
DATE: 09/24/2014

Rev.	Revision Description	Date	Drawn	Check



PROPOSED PLANT LIST

Tree#	QTY	SYMBOL	COMMON	MIN. SIZE	INSTALL	NOTES
1	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
2	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
3	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
4	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
5	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
6	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
7	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
8	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
9	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
10	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
11	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
12	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
13	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
14	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
15	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
16	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
17	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
18	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
19	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
20	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
21	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
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24	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
25	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
26	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
27	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
28	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
29	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
30	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
31	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
32	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
33	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
34	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
35	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
36	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
37	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
38	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
39	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
40	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
41	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
42	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
43	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
44	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
45	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
46	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
47	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
48	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
49	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking
50	4	Q1-2'	Acorn / 1/2" Trunking	2.5' CD	BBB	Plant in 1/2" Trunking

ZONING MATRIX: LANDSCAPE REQUIREMENTS

PER COLERAIN TOWNSHIP ZONING RESOLUTION

STREETSCAPE BUFFER
 TREE CANOPY COVER: TREE CANOPY 31.1% OF STREET FRONTAGE
 COLERAIN AVE 4375 LF FRONTAGE MINUS 110 LF ACCESS OPENINGS = 288 LF
 SPRINGDALE RD 4250 LF FRONTAGE MINUS 42 LF ACCESS OPENINGS = 208 LF
 (4 PROPOSED AND 2 EXISTING TREES)

PLANTING IN SE OF LANDSCAPE BUFFER
 COLERAIN AVE 255 LF FRONTAGE x 15 FT BUFFER = 3,975 SF
 SPRINGDALE RD 208 LF FRONTAGE x 15 FT BUFFER = 3,120 SF

LOT BUFFER - (NOT REQUIRED)
 PER COLERAIN TOWNSHIP ZONING RESOLUTION

PARKING AREA LANDSCAPING
 PLANTING TO BE DONE IN BUFFER PER 15 PARKING SPACES OR FRACTION THEREOF
 34 PROPOSED PARKING SPACES / 15 PARKING SPACES = RATE OF 2.28
 2 x 25 x 5 = 14 SHRUBS

FREETANDING SIGN LANDSCAPING
 SIGN #1 = 14 SF X 1 = 14 SF LANDSCAPING REQUIRED AT SIGN LOCATION
 SIGN #2 = 12 SF X 1 = 12 SF LANDSCAPING REQUIRED AT SIGN LOCATION

TREES REQUIRED
 PROPOSED 19
 EXISTING 2

PLANTS SHRUBS PERENNIALS GROUNDCOVERS
 REQUIRED 925 SF
 PROPOSED 1281 SF

www.bayerbecker.com
 6900 Tylerdale Road, Suite A
 Mason, OH 45460-5133 9690

GILLIGAN OIL COMPANY, LLC SHELL STATION

9780 COLERAIN AVE
 SECTION 9 TOWN 11 N, RANGE 2E
 COLERAIN TOWNSHIP
 HAMILTON COUNTY, OHIO

PLANTING PLAN

Scale: 1" = 10'

REVISIONS

Rev	Description	Date	Drawn	Check
1				

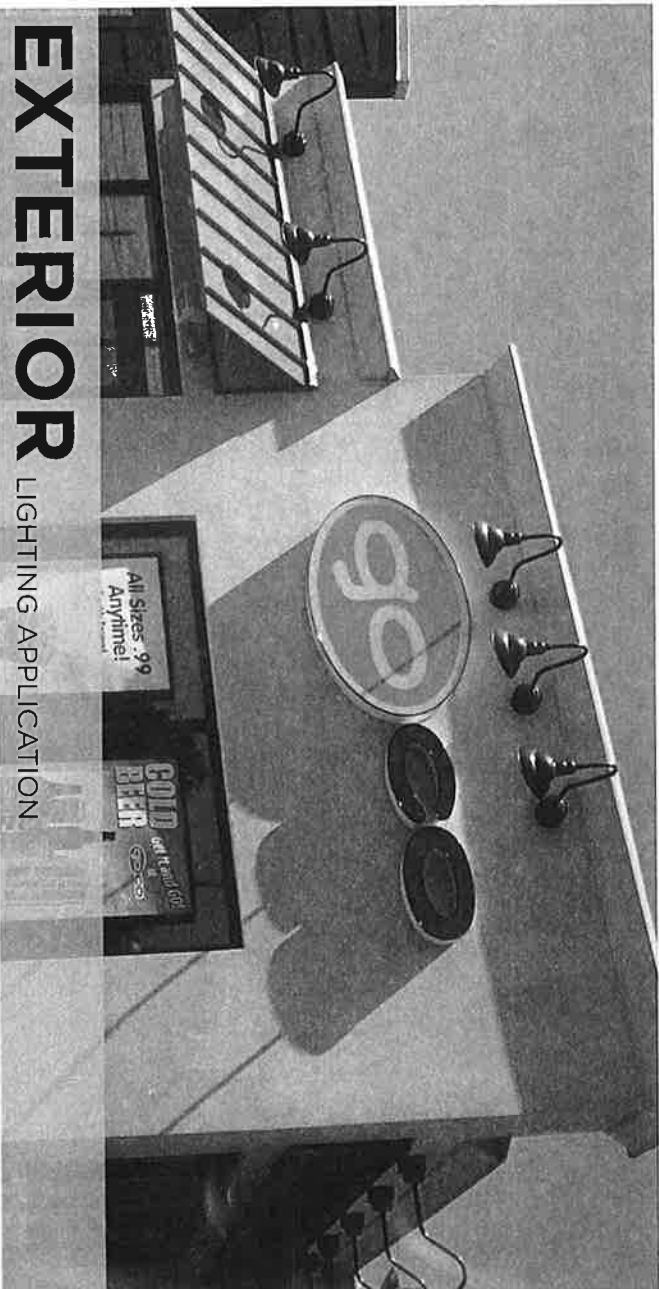
Symbol	Tree #	Quantity
Q1-2'	1-50	40



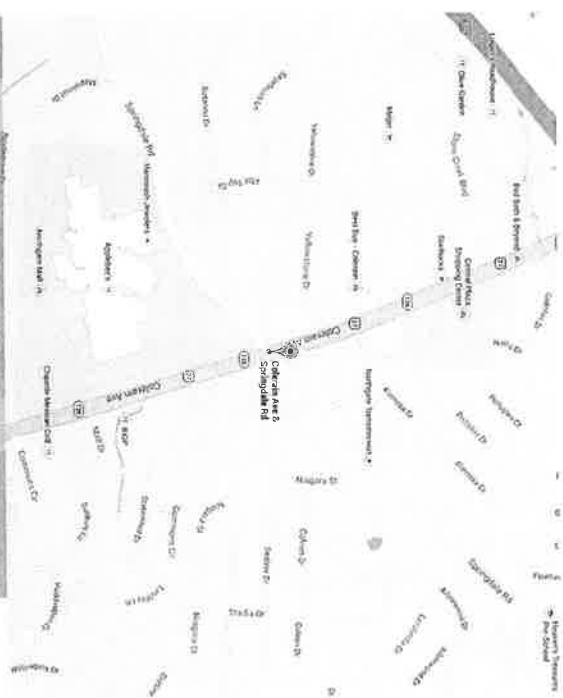
Red Leonard associates
EQUIPMENT FOR THE OIL & ALLIED INDUSTRIES®

RL-1850-S1
3/20/14

SHELL, COLERAIN TWP, OH



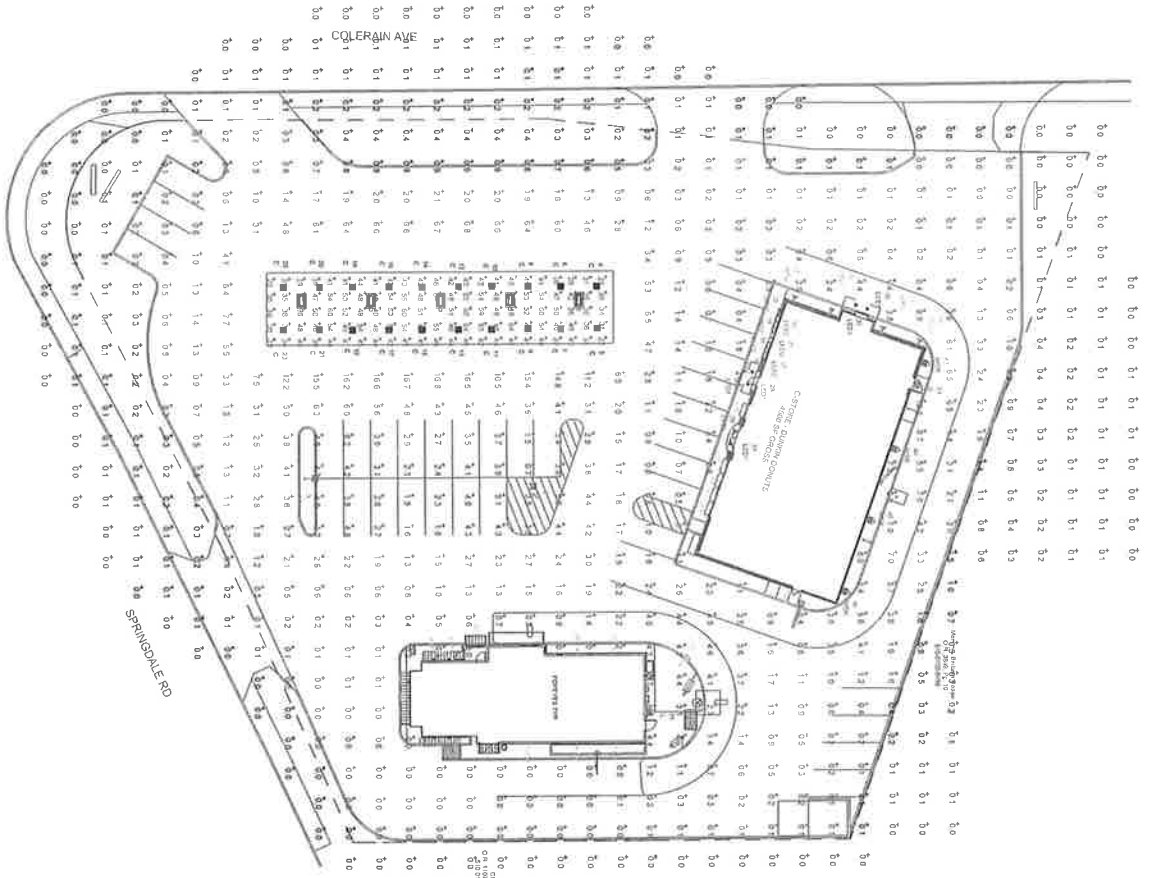
COLERAIN AVE & SPRINGDALE RD
COLERAIN TWP, OH



Obtaining accurate elevation & spot heights for reference only. Measurements may vary. Any changes to photo images may not be reflected on this layout presentation.

- 1. Exterior Photometric Application
- 2. Fixture Detail
- 3-4. Fixture Specification

T (513) 574-9500
5630 Bridgetown Rd, Ste. 2
Cincinnati, Oh 45248
www.redleonard.com



Item No.	Quantity	Description	Unit	Price	Total
1	1	STREET LIGHTING	EA	175.00	175.00
2	1	LANDSCAPING	EA	175.00	175.00
3	1	LANDSCAPING	EA	175.00	175.00
4	1	LANDSCAPING	EA	175.00	175.00
5	1	LANDSCAPING	EA	175.00	175.00
6	1	LANDSCAPING	EA	175.00	175.00
7	1	LANDSCAPING	EA	175.00	175.00
8	1	LANDSCAPING	EA	175.00	175.00
9	1	LANDSCAPING	EA	175.00	175.00
10	1	LANDSCAPING	EA	175.00	175.00
11	1	LANDSCAPING	EA	175.00	175.00
12	1	LANDSCAPING	EA	175.00	175.00
13	1	LANDSCAPING	EA	175.00	175.00
14	1	LANDSCAPING	EA	175.00	175.00
15	1	LANDSCAPING	EA	175.00	175.00
16	1	LANDSCAPING	EA	175.00	175.00
17	1	LANDSCAPING	EA	175.00	175.00
18	1	LANDSCAPING	EA	175.00	175.00
19	1	LANDSCAPING	EA	175.00	175.00
20	1	LANDSCAPING	EA	175.00	175.00
21	1	LANDSCAPING	EA	175.00	175.00
22	1	LANDSCAPING	EA	175.00	175.00
23	1	LANDSCAPING	EA	175.00	175.00
24	1	LANDSCAPING	EA	175.00	175.00
25	1	LANDSCAPING	EA	175.00	175.00
26	1	LANDSCAPING	EA	175.00	175.00
27	1	LANDSCAPING	EA	175.00	175.00
28	1	LANDSCAPING	EA	175.00	175.00
29	1	LANDSCAPING	EA	175.00	175.00
30	1	LANDSCAPING	EA	175.00	175.00
31	1	LANDSCAPING	EA	175.00	175.00
32	1	LANDSCAPING	EA	175.00	175.00
33	1	LANDSCAPING	EA	175.00	175.00
34	1	LANDSCAPING	EA	175.00	175.00
35	1	LANDSCAPING	EA	175.00	175.00
36	1	LANDSCAPING	EA	175.00	175.00
37	1	LANDSCAPING	EA	175.00	175.00
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43	1	LANDSCAPING	EA	175.00	175.00
44	1	LANDSCAPING	EA	175.00	175.00
45	1	LANDSCAPING	EA	175.00	175.00
46	1	LANDSCAPING	EA	175.00	175.00

NOTES:
 - LUMEN OUTPUT FROM LUMINAIRE VIEW FACT INCLUDED IN CALCULATIONS
 - SEE PHOTO MONITORING
 - ALL AREA LIGHTS ARE INDICATED ON 1/8" PITCH WITH 7 FT SPACES

Item No.	Quantity	Description	Unit	Price	Total
1	1	STREET LIGHTING	EA	175.00	175.00
2	1	LANDSCAPING	EA	175.00	175.00
3	1	LANDSCAPING	EA	175.00	175.00
4	1	LANDSCAPING	EA	175.00	175.00
5	1	LANDSCAPING	EA	175.00	175.00
6	1	LANDSCAPING	EA	175.00	175.00
7	1	LANDSCAPING	EA	175.00	175.00
8	1	LANDSCAPING	EA	175.00	175.00
9	1	LANDSCAPING	EA	175.00	175.00
10	1	LANDSCAPING	EA	175.00	175.00
11	1	LANDSCAPING	EA	175.00	175.00
12	1	LANDSCAPING	EA	175.00	175.00
13	1	LANDSCAPING	EA	175.00	175.00
14	1	LANDSCAPING	EA	175.00	175.00
15	1	LANDSCAPING	EA	175.00	175.00
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36	1	LANDSCAPING	EA	175.00	175.00
37	1	LANDSCAPING	EA	175.00	175.00
38	1	LANDSCAPING	EA	175.00	175.00
39	1	LANDSCAPING	EA	175.00	175.00
40	1	LANDSCAPING	EA	175.00	175.00
41	1	LANDSCAPING	EA	175.00	175.00
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43	1	LANDSCAPING	EA	175.00	175.00
44	1	LANDSCAPING	EA	175.00	175.00
45	1	LANDSCAPING	EA	175.00	175.00
46	1	LANDSCAPING	EA	175.00	175.00

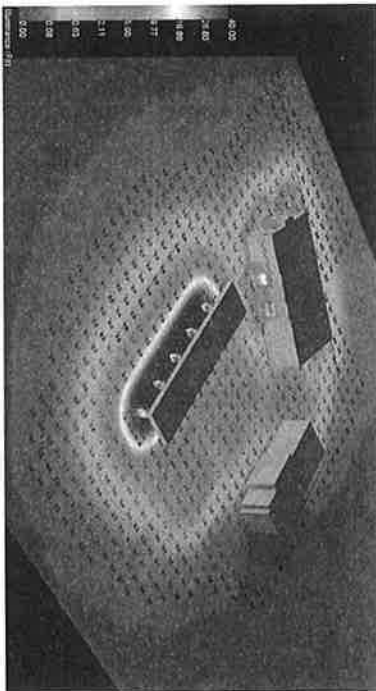
Red Leonard Associates
 500 Bridgeview Rd Ste 2
 Cincinnati, OH 45246
 www.redleonard.com

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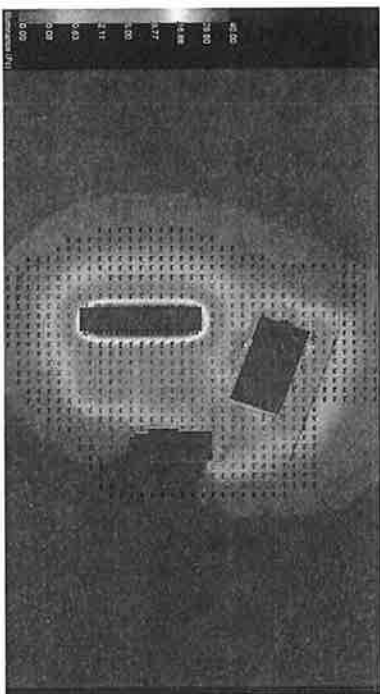
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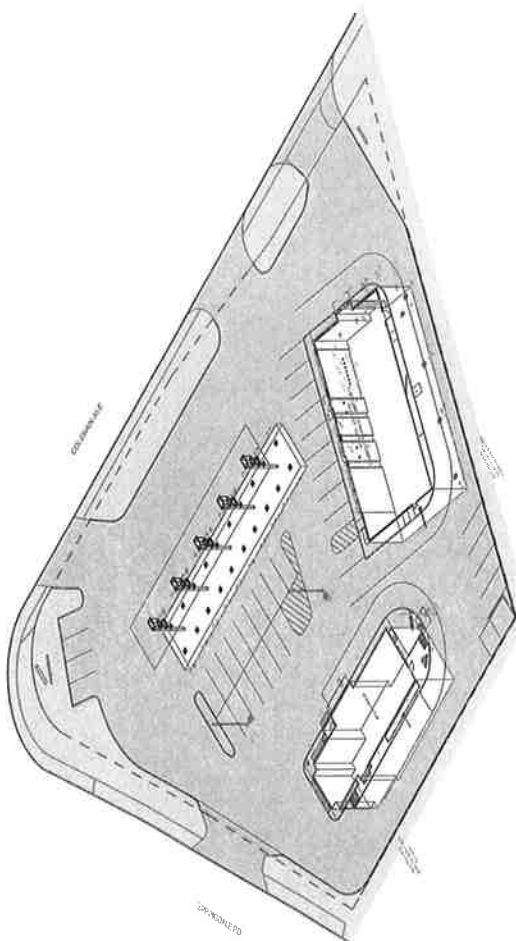
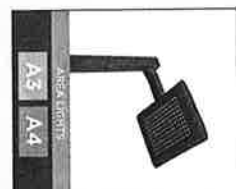
SCAN CODE
www.aedisonrad.com



ISO VIEW



PLAN VIEW



NOTA: I PRODOTTI, I DATI E LE DIMENSIONI RAPPRESANTATE IN TUTTI I PRODOTTI SONO DA CONSIDERARE QUANTO PIU' PRECISI POSSIBILI. IL PRODOTTO E' UNO DEI PRODOTTI PIU' AFFIDABILI E DI QUALITA' PIU' ALTA. IL CLIENTE E' INVITATO A VERIFICARE LE DIMENSIONI E LE CARATTERISTICHE DEL PRODOTTO PRIMA DI ACQUISTARLO. IL CLIENTE E' INVITATO A VERIFICARE LE DIMENSIONI E LE CARATTERISTICHE DEL PRODOTTO PRIMA DI ACQUISTARLO. IL CLIENTE E' INVITATO A VERIFICARE LE DIMENSIONI E LE CARATTERISTICHE DEL PRODOTTO PRIMA DI ACQUISTARLO.

RI-1650-S1

P12

3/20

AREA LIGHTS

SYMBOL	QTY	LABEL
	1	A1

SYMBOL	QTY	LABEL
	2	A1

SYMBOL	QTY	LABEL
	20	C

SYMBOL	QTY	LABEL
	2	6

SYMBOL	QTY	LABEL
	6	LED1

CANOPY LIGHTS

WALL MOUNTED LIGHTS

RECESSED CANS

ARE-EDG-3M-DA
ARE-EDG-3M-DA-06-E-UL-XX-700-57K

Product Description: ARE-EDG-3M-DA is a 3' x 3' Edge Lit LED Panel Light. It features a slim profile and is designed for surface mounting. The light is dimmable and has a long life expectancy. It is suitable for use in a variety of commercial and residential applications.

Performance Summary:
 • Power: 700W
 • Voltage: 120V
 • Frequency: 60Hz
 • Dimming: Yes
 • Life Span: 50,000 hours

Technical Specifications:
 • Dimensions: 36" x 36" x 1.5"
 • Weight: 15 lbs
 • Material: Aluminum
 • Finish: White

Installation: The light is designed for surface mounting. It includes a mounting bracket and screws. The light is easy to install and can be used in a variety of applications.

Warranty: The light is covered by a 5-year warranty.

CREE

ARE-EDG-4M-DA
ARE-EDG-4M-DA-06-E-UL-XX-700-57K

Product Description: ARE-EDG-4M-DA is a 4' x 4' Edge Lit LED Panel Light. It features a slim profile and is designed for surface mounting. The light is dimmable and has a long life expectancy. It is suitable for use in a variety of commercial and residential applications.

Performance Summary:
 • Power: 700W
 • Voltage: 120V
 • Frequency: 60Hz
 • Dimming: Yes
 • Life Span: 50,000 hours

Technical Specifications:
 • Dimensions: 48" x 48" x 1.5"
 • Weight: 20 lbs
 • Material: Aluminum
 • Finish: White

Installation: The light is designed for surface mounting. It includes a mounting bracket and screws. The light is easy to install and can be used in a variety of applications.

Warranty: The light is covered by a 5-year warranty.

CREE

CAN-304-SL-RS
CAN-304-SL-RS-06-E-UL-WH-525-57K

Product Description: CAN-304-SL-RS is a 304 Series LED Canopy Light. It features a slim profile and is designed for surface mounting. The light is dimmable and has a long life expectancy. It is suitable for use in a variety of commercial and residential applications.

Performance Summary:
 • Power: 525W
 • Voltage: 120V
 • Frequency: 60Hz
 • Dimming: Yes
 • Life Span: 50,000 hours

Technical Specifications:
 • Dimensions: 30" x 30" x 1.5"
 • Weight: 10 lbs
 • Material: Aluminum
 • Finish: White

Installation: The light is designed for surface mounting. It includes a mounting bracket and screws. The light is easy to install and can be used in a variety of applications.

Warranty: The light is covered by a 5-year warranty.

CREE

THE EDGE SEC-EDG-3M/3M-WM
SEC-EDG-3M-WM-02-E-UL-XX-350-40K

Product Description: THE EDGE SEC-EDG-3M/3M-WM is a 3' x 3' Edge Lit LED Panel Light. It features a slim profile and is designed for surface mounting. The light is dimmable and has a long life expectancy. It is suitable for use in a variety of commercial and residential applications.

Performance Summary:
 • Power: 350W
 • Voltage: 120V
 • Frequency: 60Hz
 • Dimming: Yes
 • Life Span: 50,000 hours

Technical Specifications:
 • Dimensions: 36" x 36" x 1.5"
 • Weight: 15 lbs
 • Material: Aluminum
 • Finish: White

Installation: The light is designed for surface mounting. It includes a mounting bracket and screws. The light is easy to install and can be used in a variety of applications.

Warranty: The light is covered by a 5-year warranty.

CREE

LR6-18L
LR6-18L-40K-120V-GU24-A + RG6-GU24

Product Description: LR6-18L is a 6" LED Recessed Can Light. It features a slim profile and is designed for surface mounting. The light is dimmable and has a long life expectancy. It is suitable for use in a variety of commercial and residential applications.

Performance Summary:
 • Power: 40W
 • Voltage: 120V
 • Frequency: 60Hz
 • Dimming: Yes
 • Life Span: 50,000 hours

Technical Specifications:
 • Dimensions: 6" x 6" x 1.5"
 • Weight: 5 lbs
 • Material: Aluminum
 • Finish: White

Installation: The light is designed for surface mounting. It includes a mounting bracket and screws. The light is easy to install and can be used in a variety of applications.

Warranty: The light is covered by a 5-year warranty.

CREE

ARE-EDG-3M-DA
ARE-EDG-3M-DA-06-E-UL-XX-700-57K

Product Description: ARE-EDG-3M-DA is a 3' x 3' Edge Lit LED Panel Light. It features a slim profile and is designed for surface mounting. The light is dimmable and has a long life expectancy. It is suitable for use in a variety of commercial and residential applications.

Performance Summary:
 • Power: 700W
 • Voltage: 120V
 • Frequency: 60Hz
 • Dimming: Yes
 • Life Span: 50,000 hours

Technical Specifications:
 • Dimensions: 36" x 36" x 1.5"
 • Weight: 15 lbs
 • Material: Aluminum
 • Finish: White

Installation: The light is designed for surface mounting. It includes a mounting bracket and screws. The light is easy to install and can be used in a variety of applications.

Warranty: The light is covered by a 5-year warranty.

CREE

ARE-EDG-4M-DA
ARE-EDG-4M-DA-06-E-UL-XX-700-57K

Product Description: ARE-EDG-4M-DA is a 4' x 4' Edge Lit LED Panel Light. It features a slim profile and is designed for surface mounting. The light is dimmable and has a long life expectancy. It is suitable for use in a variety of commercial and residential applications.

Performance Summary:
 • Power: 700W
 • Voltage: 120V
 • Frequency: 60Hz
 • Dimming: Yes
 • Life Span: 50,000 hours

Technical Specifications:
 • Dimensions: 48" x 48" x 1.5"
 • Weight: 20 lbs
 • Material: Aluminum
 • Finish: White

Installation: The light is designed for surface mounting. It includes a mounting bracket and screws. The light is easy to install and can be used in a variety of applications.

Warranty: The light is covered by a 5-year warranty.

CREE

CAN-304-SL-RS
CAN-304-SL-RS-06-E-UL-WH-525-57K

Product Description: CAN-304-SL-RS is a 304 Series LED Canopy Light. It features a slim profile and is designed for surface mounting. The light is dimmable and has a long life expectancy. It is suitable for use in a variety of commercial and residential applications.

Performance Summary:
 • Power: 525W
 • Voltage: 120V
 • Frequency: 60Hz
 • Dimming: Yes
 • Life Span: 50,000 hours

Technical Specifications:
 • Dimensions: 30" x 30" x 1.5"
 • Weight: 10 lbs
 • Material: Aluminum
 • Finish: White

Installation: The light is designed for surface mounting. It includes a mounting bracket and screws. The light is easy to install and can be used in a variety of applications.

Warranty: The light is covered by a 5-year warranty.

CREE

THE EDGE SEC-EDG-3M/3M-WM
SEC-EDG-3M-WM-02-E-UL-XX-350-40K

Product Description: THE EDGE SEC-EDG-3M/3M-WM is a 3' x 3' Edge Lit LED Panel Light. It features a slim profile and is designed for surface mounting. The light is dimmable and has a long life expectancy. It is suitable for use in a variety of commercial and residential applications.

Performance Summary:
 • Power: 350W
 • Voltage: 120V
 • Frequency: 60Hz
 • Dimming: Yes
 • Life Span: 50,000 hours

Technical Specifications:
 • Dimensions: 36" x 36" x 1.5"
 • Weight: 15 lbs
 • Material: Aluminum
 • Finish: White

Installation: The light is designed for surface mounting. It includes a mounting bracket and screws. The light is easy to install and can be used in a variety of applications.

Warranty: The light is covered by a 5-year warranty.

CREE

LR6-18L
LR6-18L-40K-120V-GU24-A + RG6-GU24

Product Description: LR6-18L is a 6" LED Recessed Can Light. It features a slim profile and is designed for surface mounting. The light is dimmable and has a long life expectancy. It is suitable for use in a variety of commercial and residential applications.

Performance Summary:
 • Power: 40W
 • Voltage: 120V
 • Frequency: 60Hz
 • Dimming: Yes
 • Life Span: 50,000 hours

Technical Specifications:
 • Dimensions: 6" x 6" x 1.5"
 • Weight: 5 lbs
 • Material: Aluminum
 • Finish: White

Installation: The light is designed for surface mounting. It includes a mounting bracket and screws. The light is easy to install and can be used in a variety of applications.

Warranty: The light is covered by a 5-year warranty.

CREE

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RU1850-S1 P1A

RECESSED CANS

WALL MOUNTED LIGHTS

SYMBOL QTY LABEL
 LREC-GU24 * RCG-GU24
 7 LED2

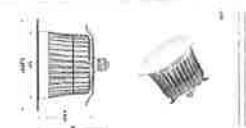
LRG:

General Information:

Part Number: LREC-GU24
 Description: 2x4' LED Recessed Light Fixture

Technical Specifications:

Power: 150W
 Voltage: 120V
 Frequency: 60Hz
 Color Temperature: 5000K
 Beam Spread: 45°
 Mounting: Recessed



LED Specifications:

LED Type	High Power LED
LED Power	150W
LED Life	50,000 hours

CREE

SYMBOL QTY LABEL
 SECE-EDG-4M-WM-04-E-UL-XX-525-40K
 4 WS8

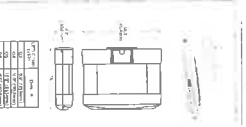
SECE-EDG-4M-WM-04-E-UL-XX-525-40K

General Information:

Part Number: SECE-EDG-4M-WM-04-E-UL-XX-525-40K
 Description: 4x4' LED Wall Mounted Light Fixture

Technical Specifications:

Power: 40W
 Voltage: 120V
 Frequency: 60Hz
 Color Temperature: 5000K
 Beam Spread: 60°
 Mounting: Wall Mounted



LED Specifications:

LED Type	High Power LED
LED Power	40W
LED Life	50,000 hours

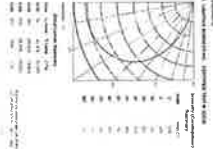
CREE

General Information:

Part Number: LREC-GU24
 Description: 2x4' LED Recessed Light Fixture

Technical Specifications:

Power: 150W
 Voltage: 120V
 Frequency: 60Hz
 Color Temperature: 5000K
 Beam Spread: 45°
 Mounting: Recessed



LED Specifications:

LED Type	High Power LED
LED Power	150W
LED Life	50,000 hours

CREE

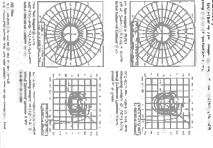
SECE-EDG-4M-WM-04-E-UL-XX-525-40K

General Information:

Part Number: SECE-EDG-4M-WM-04-E-UL-XX-525-40K
 Description: 4x4' LED Wall Mounted Light Fixture

Technical Specifications:

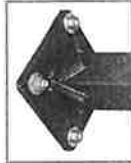
Power: 40W
 Voltage: 120V
 Frequency: 60Hz
 Color Temperature: 5000K
 Beam Spread: 60°
 Mounting: Wall Mounted



LED Specifications:

LED Type	High Power LED
LED Power	40W
LED Life	50,000 hours

CREE



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LUMEN MAINTENANCE FACTORS (LMF)**
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**CREE TRUEWHITE® TECHNOLOGY & CRI
(COLOR RENDERING INDEX)**
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NanoOptic® TECHNOLOGY
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WARRANTY INFORMATION
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CREE LIGHTING SELECTION GUIDE
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**Designlights Consortium®
(DLC QUALIFIED PRODUCTS LIST)**
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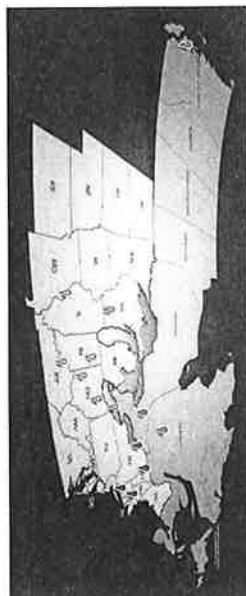
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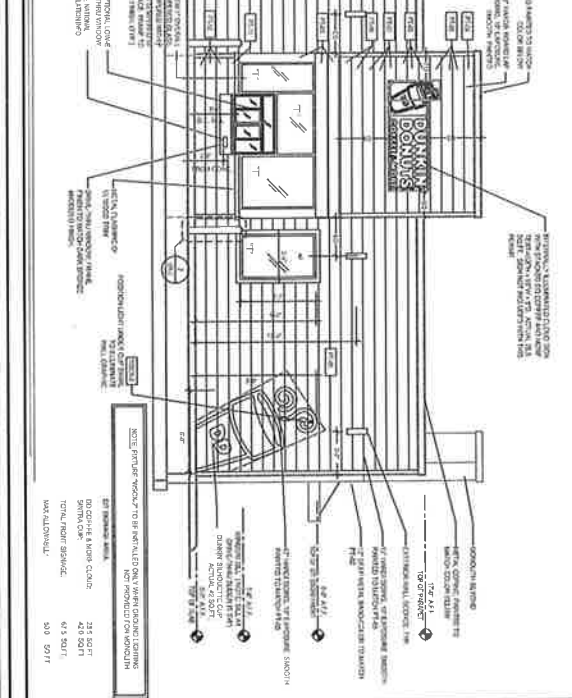
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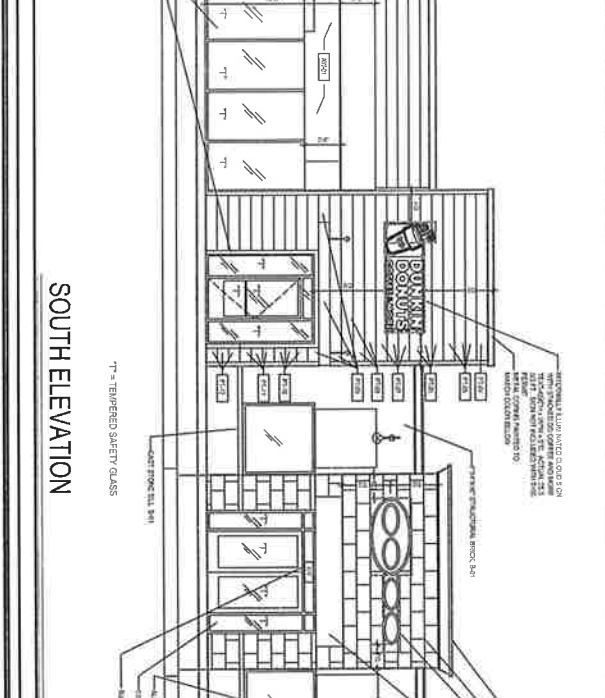
EXTERIOR FINISH MATERIAL SCHEDULE

CODE	MATERIAL	MANUFACTURER	FINISH	DESCRIPTION	REMARKS
101	CONCRETE	CONCRETE	FORMER	CONCRETE	FORMER
102	BRICK	BRICK	COMMON	COMMON BRICK	COMMON BRICK
103	STONE	STONE	FIELD	FIELD STONE	FIELD STONE
104	GLASS	GLASS	INSULATED	INSULATED GLASS	INSULATED GLASS
105	ROOFING	ROOFING	ASPH/FLT	ASPH/FLT ROOFING	ASPH/FLT ROOFING
106	PAINT	PAINT	EXTERIOR	EXTERIOR PAINT	EXTERIOR PAINT
107	EIFS	EIFS	EIFS	EIFS	EIFS
108	CLADDING	CLADDING	CLADDING	CLADDING	CLADDING
109	ROCK	ROCK	ROCK	ROCK	ROCK
110	WOOD	WOOD	WOOD	WOOD	WOOD
111	STEEL	STEEL	STEEL	STEEL	STEEL
112	COPPER	COPPER	COPPER	COPPER	COPPER
113	ZINC	ZINC	ZINC	ZINC	ZINC
114	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM
115	BRASS	BRASS	BRASS	BRASS	BRASS
116	IRON	IRON	IRON	IRON	IRON
117	CERAMIC	CERAMIC	CERAMIC	CERAMIC	CERAMIC
118	GLAZED	GLAZED	GLAZED	GLAZED	GLAZED
119	SMOOTH	SMOOTH	SMOOTH	SMOOTH	SMOOTH
120	TEXTURED	TEXTURED	TEXTURED	TEXTURED	TEXTURED
121	FLAT	FLAT	FLAT	FLAT	FLAT
122	GLASS	GLASS	GLASS	GLASS	GLASS
123	ROOFING	ROOFING	ROOFING	ROOFING	ROOFING
124	PAINT	PAINT	PAINT	PAINT	PAINT
125	EIFS	EIFS	EIFS	EIFS	EIFS
126	CLADDING	CLADDING	CLADDING	CLADDING	CLADDING
127	ROCK	ROCK	ROCK	ROCK	ROCK
128	WOOD	WOOD	WOOD	WOOD	WOOD
129	STEEL	STEEL	STEEL	STEEL	STEEL
130	COPPER	COPPER	COPPER	COPPER	COPPER
131	ZINC	ZINC	ZINC	ZINC	ZINC
132	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM
133	BRASS	BRASS	BRASS	BRASS	BRASS
134	IRON	IRON	IRON	IRON	IRON
135	CERAMIC	CERAMIC	CERAMIC	CERAMIC	CERAMIC
136	GLAZED	GLAZED	GLAZED	GLAZED	GLAZED
137	SMOOTH	SMOOTH	SMOOTH	SMOOTH	SMOOTH
138	TEXTURED	TEXTURED	TEXTURED	TEXTURED	TEXTURED
139	FLAT	FLAT	FLAT	FLAT	FLAT
140	GLASS	GLASS	GLASS	GLASS	GLASS
141	ROOFING	ROOFING	ROOFING	ROOFING	ROOFING
142	PAINT	PAINT	PAINT	PAINT	PAINT
143	EIFS	EIFS	EIFS	EIFS	EIFS
144	CLADDING	CLADDING	CLADDING	CLADDING	CLADDING
145	ROCK	ROCK	ROCK	ROCK	ROCK
146	WOOD	WOOD	WOOD	WOOD	WOOD
147	STEEL	STEEL	STEEL	STEEL	STEEL
148	COPPER	COPPER	COPPER	COPPER	COPPER
149	ZINC	ZINC	ZINC	ZINC	ZINC
150	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM
151	BRASS	BRASS	BRASS	BRASS	BRASS
152	IRON	IRON	IRON	IRON	IRON
153	CERAMIC	CERAMIC	CERAMIC	CERAMIC	CERAMIC
154	GLAZED	GLAZED	GLAZED	GLAZED	GLAZED
155	SMOOTH	SMOOTH	SMOOTH	SMOOTH	SMOOTH
156	TEXTURED	TEXTURED	TEXTURED	TEXTURED	TEXTURED
157	FLAT	FLAT	FLAT	FLAT	FLAT
158	GLASS	GLASS	GLASS	GLASS	GLASS
159	ROOFING	ROOFING	ROOFING	ROOFING	ROOFING
160	PAINT	PAINT	PAINT	PAINT	PAINT
161	EIFS	EIFS	EIFS	EIFS	EIFS
162	CLADDING	CLADDING	CLADDING	CLADDING	CLADDING
163	ROCK	ROCK	ROCK	ROCK	ROCK
164	WOOD	WOOD	WOOD	WOOD	WOOD
165	STEEL	STEEL	STEEL	STEEL	STEEL
166	COPPER	COPPER	COPPER	COPPER	COPPER
167	ZINC	ZINC	ZINC	ZINC	ZINC
168	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM
169	BRASS	BRASS	BRASS	BRASS	BRASS
170	IRON	IRON	IRON	IRON	IRON
171	CERAMIC	CERAMIC	CERAMIC	CERAMIC	CERAMIC
172	GLAZED	GLAZED	GLAZED	GLAZED	GLAZED
173	SMOOTH	SMOOTH	SMOOTH	SMOOTH	SMOOTH
174	TEXTURED	TEXTURED	TEXTURED	TEXTURED	TEXTURED
175	FLAT	FLAT	FLAT	FLAT	FLAT
176	GLASS	GLASS	GLASS	GLASS	GLASS
177	ROOFING	ROOFING	ROOFING	ROOFING	ROOFING
178	PAINT	PAINT	PAINT	PAINT	PAINT
179	EIFS	EIFS	EIFS	EIFS	EIFS
180	CLADDING	CLADDING	CLADDING	CLADDING	CLADDING
181	ROCK	ROCK	ROCK	ROCK	ROCK
182	WOOD	WOOD	WOOD	WOOD	WOOD
183	STEEL	STEEL	STEEL	STEEL	STEEL
184	COPPER	COPPER	COPPER	COPPER	COPPER
185	ZINC	ZINC	ZINC	ZINC	ZINC
186	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM	ALUMINUM
187	BRASS	BRASS	BRASS	BRASS	BRASS
188	IRON	IRON	IRON	IRON	IRON
189	CERAMIC	CERAMIC	CERAMIC	CERAMIC	CERAMIC
190	GLAZED	GLAZED	GLAZED	GLAZED	GLAZED
191	SMOOTH	SMOOTH	SMOOTH	SMOOTH	SMOOTH
192	TEXTURED	TEXTURED	TEXTURED	TEXTURED	TEXTURED
193	FLAT	FLAT	FLAT	FLAT	FLAT
194	GLASS	GLASS	GLASS	GLASS	GLASS
195	ROOFING	ROOFING	ROOFING	ROOFING	ROOFING
196	PAINT	PAINT	PAINT	PAINT	PAINT
197	EIFS	EIFS	EIFS	EIFS	EIFS
198	CLADDING	CLADDING	CLADDING	CLADDING	CLADDING
199	ROCK	ROCK	ROCK	ROCK	ROCK
200	WOOD	WOOD	WOOD	WOOD	WOOD

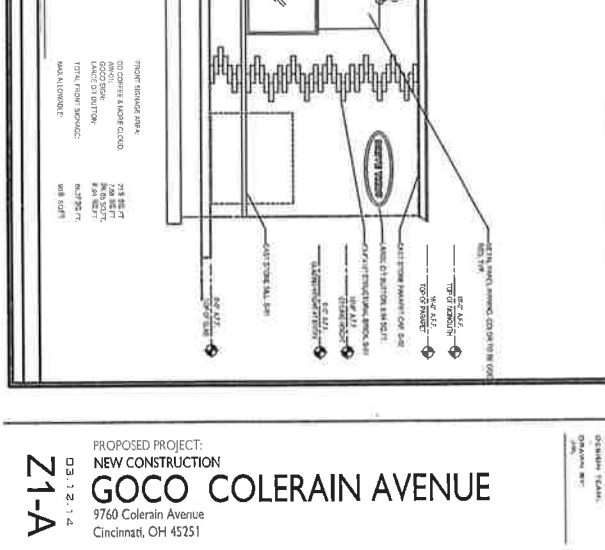
WEST ELEVATION



FRONT ELEVATION

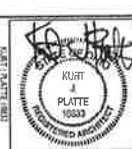


SOUTH ELEVATION



PROPOSED PROJECT:
NEW CONSTRUCTION
GOCO COLERAIN AVENUE
 9760 Colerain Avenue
 Cincinnati, OH 45251

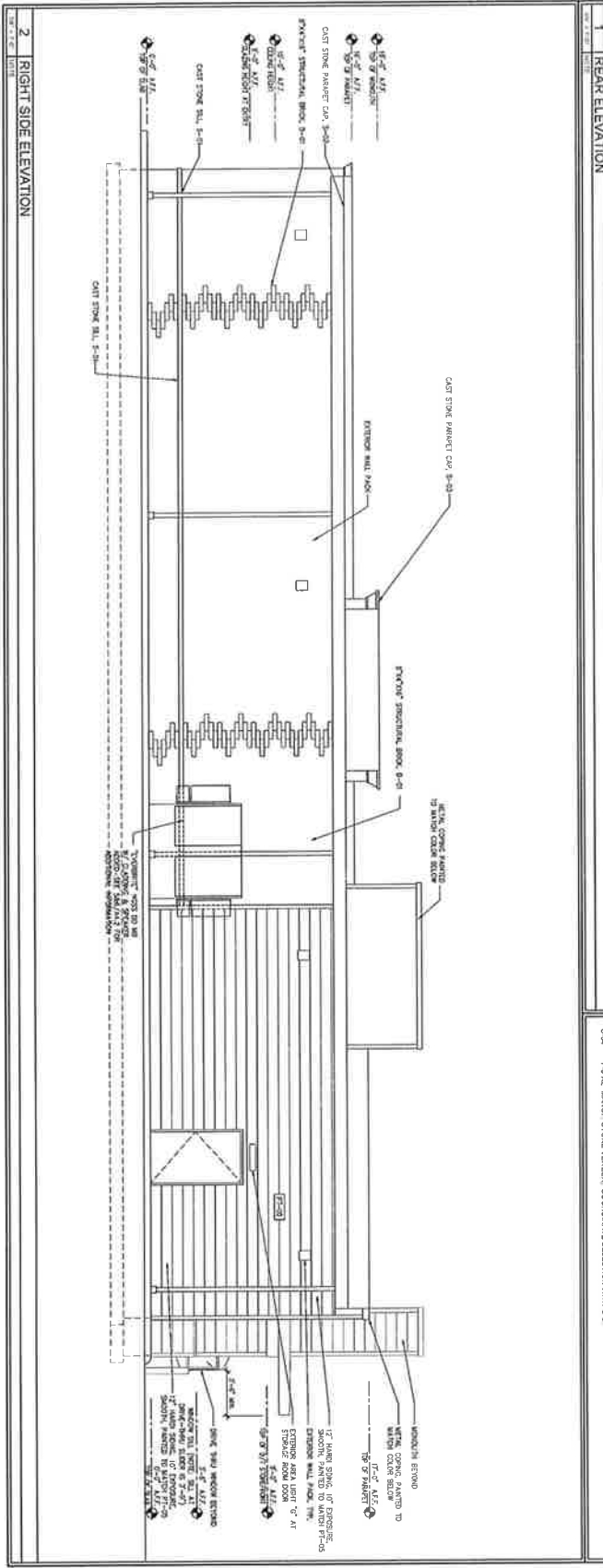
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Z1-A



EXTERIOR FINISH MATERIAL SCHEDULE

ITEM	DESCRIPTION	MANUFACTURER	FINISH	NOTES
101	CONCRETE	CONCRETE	CONCRETE	CONCRETE
102	BRICK	BRICK	BRICK	BRICK
103	STONE	STONE	STONE	STONE
104	PAINT	PAINT	PAINT	PAINT
105	ROOFING	ROOFING	ROOFING	ROOFING
106	GLASS	GLASS	GLASS	GLASS
107	WALL PAPER	WALL PAPER	WALL PAPER	WALL PAPER
108	CEILING	CEILING	CEILING	CEILING
109	FLOORING	FLOORING	FLOORING	FLOORING
110	MECHANICAL	MECHANICAL	MECHANICAL	MECHANICAL
111	ELECTRICAL	ELECTRICAL	ELECTRICAL	ELECTRICAL
112	PLUMBING	PLUMBING	PLUMBING	PLUMBING
113	LANDSCAPE	LANDSCAPE	LANDSCAPE	LANDSCAPE
114	EXTERIOR LIGHTING	EXTERIOR LIGHTING	EXTERIOR LIGHTING	EXTERIOR LIGHTING
115	SCREENING	SCREENING	SCREENING	SCREENING
116	POOL	POOL	POOL	POOL
117	SPACED BRICK	SPACED BRICK	SPACED BRICK	SPACED BRICK
118	CAST STONE	CAST STONE	CAST STONE	CAST STONE
119	EXTERIOR PAINT	EXTERIOR PAINT	EXTERIOR PAINT	EXTERIOR PAINT
120	WOOD	WOOD	WOOD	WOOD
121	ROCKCAST	ROCKCAST	ROCKCAST	ROCKCAST
122	ROCKCAST	ROCKCAST	ROCKCAST	ROCKCAST
123	ROCKCAST	ROCKCAST	ROCKCAST	ROCKCAST
124	ROCKCAST	ROCKCAST	ROCKCAST	ROCKCAST
125	ROCKCAST	ROCKCAST	ROCKCAST	ROCKCAST
126	ROCKCAST	ROCKCAST	ROCKCAST	ROCKCAST
127	ROCKCAST	ROCKCAST	ROCKCAST	ROCKCAST
128	ROCKCAST	ROCKCAST	ROCKCAST	ROCKCAST
129	ROCKCAST	ROCKCAST	ROCKCAST	ROCKCAST
130	ROCKCAST	ROCKCAST	ROCKCAST	ROCKCAST

EAST ELEVATION



1404 RACE STREET SUITE 300 CINCINNATI, OH 45202
 WWW.PLATTEARCHITECTURE.COM P 513.571.1500 F 513.571.1500



DATE: 12/11/2013
 PROJECT: NEW CONSTRUCTION
 DRAWING: EXTERIOR FINISH MATERIAL SCHEDULE

PROPOSED PROJECT:
 NEW CONSTRUCTION
GOCO COLERAIN AVENUE
 9760 Colerain Avenue
 Cincinnati, OH 45251

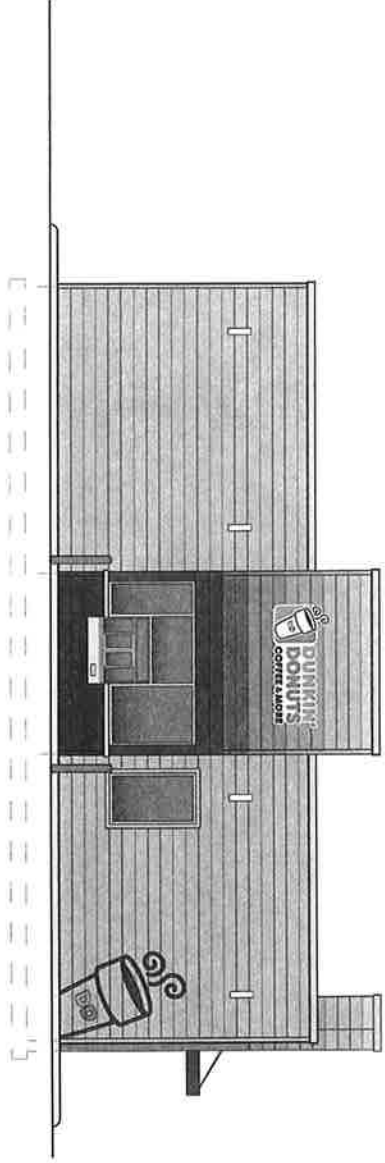
DATE: 12/11/2013
Z1-B



SOUTH ELEVATION

SCALE:

8" = 1'-0"



WEST ELEVATION

SCALE:

8" = 1'-0"

FRONT SIGNAGE AREA:
 DD COFFEE & MORE CLOUD: 25.5 SQ FT
 AW-01: 7.68 SQ FT
 GOCO SIGN: 24.65 SQ FT
 LARGE D/T BUTTON: 8.94 SQ FT
 TOTAL FRONT SIGNAGE: 66.77 SQ FT
 MAX ALLOWABLE: 90.0 SQ FT

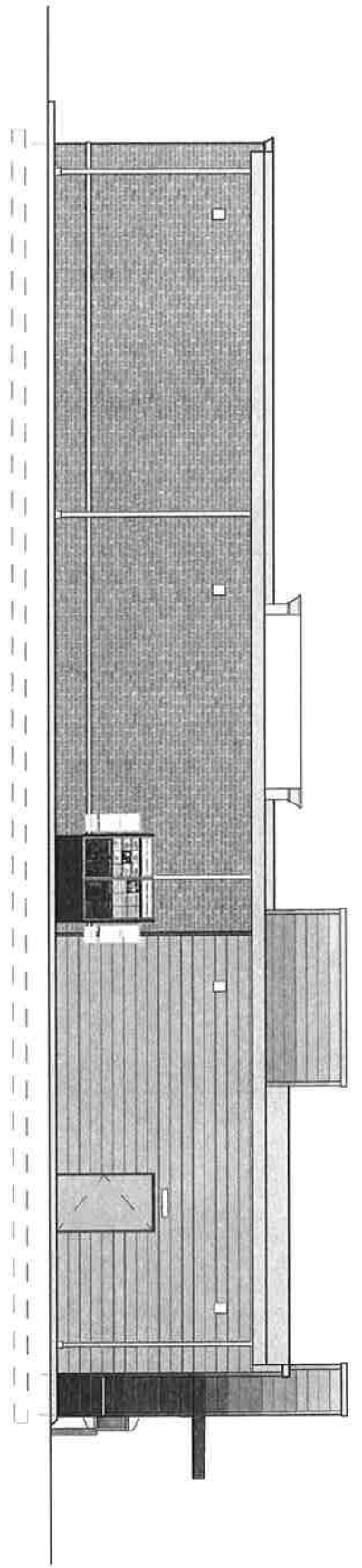
D/T SIGNAGE AREA:
 DD COFFEE & MORE CLOUD: 25.5 SQ FT
 SINTRA CUP: 42.0 SQ FT
 TOTAL FRONT SIGNAGE: 67.5 SQ FT
 MAX ALLOWABLE: 50.0 SQ FT



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PROPOSED PROJECT:
 NEW CONSTRUCTION
GOCO COLERAIN AVENUE
 9760 Colerain Avenue
 Cincinnati, OH 45251

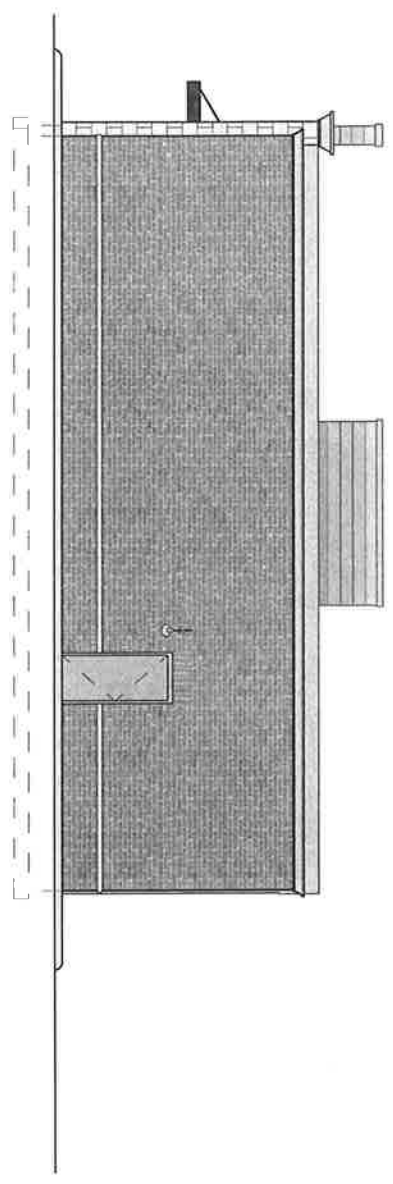
DATE: 09.11.2014
 DRAWING NO.: Z1-C



NORTH ELEVATION

SCALE:

8" = 1'-0"



EAST ELEVATION

SCALE:

8" = 1'-0"

Z1-D

03.12.14

PROPOSED PROJECT:
NEW CONSTRUCTION
GOCO COLERAIN AVENUE
9760 Colerain Avenue
Cincinnati, OH 45251

DESIGN TEAM:
OWNER: GY
DATE: 11/14

REVISIONS:

PROJECT:
KURT J. PLATTE 1000
BY: KURT J. PLATTE
DATE: 12/15



PLATTE
architecture + design

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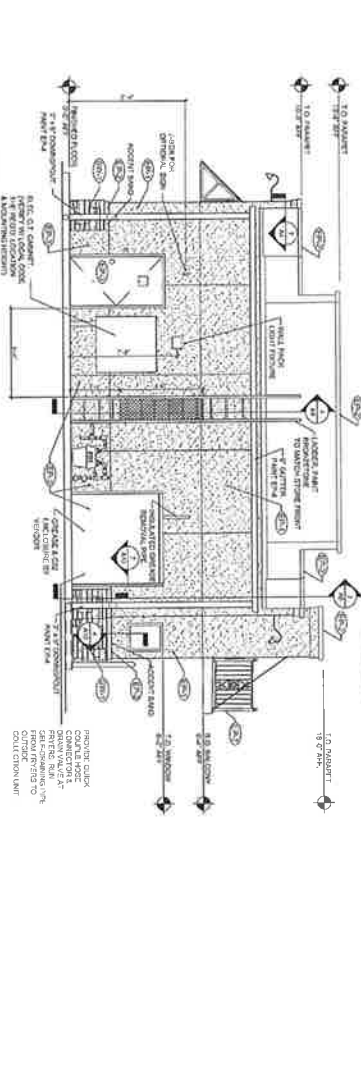
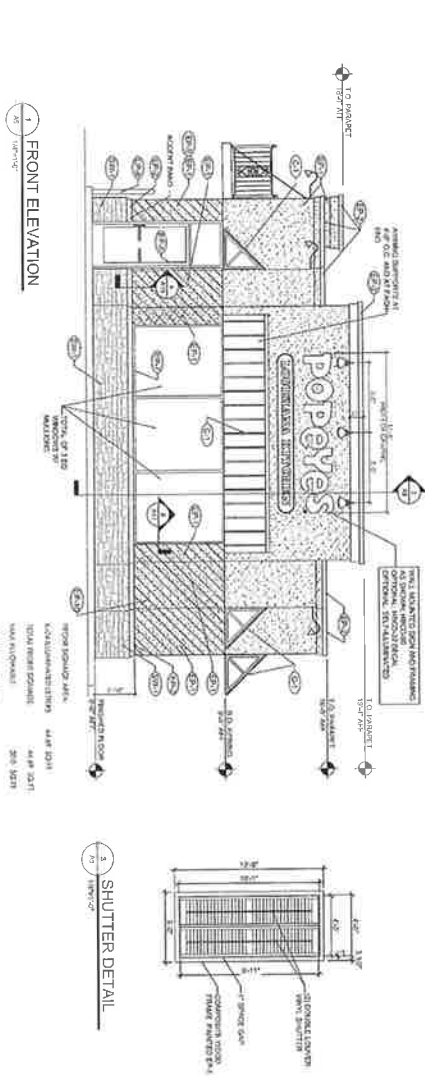
SPECIFICATIONS:

DIVISION 7: THERMAL AND MOISTURE PROTECTION

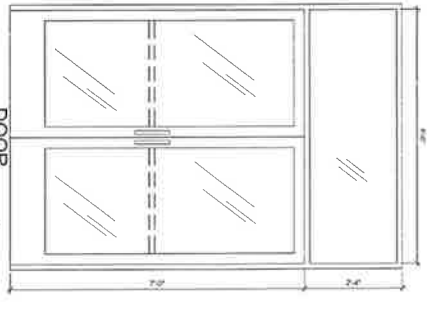
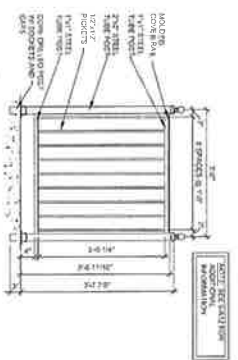
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- 1.1. EXTERIOR WALLS
- 1.2. EXTERIOR WALLS
- 1.3. EXTERIOR WALLS
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SECTION 7.0100 - EXTERIOR WALLS

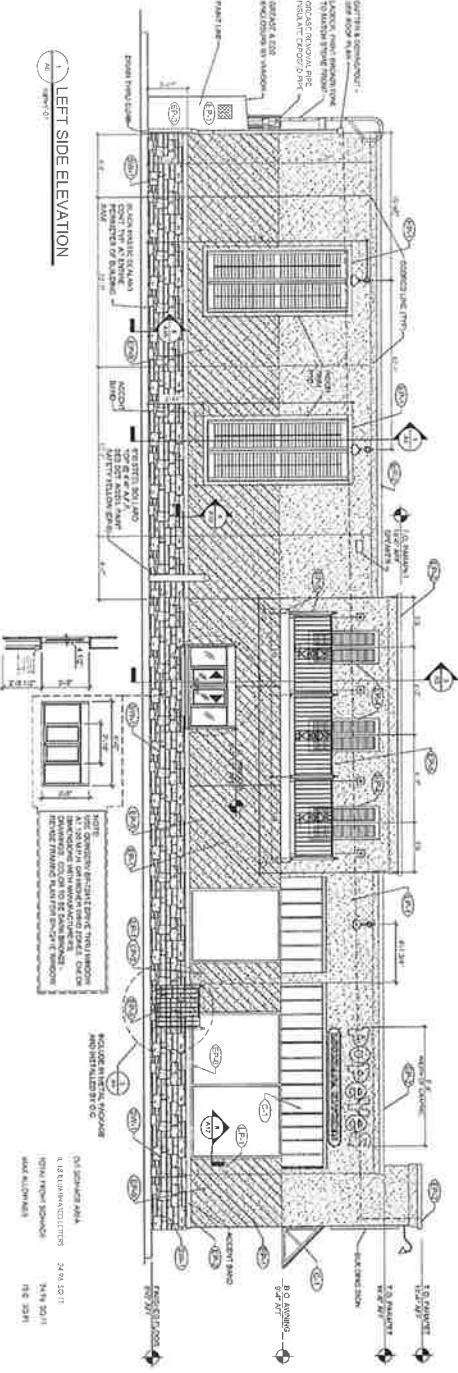
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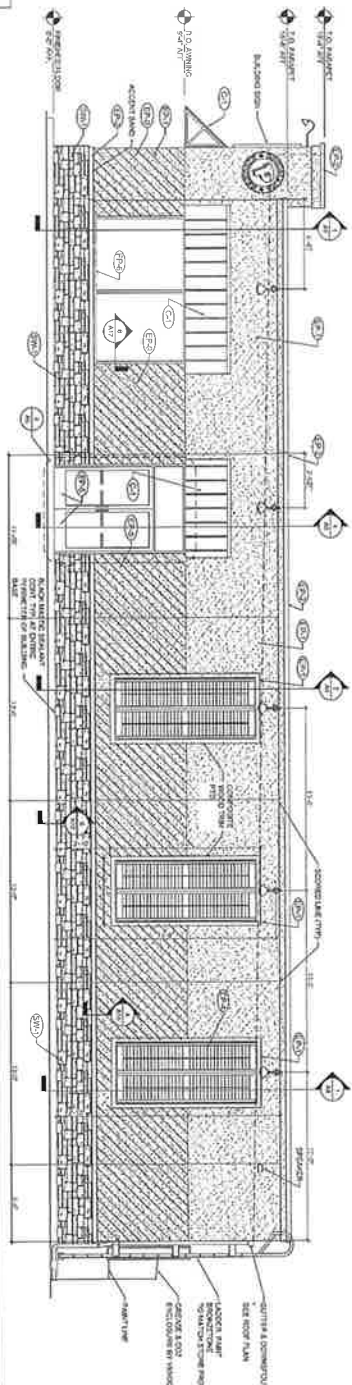
POPEYES LOUISIANA KITCHEN		Exterior Finish Schedule	
New Construction and Rerunning		Upland: 5/20/12	
ITEM	LOCATION	Material	Color
EP-1	MAIN WALL SURFACE	PAINT OR EPS FORMULA	DELICATE
EP-2	WALL ABOVE WINDOW	PAINT OR EPS FORMULA	EVOTIC RED
EP-3	WALL BELOW WINDOW	BIS METAL PAINT	MCC-4 BROWN
EP-4	SHUTTERS	SHUTTER CONTRACTOR COM	UNFINISHED
EP-5	BALCONY AND RAILINGS	PAINT OR EPS FORMULA	EVOTIC RED
EP-6	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
EP-7	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
EP-8	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
EP-9	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
EP-10	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
EP-11	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
EP-12	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
EP-13	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
EP-14	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
EP-15	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
EP-16	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
EP-17	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
EP-18	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
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EP-24	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
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EP-46	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
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EP-48	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
EP-49	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE
EP-50	STONE FRONT GLAZING	BENJAMIN MOORE	185 LOW LUSTRE



DOOR ELEVATION
 STOREFRONT DETAIL



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

SPECIFICATIONS

SECTION 8A ALUMINUM ENTRANCE STOREFRONT
 GENERAL REQUIREMENTS: THE ALUMINUM ENTRANCE STOREFRONT SYSTEM SHALL BE MANUFACTURED BY THE FOLLOWING:
 1. ALUMINUM STOREFRONT AND ENTRANCE FRAME, REFER TO SPECIFICATION 8A.01 FOR MANUFACTURER'S PRODUCT INFORMATION.
 2. ALUMINUM ENTRANCE STOREFRONT SYSTEM SHALL BE MANUFACTURED BY THE FOLLOWING:
 3. ENTRANCE STOREFRONT SYSTEM SHALL BE MANUFACTURED BY THE FOLLOWING:
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 9. ENTRANCE STOREFRONT SYSTEM SHALL BE MANUFACTURED BY THE FOLLOWING:
 10. ENTRANCE STOREFRONT SYSTEM SHALL BE MANUFACTURED BY THE FOLLOWING:

SECTION 8B GLAZING

GENERAL REQUIREMENTS: THE GLAZING SHALL BE MANUFACTURED BY THE FOLLOWING:
 1. GLAZING SHALL BE MANUFACTURED BY THE FOLLOWING:
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 9. GLAZING SHALL BE MANUFACTURED BY THE FOLLOWING:
 10. GLAZING SHALL BE MANUFACTURED BY THE FOLLOWING:

ITEM NO.	DESCRIPTION	QUANTITY	UNIT
1	ALUMINUM STOREFRONT AND ENTRANCE FRAME	1	EA
2	ALUMINUM ENTRANCE STOREFRONT SYSTEM	1	EA
3	ENTRANCE STOREFRONT SYSTEM	1	EA
4	ENTRANCE STOREFRONT SYSTEM	1	EA
5	ENTRANCE STOREFRONT SYSTEM	1	EA
6	ENTRANCE STOREFRONT SYSTEM	1	EA
7	ENTRANCE STOREFRONT SYSTEM	1	EA
8	ENTRANCE STOREFRONT SYSTEM	1	EA
9	ENTRANCE STOREFRONT SYSTEM	1	EA
10	ENTRANCE STOREFRONT SYSTEM	1	EA

ITEM NO.	LOCATION	SUPPLIER/REMARK	MATERIAL	FINISH/COATING	COLOR	QUANTITY	UNIT
B-1	MAIN WALL SURFACE	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-2	WALL SURFACE ACCENT	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-3	ACCENT TRAIL	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-4	SHUTTERS	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-5	GLAZING	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-6	GLAZING	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-7	GLAZING	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-8	GLAZING	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-9	GLAZING	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-10	GLAZING	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft

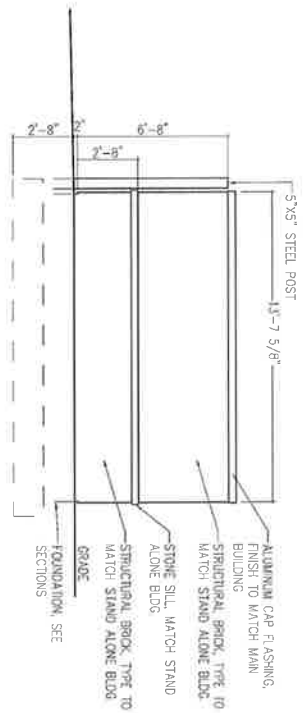
ITEM NO.	LOCATION	SUPPLIER/REMARK	MATERIAL	FINISH/COATING	COLOR	QUANTITY	UNIT
B-1	MAIN WALL SURFACE	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-2	WALL SURFACE ACCENT	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-3	ACCENT TRAIL	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-4	SHUTTERS	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-5	GLAZING	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-6	GLAZING	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-7	GLAZING	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-8	GLAZING	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-9	GLAZING	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft
B-10	GLAZING	BENJAMIN MOORE	PAINT ON EPS FOAMULAR	EXTERIOR	185 LOW LUSTRE	185	LSM Lsqft



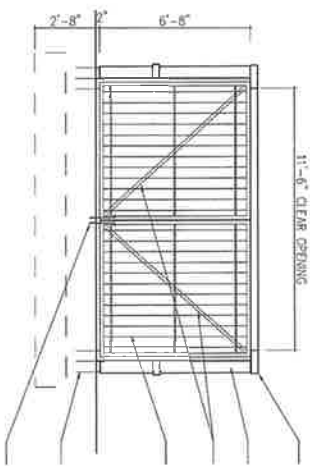
POPEYES
LK 1246-DL-PLUS PROTOTYPE
E.I.F.S. / SIMULATED STONE
 LOUISIANA KITCHEN LK-PLUS DESIGN STANDARDS
 46 SEATS / DUAL-LINE PRODUCTION

POPEYES
 1246-DL-PLUS PROTOTYPE
 E.I.F.S. / SIMULATED STONE
 LOUISIANA KITCHEN LK-PLUS DESIGN STANDARDS
 46 SEATS / DUAL-LINE PRODUCTION

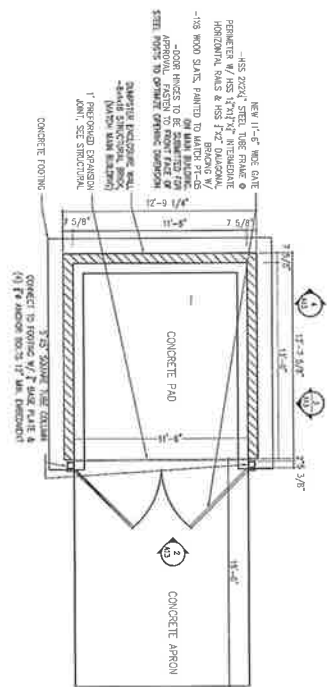
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 DATE: 11/11/11
 CHECKED: [Signature]



5x5" STEEL POST
1 3/8" x 7/8" ALUMINUM CAP FLASHING, FINISH TO MATCH MAIN BUILDING
STRUCTURAL BRICK, TYPE 1 MATCH STAND ALONE BLDG.
STONE SILL, MATCH STAND ALONE BLDG.
STRUCTURAL BRICK, TYPE 1 MATCH STAND ALONE BLDG.
GRADE
FOUNDATION, SEE SECTIONS



11'-6" CLEAR OPENING
ALUMINUM CAP FLASHING, FINISH TO MATCH MAIN BUILDING
STRUCTURAL BRICK, TYPE 1 MATCH STAND ALONE BLDG.
1/2" DIAGONAL STRIP W/ 8" FILET WELDS EACH JOINT
NEW DUMPS TER ENCLOSURE GATE
-HSS 2X2X 1/4" STEEL FRAME SURROUND W/ 1/2" x 1/2" INTERMEDIATE STEEL RAILS W/ P.T. 1X6 SLATS, PAINT TO MATCH PT-05 FOUNDATION, SEE SECTIONS
(1) 3/4" STEEL DROP PIN EA. DOOR



NEW 11'-0" x 11'-0" CONCRETE PAD
-HSS 2X2X 1/4" STEEL FRAME SURROUND W/ 1/2" DIAGONAL STRIP W/ 8" FILET WELDS EACH JOINT
-1X6 WOOD SLATS, PAINT TO MATCH PT-05
-DOOR HANGERS TO BE INSTALLED TO MATCH PT-05
-APPROVAL: FINISH TO MATCH PT-05 FOUNDATION, SEE SECTIONS
DUMPS TER ENCLOSURE GATE
-HSS 2X2X 1/4" STEEL FRAME SURROUND W/ 1/2" x 1/2" INTERMEDIATE STEEL RAILS W/ P.T. 1X6 SLATS, PAINT TO MATCH PT-05 FOUNDATION, SEE SECTIONS
CONCRETE APRON
CONCRETE FOOTING
3'x3' SQUARE TIE BEAM
CONCRETE TO BE MATCHED WITH EXISTING CONCRETE
(1) 3/4" STEEL DROP PIN EA. DOOR



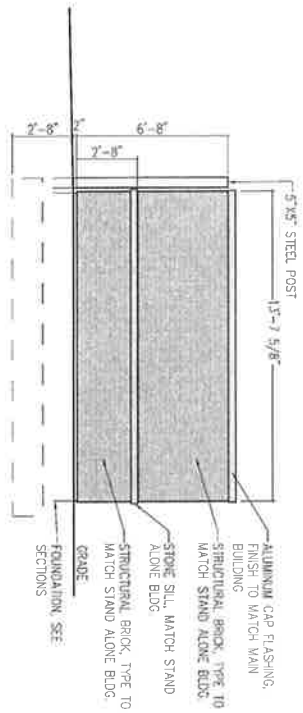
DESIGNED BY: KAITI PLATTE ROAD
DRAWN BY: [Signature]
DATE: [Date]
PROPOSED DATE: [Date]
PROPOSED DATE: [Date]

PLATTE
architecture + design

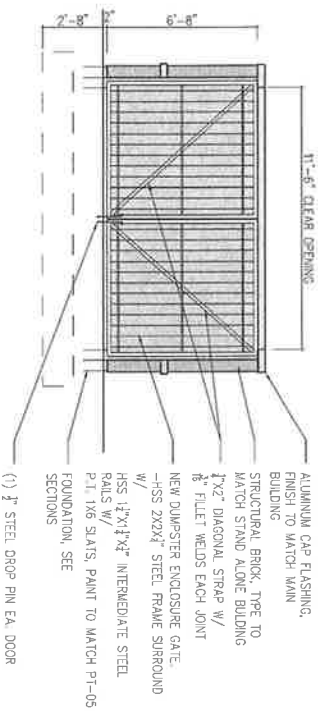
1404 RACE STREET SUITE 300 CINCINNATI, OH 45202
WWW.PLATTEDESIGN.COM T: 513.871.1850 | F: 513.871.1831

PROPOSED PROJECT:
NEW CONSTRUCTION
GOCO COLERAIN AVENUE
9760 Colerain Avenue
Cincinnati, OH 45251

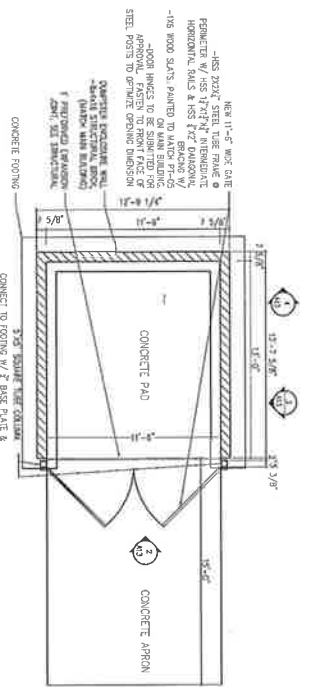
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03.12.14



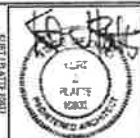
DUMPSTER SIDE ELEVATION
SCALE: 1/4" = 1'-0"



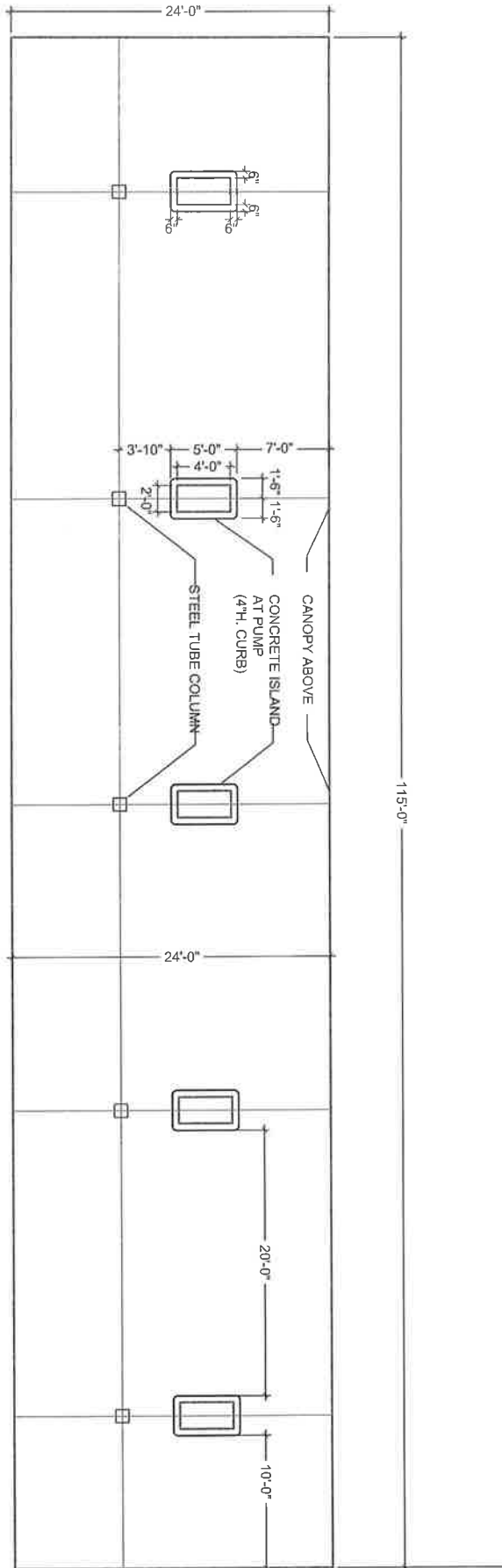
DUMPSTER FRONT ELEVATION
SCALE: 1/4" = 1'-0"



DUMPSTER PLAN
SCALE: 1/4" = 1'-0"



DESIGNED BY	PLATTE
DRAWN BY	PLATTE
CHECKED BY	PLATTE
DATE	02/12/15
PROJECT NO.	15-001
PROJECT NAME	GOCO COLERAIN AVENUE
PROJECT ADDRESS	9760 COLERAIN AVENUE, CINCINNATI, OH 45251



CANOPY PLAN
SCALE: 1/8" = 1'-0"

PROPOSED PROJECT:
NEW CONSTRUCTION
GOCO COLERAIN AVENUE
9760 Colerain Avenue
Cincinnati, OH 45251

03.12.14

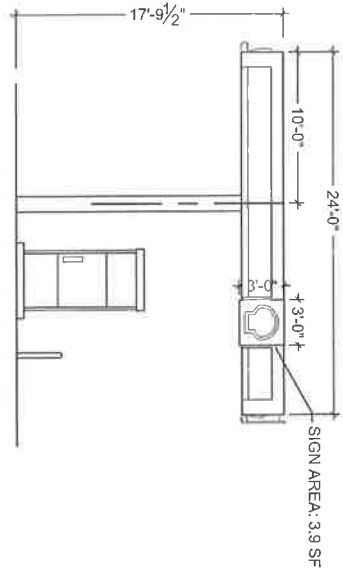
DESIGN TEAM:
DRAWN BY: [Signature]
DATE: [Blank]

REVISIONS:

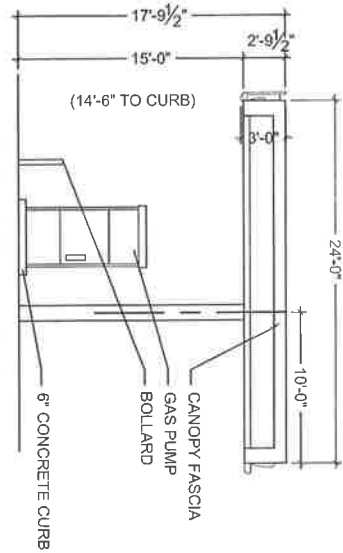
PROJECT DATE:



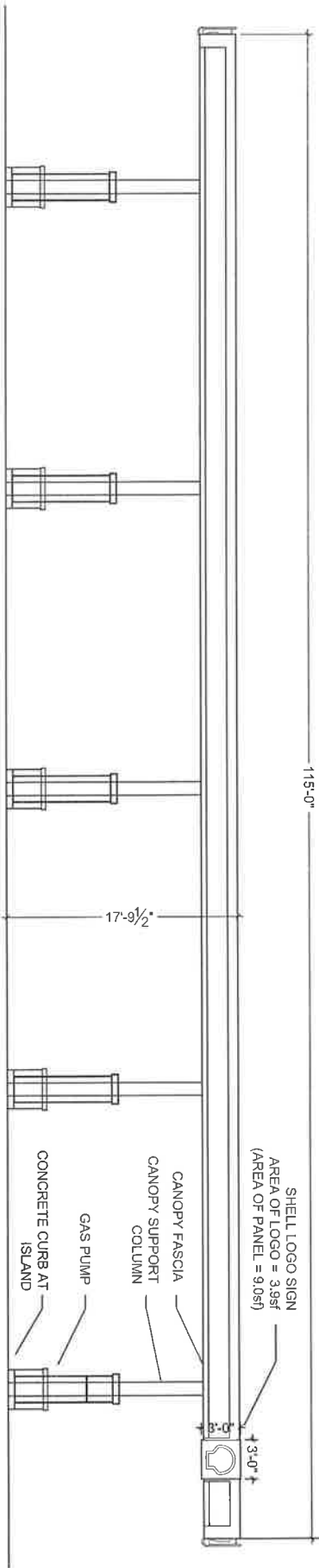
CANOPY SIGNAGE AREA:
 SHELL SIGN NORTH: 3.9 sf
 SHELL SIGN WEST: 3.9 sf
 TOTAL SIGN AREA: 7.8 sf



CANOPY - NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



CANOPY - SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



CANOPY - WEST ELEVATION (FRONT)
 SCALE: 1/8" = 1'-0"

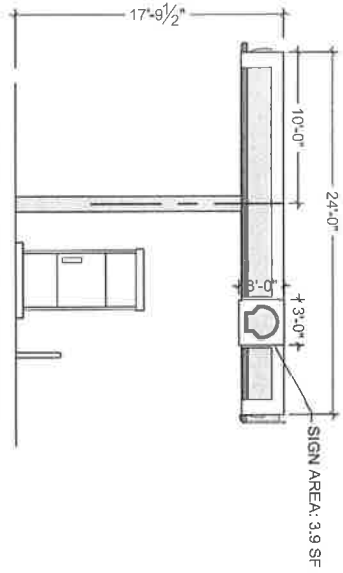
PLATTE
 architecture + design
 1404 RACE STREET SUITE 300 CINCINNATI, OH 45202
 WWW.PLATTEDESIGN.COM T: 513.871.1880 | F: 513.871.1882

REVISIONS	NO.	DATE	DESCRIPTION
DESIGNER	TEAM	DATE	NO.

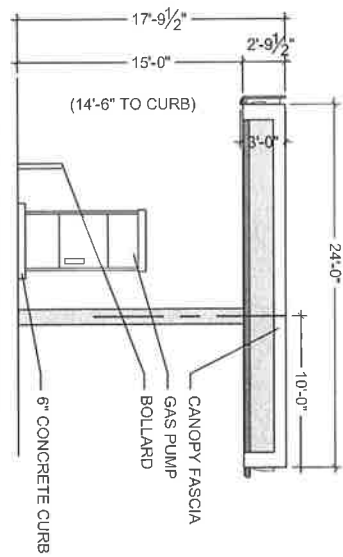
PROPOSED PROJECT:
 NEW CONSTRUCTION
GOCO COLERAIN AVENUE
 9760 Colerain Avenue
 Cincinnati, OH 45251

Z4-B
 03.12.14

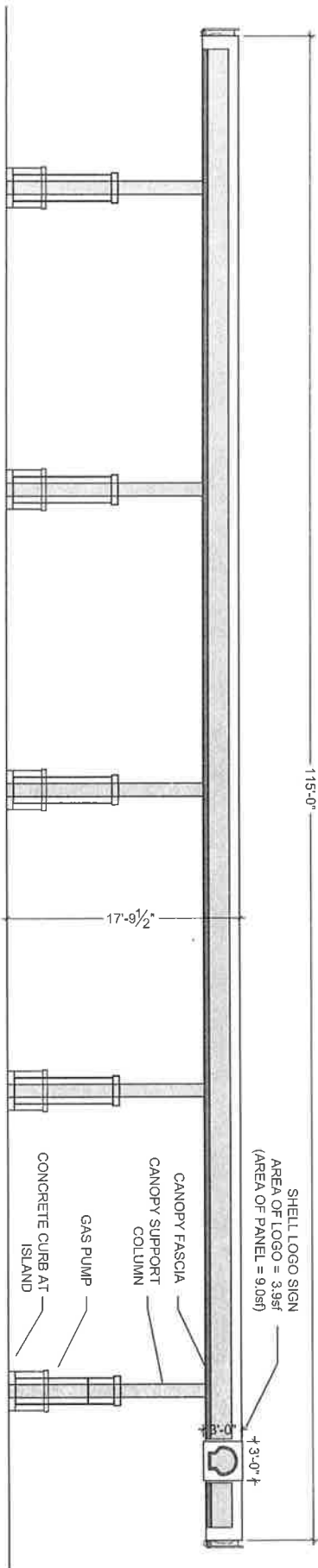
CANOPY SIGNAGE AREA:
 SHELL SIGN NORTH: 3.9 sf
 SHELL SIGN WEST: 3.9 sf
 TOTAL SIGN AREA: 7.8 sf



CANOPY - NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



CANOPY - SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



CANOPY - WEST ELEVATION (FRONT)
 SCALE: 1/8" = 1'-0"

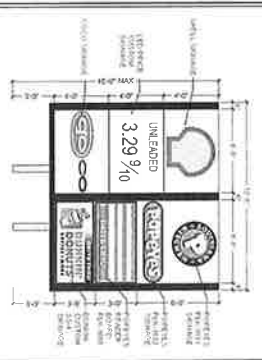


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 architecture + design
 1404 RACE STREET SUITE 300 CINCINNATI, OH 45202
 WWW.PLATTEDESIGN.COM | T: 513.871.1885 | F: 513.871.1858

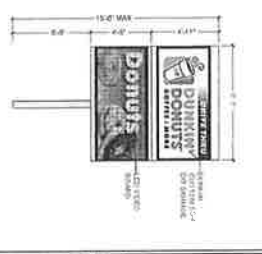
DESCRIPTION:
 PROJECT TEAM:
 ARCHITECT: PLATTE DESIGN
 ENGINEER: ALAN PLATTEAU
 PROJECT NO: 1404 RACE ST

PROPOSED PROJECT:
 NEW CONSTRUCTION
GOCO COLERAIN AVENUE
 9760 Colerain Avenue
 Cincinnati, OH 45251

DATE: 03/12/14
 DRAWING NO: Z4-C



1 FREE STANDING SIGN 1
 2.5' H
 3.5' W



2 FREE STANDING SIGN 2
 2.5' H
 3.5' W



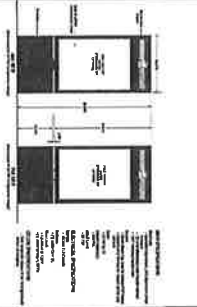
3 LARGE DT OVAL SIGN
 2.5' H
 3.5' W



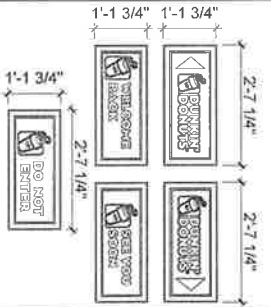
5 BS-1 STACKED CLOUD SIGN
 2.5' H
 3.5' W



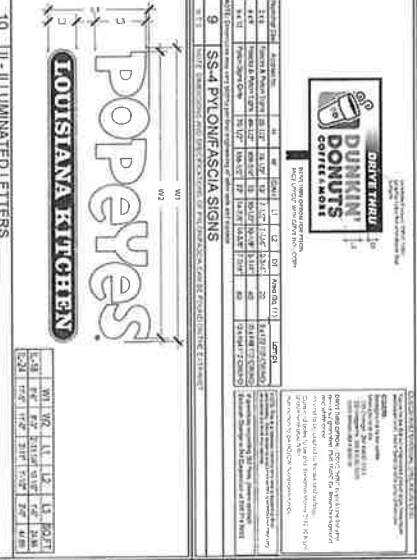
7 GOCO WALL MOUNTED SIGN
 2.5' H
 3.5' W



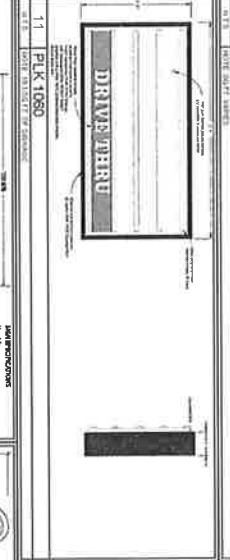
4 CANOPY MOUNT SPEAKER
 2.5' H
 3.5' W



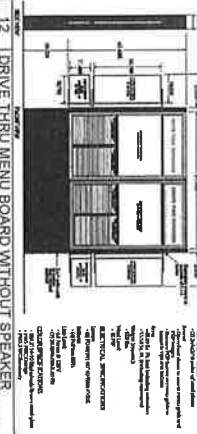
6 ROTATING PREVIEW BOARD
 2.5' H
 3.5' W



10 IL ILLUMINATED LETTERS
 2.5' H
 3.5' W



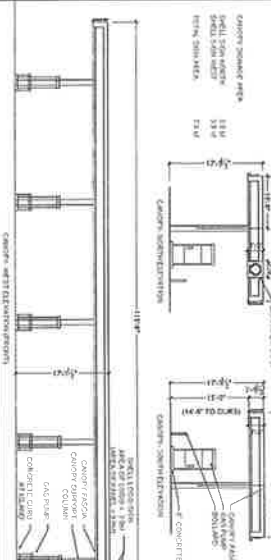
11 PLK 1080
 2.5' H
 3.5' W



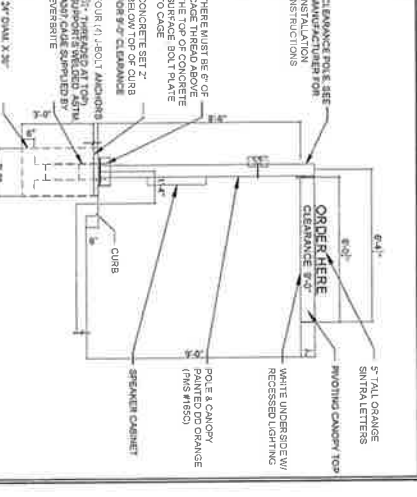
12 DRIVE THRU MENU BOARD WITHOUT SPEAKER
 2.5' H
 3.5' W



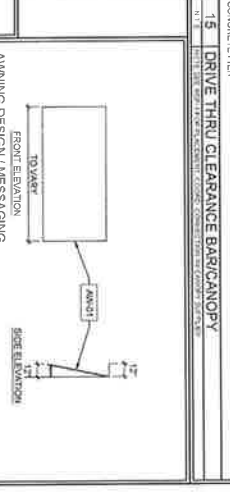
13 SINTRA CUP
 2.5' H
 3.5' W



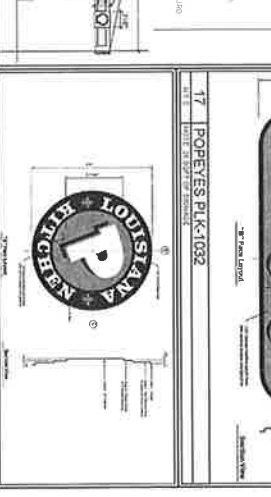
14 SHELL CANOPY
 2.5' H
 3.5' W



15 DRIVE THRU CLEARANCE BAR/CANOPY
 2.5' H
 3.5' W



16 AWNING ELEVATIONS
 2.5' H
 3.5' W



17 POPYES PLK-1032
 2.5' H
 3.5' W

APPLICATION FOR APPEAL
COLERAIN TOWNSHIP BOARD OF ZONING APPEALS

4200 Springdale Rd
Cincinnati, Ohio 45251
(513) 385-7505; Fax (513) 245-6503

An appeal must be filed within 20 calendar days of the action causing the appeal (ORC 519.15)

Application number: BZA 2014-06

Owner: MICHAEL BERRY Applicant: THOMAS DUNN, ARCHITECT

Property Address: 2629 JOHN GRAY RD

City: CINCINNATI, OH State/Zip: OHIO 45231

Applicant Address: 800 COMPTON RD

City: CINCINNATI State Zip: OHIO 45231

Phone: 513 522 8755

Auditor's Book-Page-Parcel Number: 510 -- 0011 -- 0196 00

Zoning Classification: R-6

Appeal to (check one): Refusal to issue Zoning Certificate Citation for Violation

Required Documents:

- Signed, typewritten *Justification of Variance* statement addressing the items listed on the reverse of this page - **8 copies.**
- Site Plan (surveyor/engineer's seal may be required) and construction drawings - **8 copies.**
- Names and addresses of adjacent property owners (use County Auditor's records) - **2 copies.**
- Plat showing adjacent property owners - **2 copies.**
- Fees.

Office use only:	Appeal Fee:	_____
	Legal Notice:	_____
	Mailing/adjacent Property Owners:	_____
	Total Amount Paid:	<u>\$125</u>

An application for appeal will not be accepted until all of the requirements are met.
Failure to appear at the scheduled public hearing may result in dismissal of the appeal.

Signature of Property Owner: _____
Signature of Applicant (if not the Owner): Thomas Dunn

RECEIVED
JAN 7 2014
COLERAIN ZONING



DUNN & TITUS

DESIGN/BUILD • ARCHITECTURE • INTERIOR DESIGN • PLANNING • CONSTRUCTION MANAGEMENT

VARIANCE REQUEST FOR 2629 JOHN GRAY ROAD

1. **The variance** is requested under Zoning Resolution, section 4.4. The proposed front roof addition is currently in violation of the 30foot setback as required in the R-6 district and therefore in violation of section 7.3.1 and 5.1
2. **The Zoning R-6** permits the single-family use of property according to table 7-2 of the Zoning Resolution.
3. **The proposed addition** will enhance the otherwise bland appearance of the current residence by providing an attractive projection to the front adding character and architectural interest.
4. **The lack of any exterior roof** over the existing front stoop creates a negative condition whereby children waiting for a school bus, visitors arriving at the home or simply allowing a pet out requires standing in the rain or snow. There are other porch roofs and awnings in the area in the same R-6 zone, which intrude into this setback.
5. **The applicants or owners actions** did not precipitate the condition requiring this variance. The condition has been present since the original construction in 1963.


Thomas R. Dunn Reg. Architect

ARCHITECTURAL
 J. L. DUNN
 J. L. DUNN
 J. L. DUNN
 J. L. DUNN
 J. L. DUNN

CODE REVIEW
 OBC 2018

DRAWING REFERENCE SYMBOLS

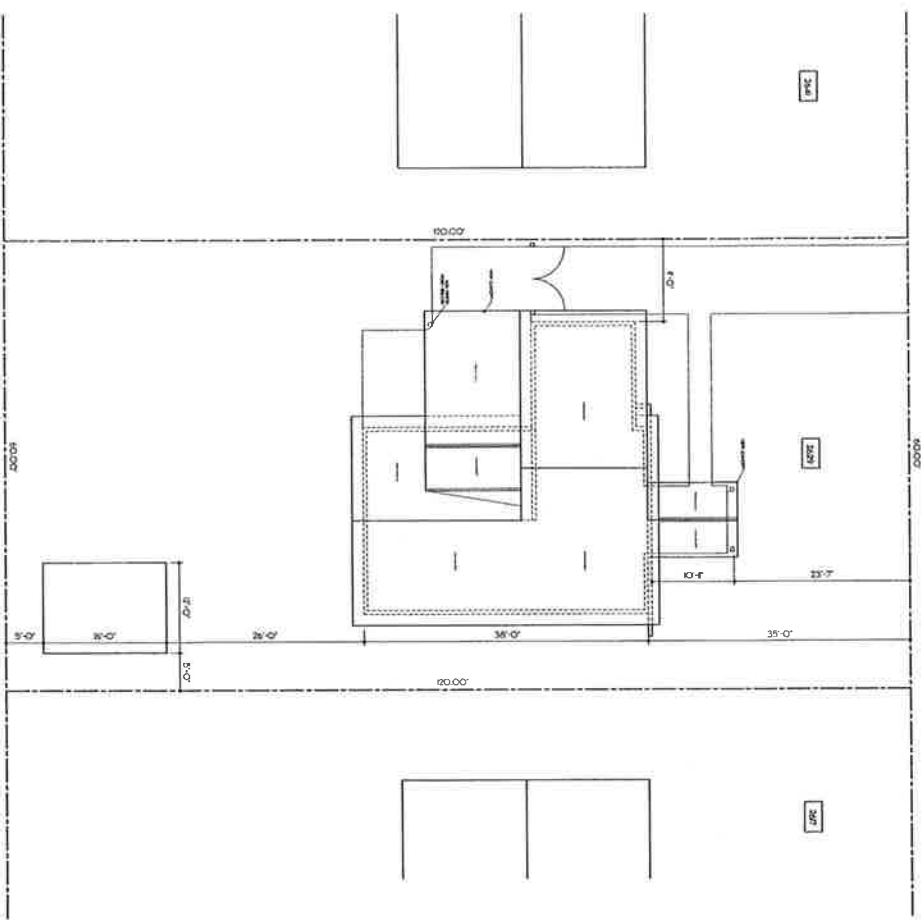
	SECTION NUMBER		DRAWING NOTE
	DRAWING ON WALL		ROOM NUMBER
	SECTION ON WALL		WINDOW NUMBER
	DETAIL NUMBER		GRID LINE LABEL
	DRAWING ON WINDOW		SECTION NUMBER
	DETAIL ON WALL		ROOM NUMBER
	DETAIL ON WINDOW		WINDOW NUMBER
	DETAIL ON WALL		GRID LINE LABEL
	DETAIL ON WINDOW		SECTION NUMBER
	DETAIL ON WALL		ROOM NUMBER

OHIO UTILITIES PROTECTION SERVICE
 CALL 2 WORKING DAYS
BEFORE YOU DIG
 CALL TOLL FREE 1-800-382-2764

BUILER COUNTY



SITE PLAN
 SCALE 1" = 30'-0"



SITE PLAN
 SCALE 1/8" = 1'-0"

REVISION DATE

ROOF ADDITIONS

2829 JOHN GRAY RD. CINCINNATI, OHIO 45241

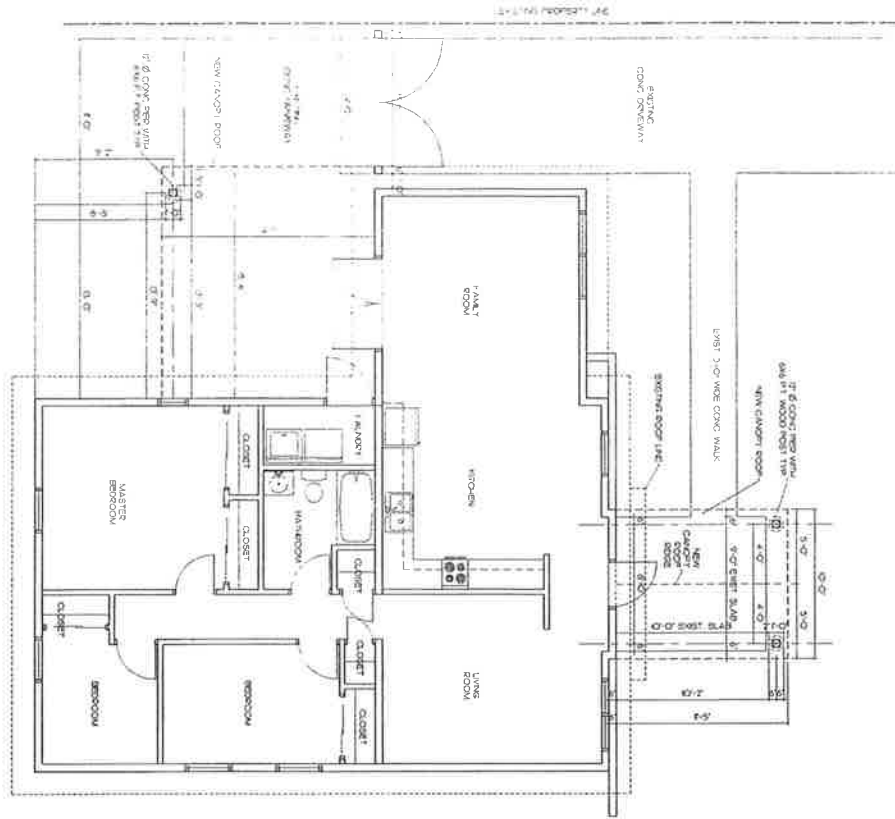
DUNN & TITUS P.S.C.

THOMAS H. DUNN P.A. JAMES L. TITUS P.L.L.C. AIA
 ARCHITECTURE PLANNING INTERIOR DESIGN
 1000 W. WASHINGTON ST. SUITE 1000 CINCINNATI, OHIO 45202
 TEL: 513-263-1111 FAX: 513-263-1112
 WWW.DUNNANDTITUS.COM

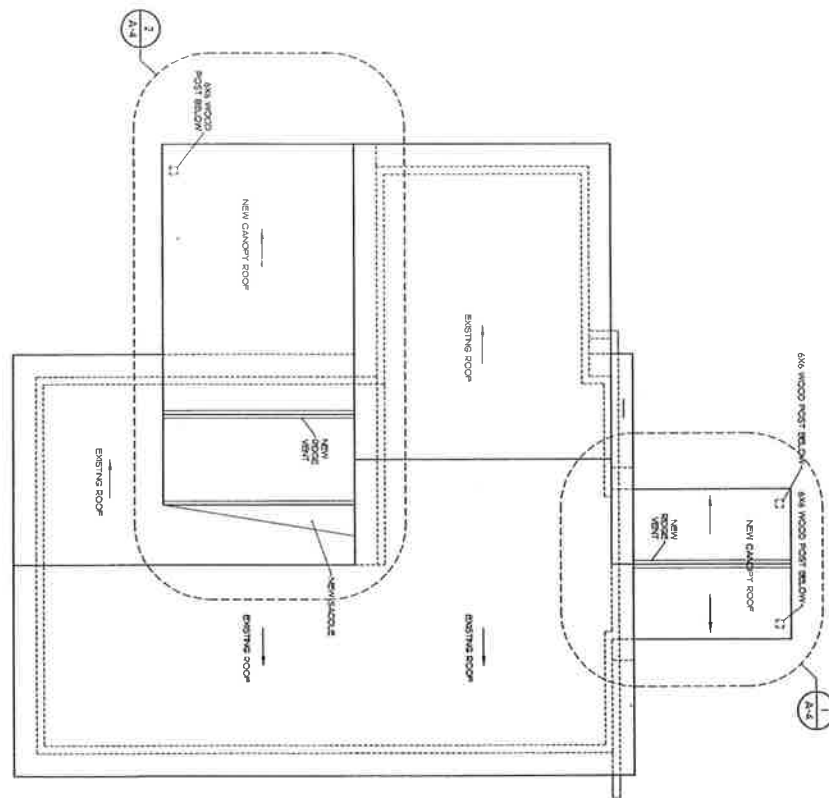


NOVEMBER 2018
 PROJECT NUMBER
 180001
 DRAWN BY: AG

A-1



FIRST FLOOR PLANS
SCALE 1/4" = 1'-0"



ROOF PLAN
SCALE 1/4" = 1'-0"

REVISION DATE:

ROOF ADDITIONS

2328 JOHN GRAY RD. CINCINNATI, OHIO 45241

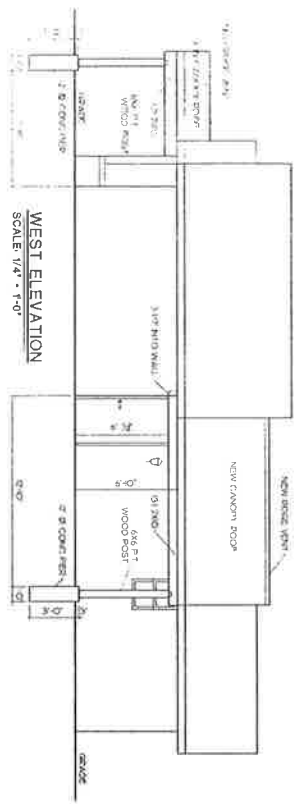
DUNN & TITUS P.S.C.

THOMAS R. DUNN P.E. JAMES W. TITUS P.D., AIA
ARCHITECTURE • PLANNING • INTERIOR DESIGN
2800 CORNWALL BLVD. • CINCINNATI, OHIO 45231 • TELEPHONE 513-752-2823 • FAX 513-752-7844
700 SOUTH ST. • P.O. BOX 2127 • COLUMBUS, OHIO 43261 • TELEPHONE 614-461-1111

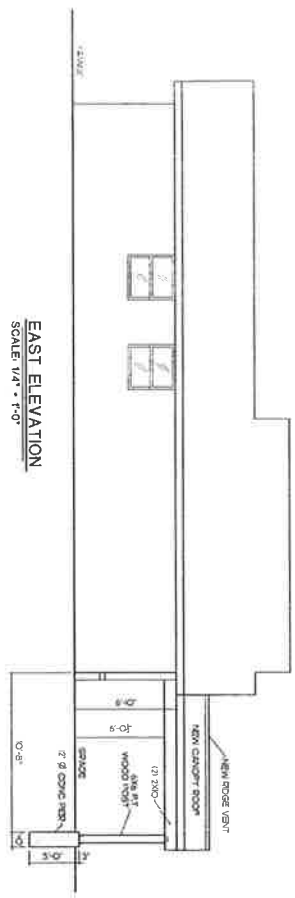


NOVEMBER, 2013
PROJECT NUMBER:
0-0242
DRAWN BY: A.S.

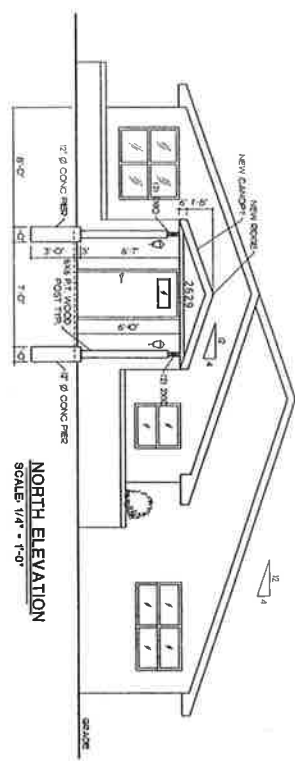
A-2



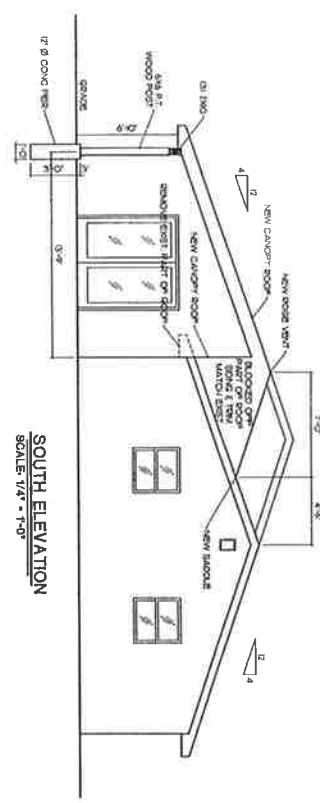
WEST ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

REVISION DATE

ROOF ADDITIONS

2629 JOHN GRAY RD. CINCINNATI, OHIO 45241

DUNN & TITUS P.S.C.

THOMAS R. DUNN R.A. JAMES C. TITUS P.R.D., AIA
ARCHITECTURE • PLANNING • INTERIOR DESIGN
20 SOUTH MAIN • COWLEY, OH 45011 • TELEPHONE 513-831-1313 • FAX 513-831-1344
750 SOUTH ST. • P.O. BOX 2187 • COWTON, KY 41015 • TELEPHONE 536-411-4440



NOVEMBER, 2003
PROJECT NAME: G-02042
DRAWN BY: A.S.

A-3