

BOROUGH OF
NEW PROVIDENCE
SETTLED IN 1720

Al Morgan, Mayor

Keith J. Lynch, Director
Planning and Development

Deborah A. Timko, Technical Assistant

June 17, 2021

Mr. & Mrs. Malley
31 Vista Lane
New Providence, N.J. 07974

Re: 31 Vista Lane
Block 70, Lot 7, R-2 Zone
Proposed: New Home

Dear Mr. & Mrs. Malley,

I have reviewed your application for a building permit for the project referenced above. The application is hereby denied for noncompliance with the provisions of chapter 310, Article IV, Section 310-10, Schedule II & III, of the Municipal Zoning Ordinance for the following reason(s):

The proposed lot area is 8,930 sq ft whereas 15,000 sq ft is the minimum required.

The proposed lot width at the setback is 70 feet whereas as 110 feet are the minimum required.

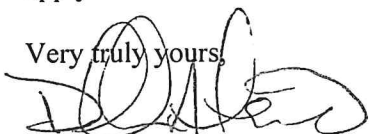
The proposed front yard setback along Walton Avenue is 12.54 feet whereas 40 feet is the minimum required.

The proposed side yard setback to the new home is 11.5 whereas 12.3 is the minimum required.

The proposed building coverage is 1801 sq ft whereas 1643 sq ft is the maximum permitted.

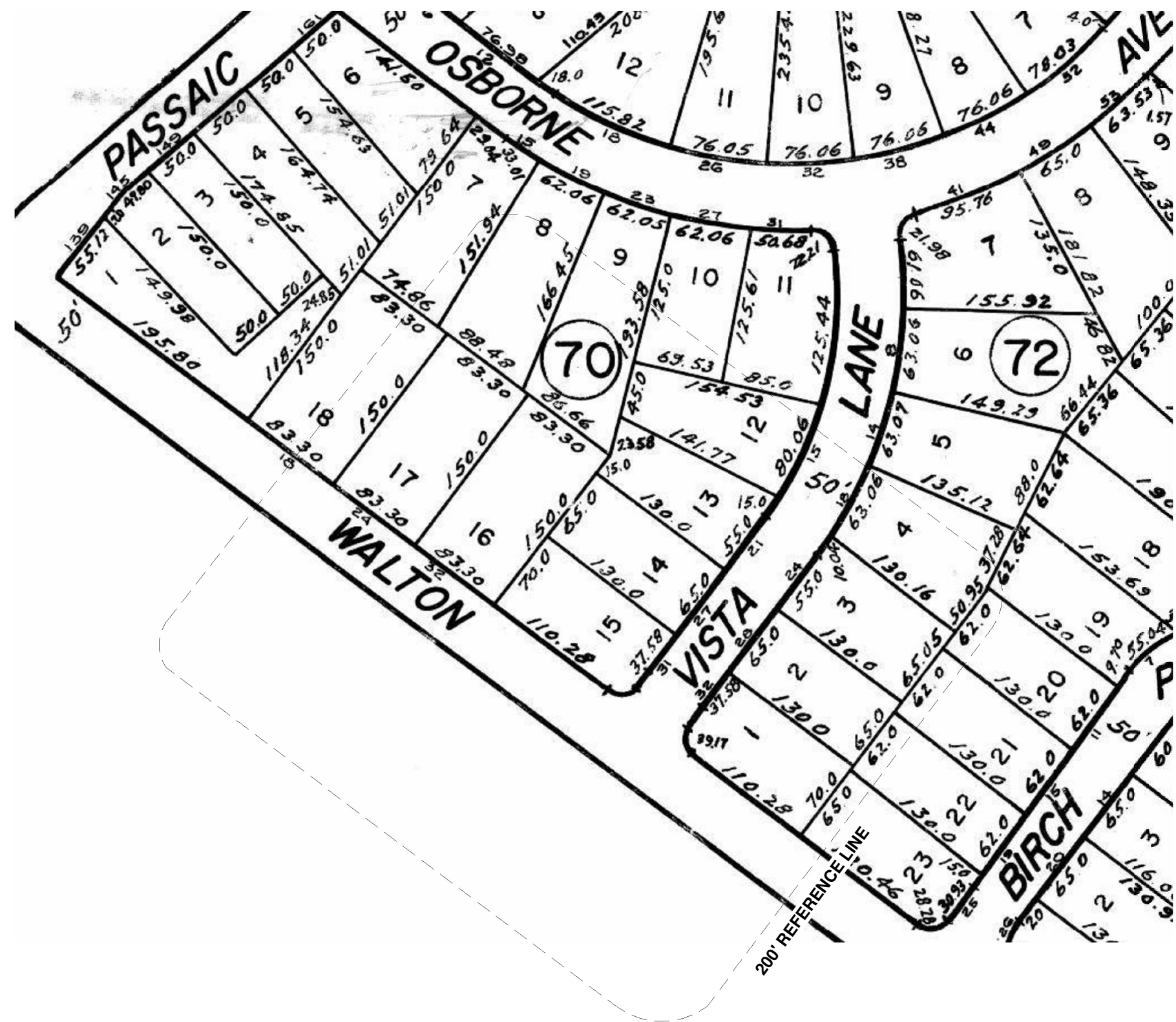
You may appeal this denial by applying to the Borough's Board of Adjustment. Please contact Margaret Koontz, Secretary to the Board, during business hours, 8:00am to 1:00pm, at (908)665-1124 for further information on how to apply.

Very truly yours,



Deborah A. Timko
Zoning Review Officer

cc: Margaret Koontz, Secretary, Board of Adjustment;
Bryan Flynn, Assessor;



③ TAX MAP 200' REF LINE
1" = 100'-0"

DRAWING LIST

- A-1 GENERAL NOTES, ZONING INFORMATION
A-3 DEMOLITION & FIRST FLOOR PLAN
A-4 SECOND FLOOR PLAN
A-5 FRONT & RIGHT ELEVATION
A-6 REAR & LEFT ELEVATION
SK-0 3D View

ENERGY COMPLIANCE:

REFER TO RESCHECK ANALYSIS

GENERAL NOTES:

CONTRACTOR SHALL MEET ALL REQUIREMENTS OF MUNICIPAL, STATE, NATIONAL CODES AND REGULATIONS, AND INDUSTRY CODES, SPECIFICALLY BUT NOT LIMITED TO THE STATE OF NEW JERSEY UNIFORM CONSTRUCTION CODE AS WELL AS THE FOLLOWING CODES:

INTERNATIONAL RESIDENTIAL CODE - NJ ED., 2018
INTERNATIONAL MECHANICAL CODE, 2018
INTERNATIONAL ENERGY CONSERVATION CODE - NJ ED, 2018
INTERNATIONAL FUEL GAS CODE, 2018
NATIONAL ELECTRICAL CODE, 2017
NATIONAL STANDARD PLUMBING CODE, 2018

DESIGN LOADS:

ROOF: LIVE - 30 PSF, DEAD - 10 PSF, TOTAL - 40 PSF
ATTIC: LIVE - 30 PSF, DEAD - 10 PSF, TOTAL - 40 PSF
2ND FLR: LIVE - 40 PSF, DEAD - 15 PSF, TOTAL - 55 PSF
1ST FLR: LIVE - 40 PSF, DEAD - 15 PSF, TOTAL - 55 PSF
SNOW: 30 PSF

ZONING DATA: BLOCK# 70 LOT# 15 ZONE: R-2

ITEM	ORDINANCE	EXISTING	PROPOSED	COMMENTS
LOT AREA	15,000 SF	8,930 SF	NO CHANGE	EX NON CONFORMING
LOT WIDTH	70'	70'	NO CHANGE	EX NON CONFORMING
FRONT YARD SETBACK	AVG / 40'	15.1' / 42.8'	40.00' VISTA LN 12.54' WALTON	CONFORMS NON CONFORMING - VARIANCE REQ'D
SIDE YARD SETBACK	60% BLDG HT(11.598')	11.5'	11.5'	NON CONFORMING - VARIANCE REQ'D
REAR YARD SETBACK	45.5'	60'	47.78'	CONFORMS
BUILDING HEIGHT	2 1/2 STRY / 35'	1 1/2 STRY	2 STY / 26.79'	CONFORMS
BUILDING COVERAGE	20% 7,500 + 10% LOT > / 1,643 SF	1,064 SF	1,801 SF	NON CONFORMING - VARIANCE REQ'D
IMPERVIOUS COVERAGE	40% / 3,572 SF	19.3% / 1,727 SF	29.6% / 2,639 SF	CONFORMS

REQUIREMENTS:

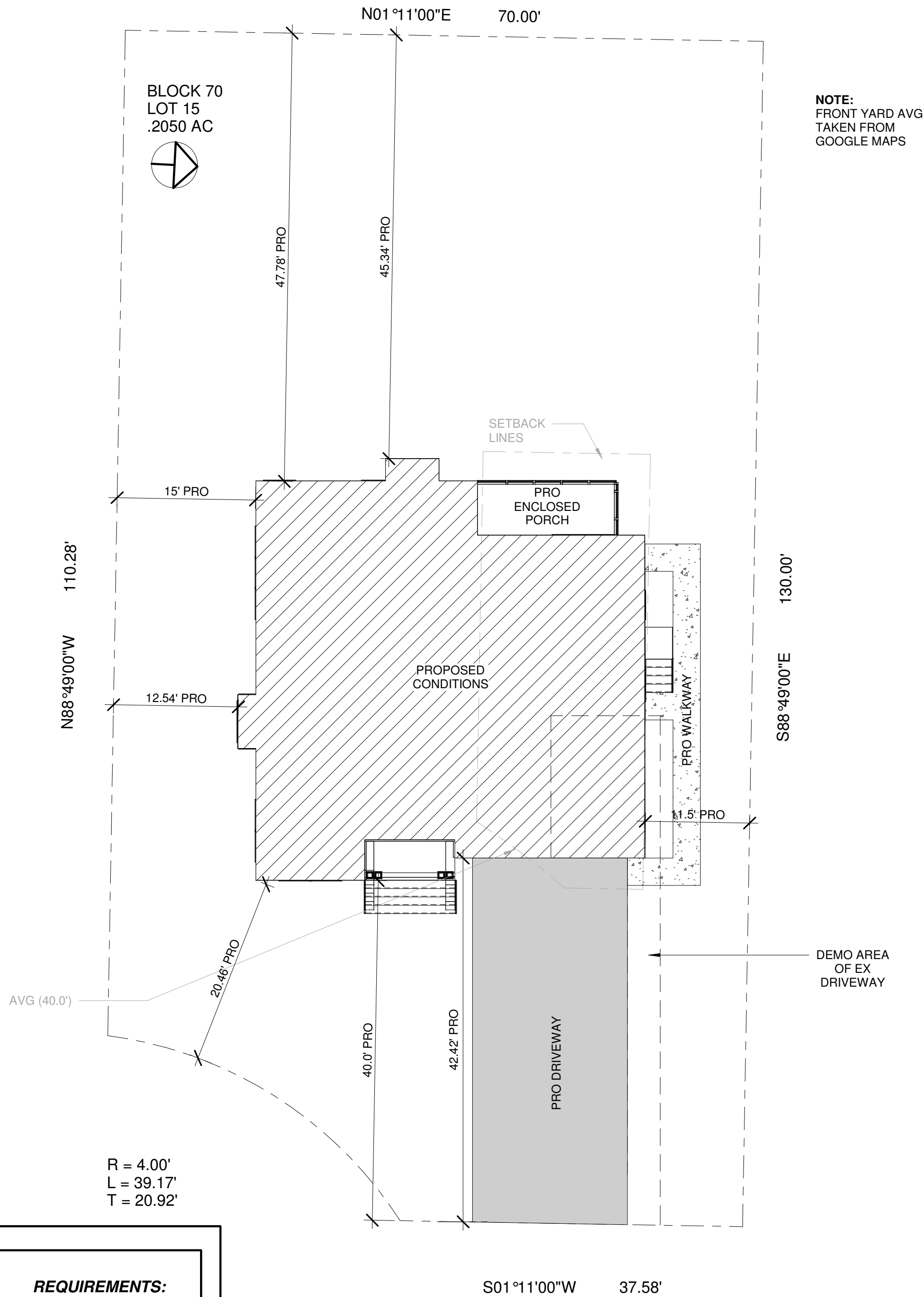
USE GROUP R-5
CONSTRUCTION CLASS 5B

VOLUME CALCULATIONS:

BASEMENT	0 CF
FIRST FLOOR	12,144 CF
SECOND FLOOR	13,248 CF
ATTIC	5,888 CF
TOTAL:	13,280 CF

AREA OF LARGEST FLOOR:

FIRST FLOOR	1,605 SF
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VISTA LANE

SURVEY NOTE:
INFORMATION USED IN PREPARATION OF
THIS PLOT PLAN TAKEN FROM SURVEY BY
CONTROL LAYOUTS, INC.

CLIENT:
MR. & MRS.

PROJECT:
ADDITION /
ALTERATION

31 VISTA LANE,
NEW PROVIDENCE,
NJ

REVISIONS:

DRAWN BY: DD

CHECKED BY: GR

SEAL:

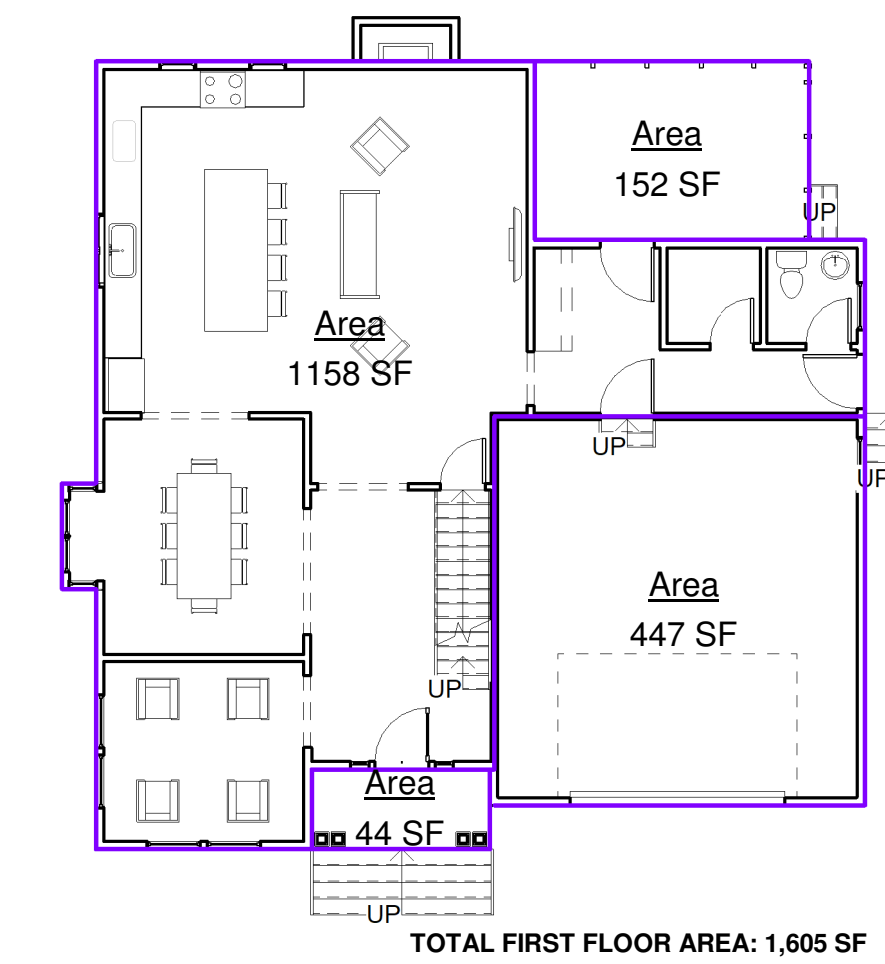
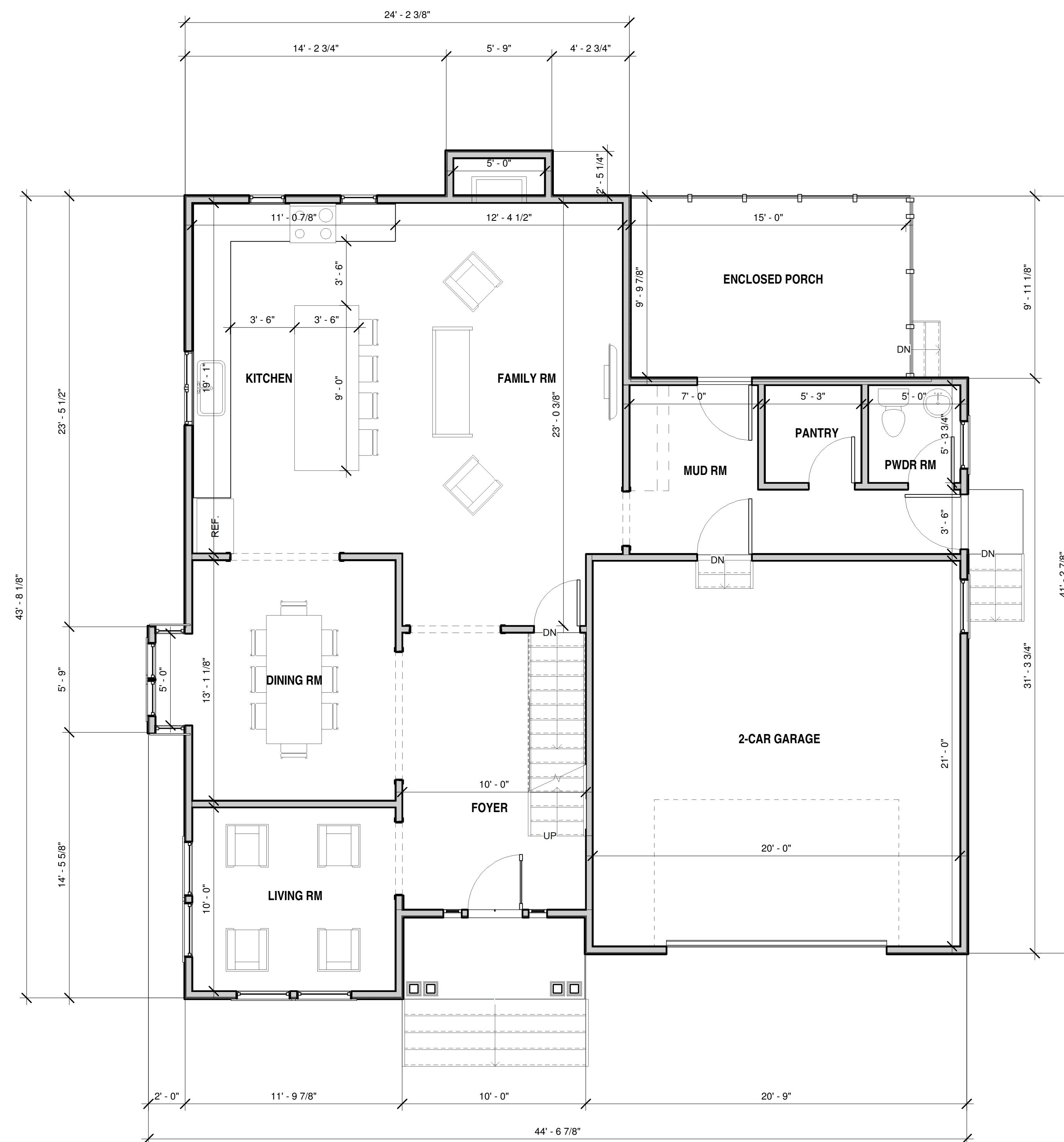
GREGORY RALPH
ARCHITECT
LICENSE: 18862
1924 RT 22 E
BOUND BROOK, NJ 08805
TEL: 908 731 1626
GREG@GRALPHARCHITECT.COM

GENERAL NOTES, ZONING INFORMATION

SHEET:
A-1

DATE: 5.27.2021

SCALE: AS INDICATED



CLIENT:
MR. & MRS.

PROJECT:
ADDITION /
ALTERATION

31 VISTA LANE,
NEW PROVIDENCE,
NJ

REVISIONS:

DRAWN BY: DD

CHECKED BY: GR

SEAL:

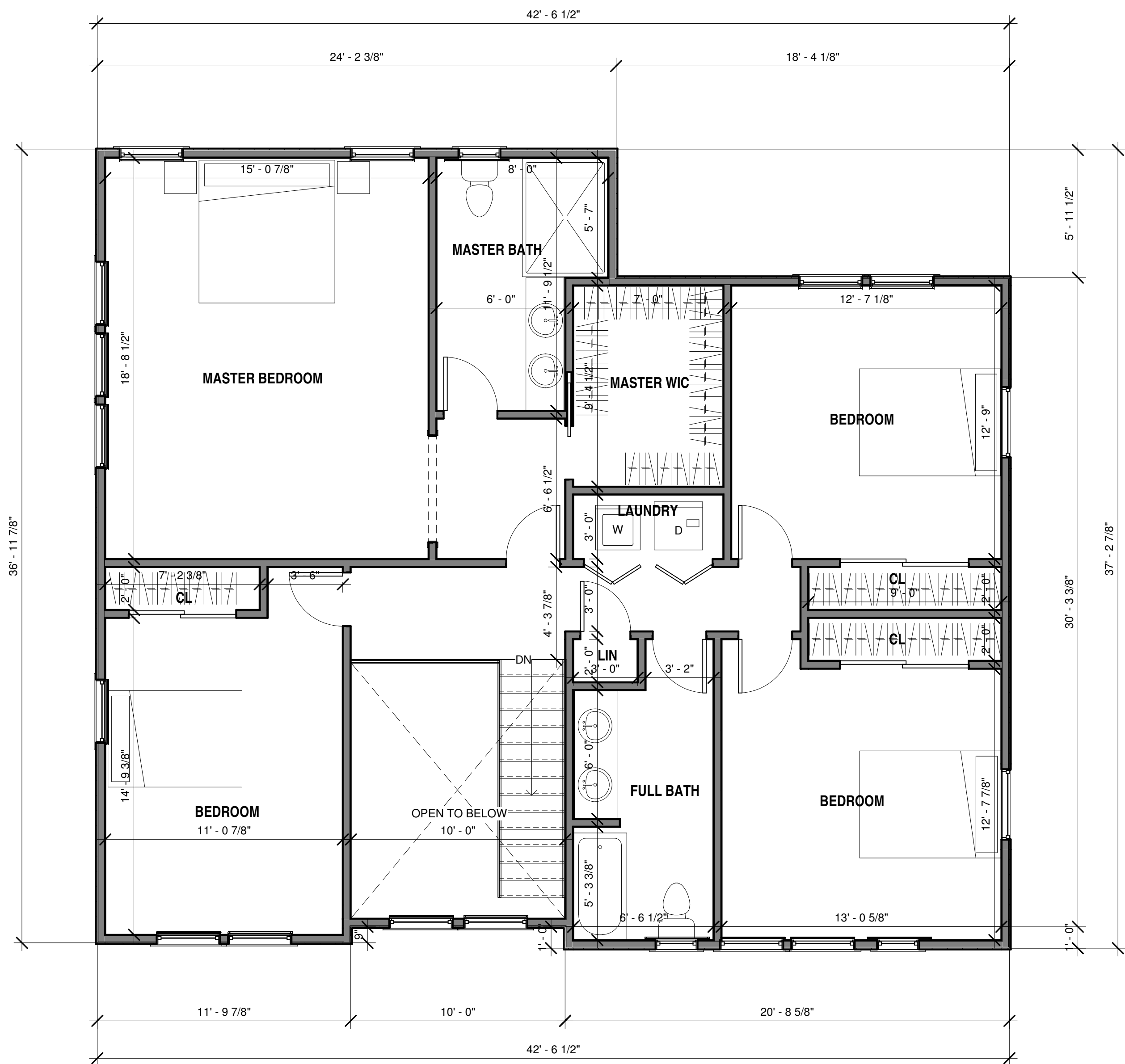
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DEMOLITION &
FIRST FLOOR PLAN

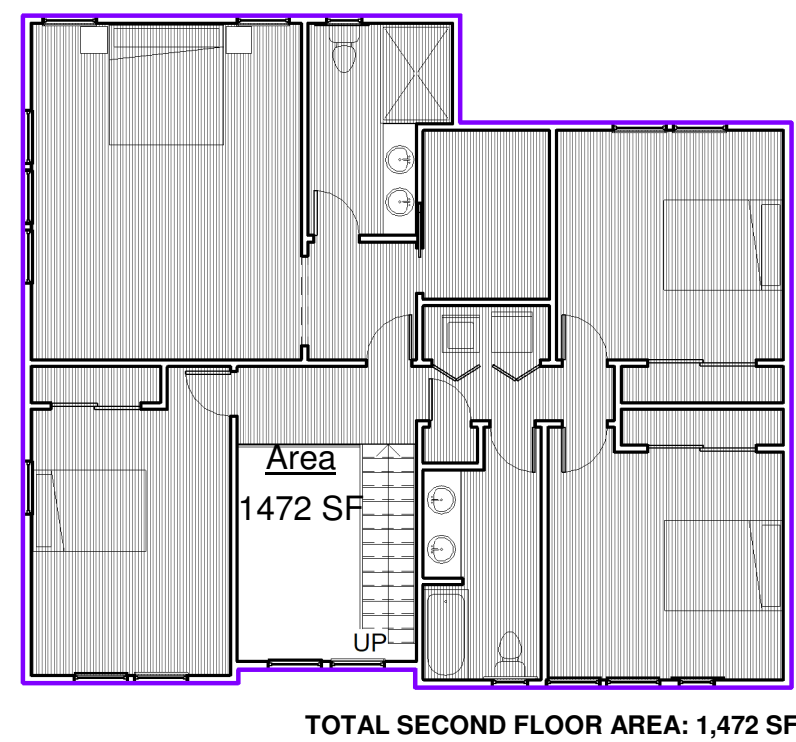
SHEET: A-3

DATE: 5.27.2021

SCALE: AS INDICATED



② SECOND FLOOR PLAN
1/4" = 1'-0"



TOTAL SECOND FLOOR AREA: 1,472 SF

① Second Floor
3/32" = 1'-0"

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REVISIONS:

DRAWN BY: DD

CHECKED BY: GR

SEAL:

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SECOND FLOOR
PLAN

SHEET: A-4

DATE: 5.27.2021

SCALE: AS INDICATED



CLIENT:
MR. & MRS.

PROJECT:
ADDITION /
ALTERATION

31 VISTA LANE,
NEW PROVIDENCE,
NJ

REVISIONS:

DRAWN BY: DD

CHECKED BY: GR

SEAL:

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GREG@GRALPHARCHITECT.COM

FRONT & RIGHT
ELEVATION

SHEET: A-5

DATE: 5.27.2021

SCALE: 1/4" = 1'-0"



① REAR ELEVATION CD
1/4" = 1'-0"



② LEFT ELEVATION CD
1/4" = 1'-0"

CLIENT:
MR. & MRS.

PROJECT:
ADDITION /
ALTERATION

31 VISTA LANE,
NEW PROVIDENCE,
NJ

REVISIONS:

DRAWN BY: DD

CHECKED BY: GR

SEAL:

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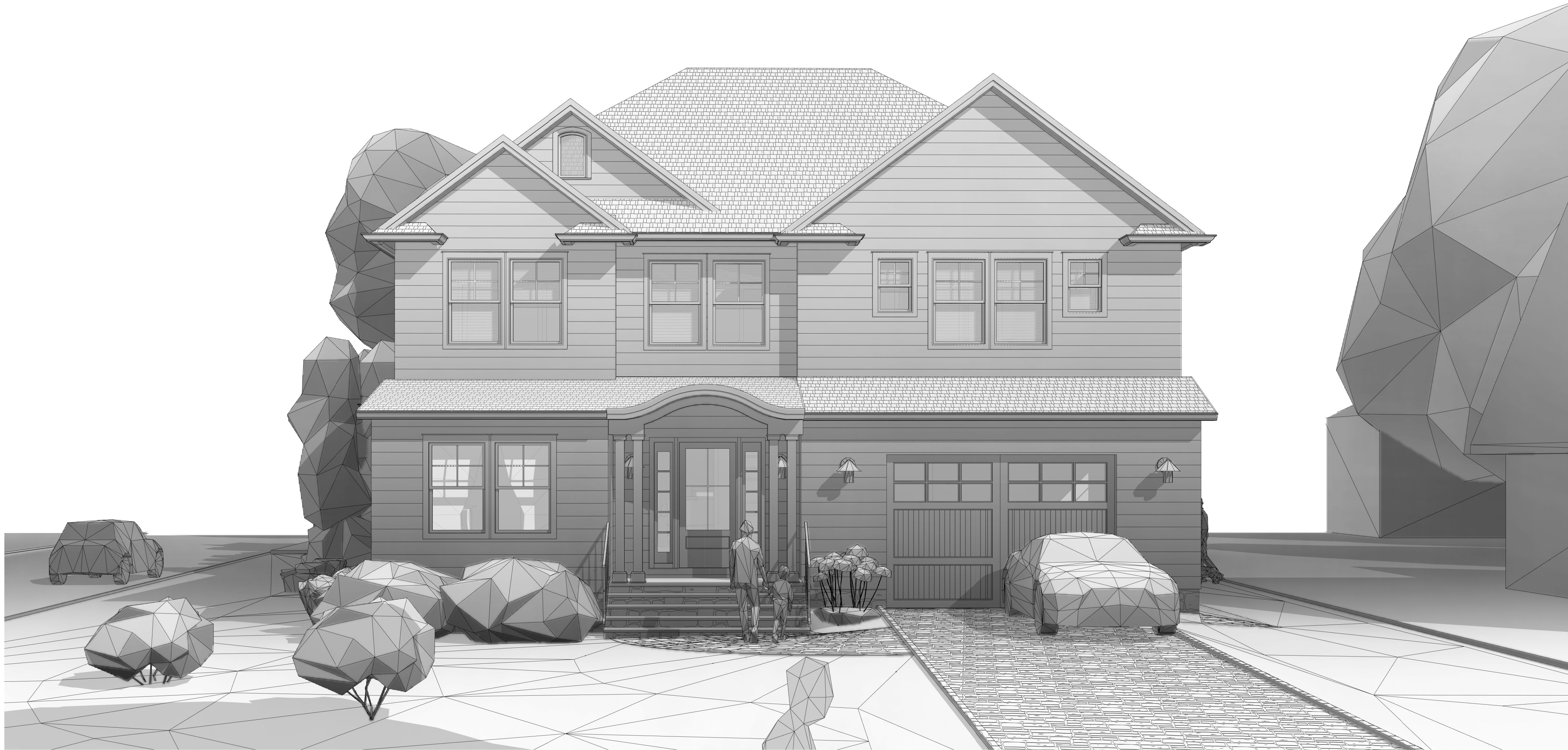
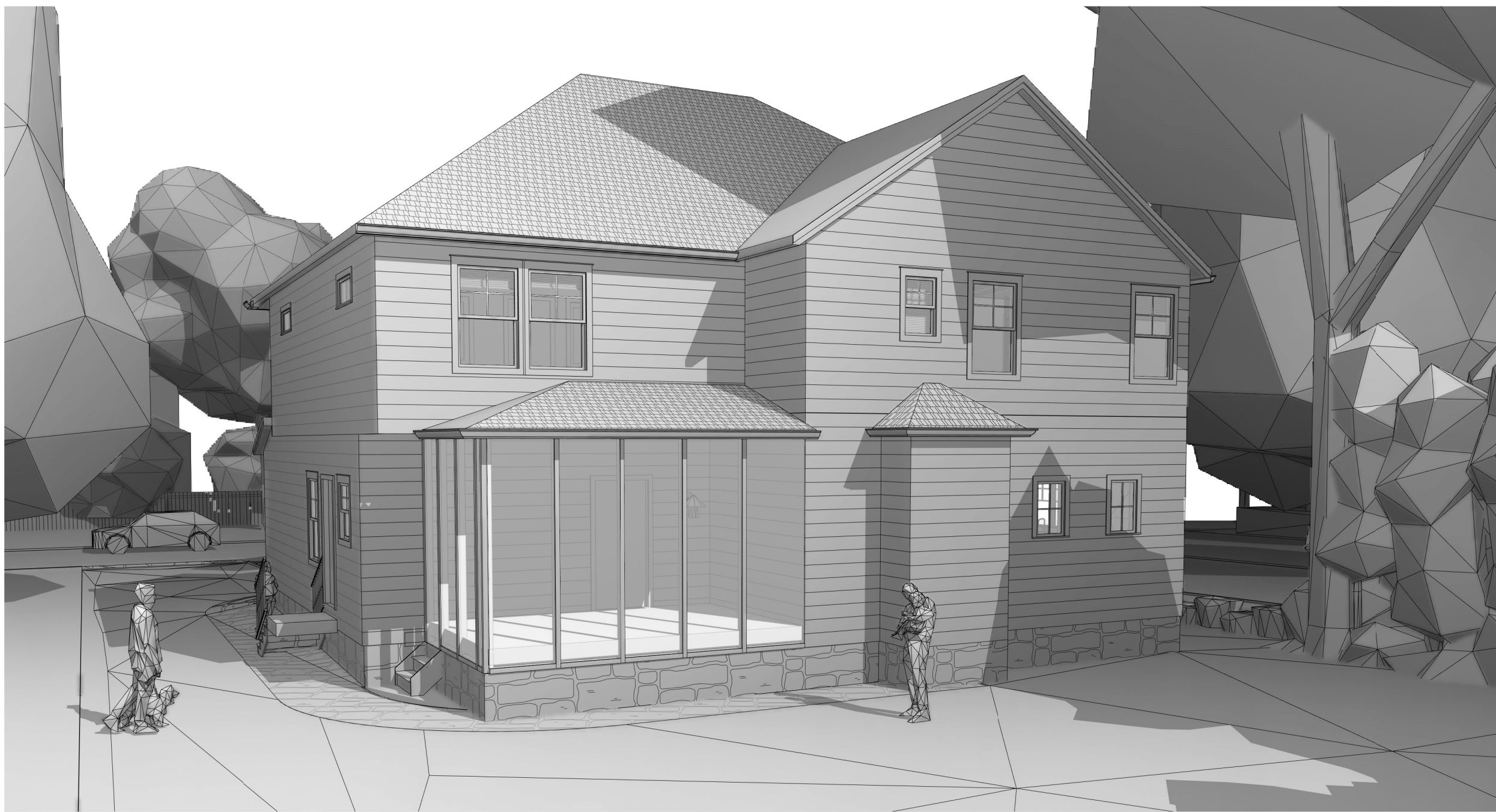
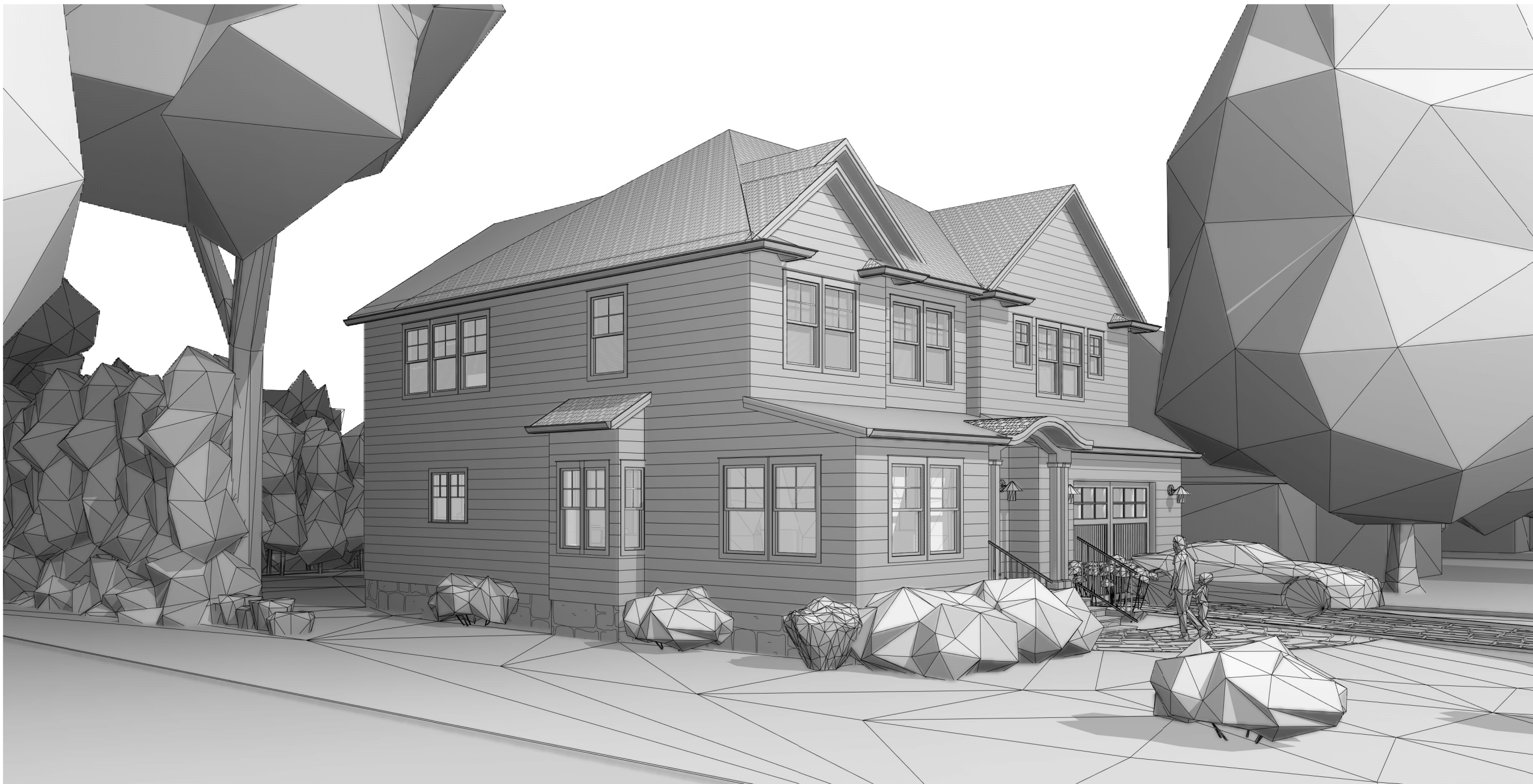
REAR & LEFT
ELEVATION

SHEET:

A-6

DATE: 5.27.2021

SCALE: 1/4" = 1'-0"



CLIENT:
MR. & MRS.

PROJECT:
ADDITION /
ALTERATION

31 VISTA LANE,
NEW PROVIDENCE,
NJ

REVISIONS:

DRAWN BY: XX

CHECKED BY: GR

SEAL:

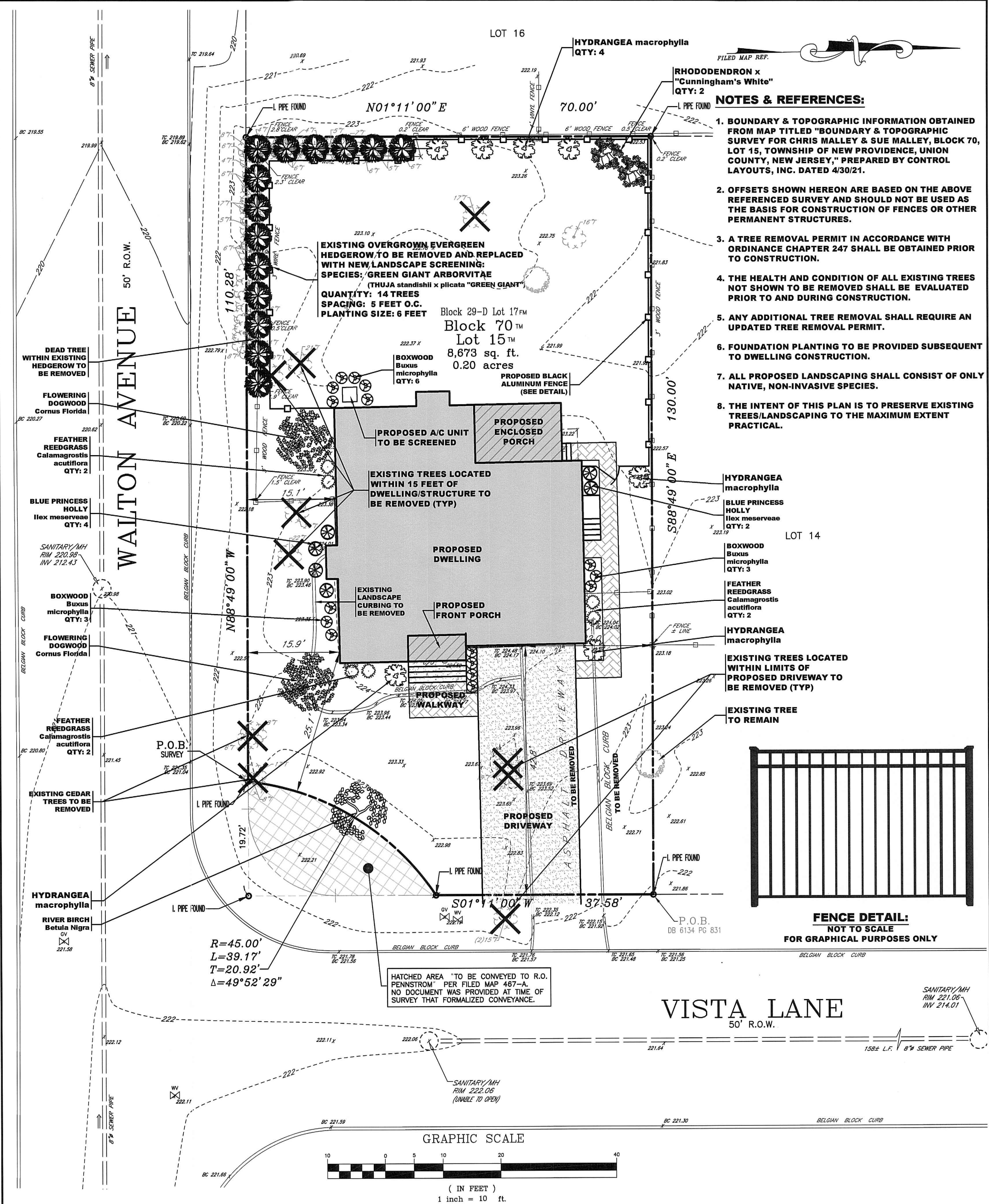
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3D VIEW

SHEET: SK-0

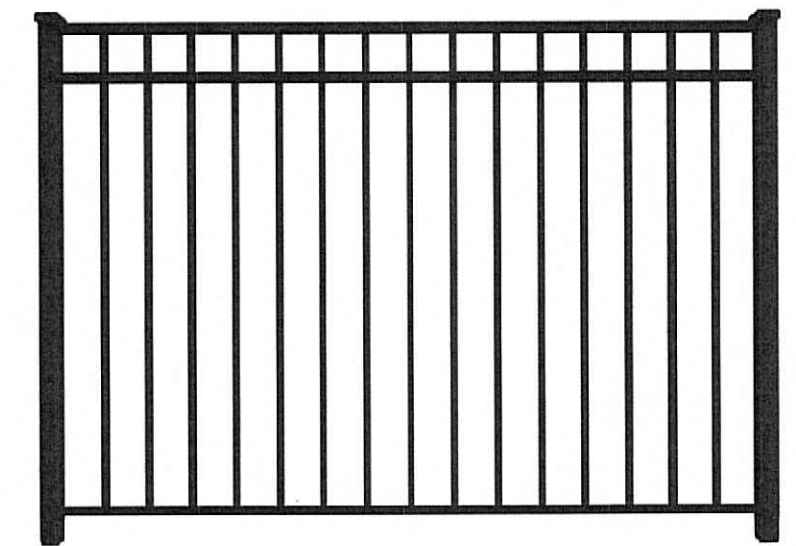
DATE: 5.27.2021

SCALE:



NOTES & REFERENCES:

1. BOUNDARY & TOPOGRAPHIC INFORMATION OBTAINED FROM MAP TITLED "BOUNDARY & TOPOGRAPHIC SURVEY FOR CHRIS MALLEY & SUE MALLEY, BLOCK 70, LOT 15, TOWNSHIP OF NEW PROVIDENCE, UNION COUNTY, NEW JERSEY," PREPARED BY CONTROL LAYOUTS, INC. DATED 4/30/21.
2. OFFSETS SHOWN HEREON ARE BASED ON THE ABOVE REFERENCED SURVEY AND SHOULD NOT BE USED AS THE BASIS FOR CONSTRUCTION OF FENCES OR OTHER PERMANENT STRUCTURES.
3. A TREE REMOVAL PERMIT IN ACCORDANCE WITH ORDINANCE CHAPTER 247 SHALL BE OBTAINED PRIOR TO CONSTRUCTION.
4. THE HEALTH AND CONDITION OF ALL EXISTING TREES NOT SHOWN TO BE REMOVED SHALL BE EVALUATED PRIOR TO AND DURING CONSTRUCTION.
5. ANY ADDITIONAL TREE REMOVAL SHALL REQUIRE AN UPDATED TREE REMOVAL PERMIT.
6. FOUNDATION PLANTING TO BE PROVIDED SUBSEQUENT TO DWELLING CONSTRUCTION.
7. ALL PROPOSED LANDSCAPING SHALL CONSIST OF ONLY NATIVE, NON-INVASIVE SPECIES.
8. THE INTENT OF THIS PLAN IS TO PRESERVE EXISTING TREES/LANDSCAPING TO THE MAXIMUM EXTENT PRACTICAL.



FENCE DETAIL:
NOT TO SCALE
FOR GRAPHICAL PURPOSES ONLY

HATCHED AREA "TO BE CONVEYED TO R.O. PENNSTROM" PER FILED MAP 467-A. NO DOCUMENT WAS PROVIDED AT TIME OF SURVEY THAT FORMALIZED CONVEYANCE.

VISTA LANE
50' R.O.W.

GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

DATE	REVISION
5/27/21	PER BOARD HEARING COMMENTS

DYKSTRA WALKER
DESIGN GROUP PA
PROFESSIONAL ENGINEERS, PLANNERS & SURVEYORS
21 BOWLING GREEN PARKWAY, SUITE 204 LAKE HOPATCONG, NJ 07849
PHONE (973) 663-6540 FAX (973) 663-0042
WWW.DYKSTRAWALKER.COM

TREE REMOVAL/LANDSCAPING EXHIBIT

MALLEY RESIDENCE
BLOCK 70, LOT 15
VISTA LANE & WALTON AVENUE
TOWNSHIP OF NEW PROVIDENCE
UNION COUNTY NEW JERSEY

SCALE: 1" = 10'
JOB NO.: 21102
DRAWN BY: KJR
CHECKED BY: KJR
DATE: 5/12/21
SHEET NO. 1 OF 1